



Wayzata Planning Commission

Meeting Agenda

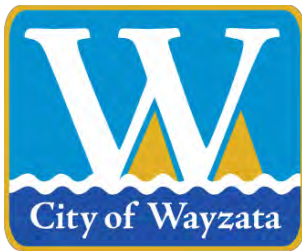
Monday, January 22, 2018
7:00 p.m.

Community Room
600 Rice Street East
Wayzata, Minnesota 55391

1. **Call to Order & Roll Call**
2. **Approval of Agenda**
3. **Consent Agenda**
 - a. Adoption of Report and Recommendation of approval of conditional use permit for a fence at 119 Benton Ave N
 - b. Adoption of Report and Recommendation of approval of variances for an addition to the home at 315 Park St E
4. **Old Business Items**
 - a. Verizon Wireless – 1000 Superior Blvd
Conditional Use Permit
5. **Public Hearing Items**
 - a. 235 Lake St E
Rezoning, PUD Concept Plan
6. **Other Items:**
 - a. Election of Chair and Vice Chair
 - b. Review of development activities
 - c. Next meeting is February 5, 2018
7. **Adjournment**

NOTES:

- ¹ Members of the Planning Commission and some staff may gather at the Wayzata Bar and Grill immediately after the meeting for a purely social event. All members of the public are welcome.



City of Wayzata Planning Commission Agenda Report

MEETING DATE: January 22, 2018	AGENDA ITEM: 3a
TITLE: Adoption of Report and Recommendation of approval of conditional use permit for a fence at 119 Benton Ave N	
PROJECT NAME: Jereczek Fence	
ADDRESS: 119 Benton Ave N	
PREPARED BY: Jeff Thomson, Director of Planning and Building	

BACKGROUND:

Application Overview

The City of Wayzata and the property owner, Jason Jereczek, have submitted a development application to construct a fence on the property at 119 Benton Ave N. The applicant is proposing to construct a six-foot solid fence along Wayzata Blvd E, and requests approval of a conditional use permit.

Planning Commission Review

The Planning Commission reviewed the development application and held a public hearing at its meeting on January 9, 2018. After discussing the application, the Planning Commission voted six (6) in favor and zero (0) opposed to direct staff to prepare a report and recommendation of approval of the development application for adoption at the next Planning Commission meeting.

PLANNING COMMISSION ACTION:

City Staff has drafted the attached Planning Commission Report and Recommendation which recommends approval of the development application. The Report and Recommendation reflects the vote of 6-0, and includes the findings discussed by the Planning Commission, from the January 9th meeting.

ATTACHMENTS:

1. Draft Planning Commission Report and Recommendation



WAYZATA PLANNING COMMISSION

January 22, 2018

REPORT AND RECOMMENDATION OF APPROVAL OF CONDITIONAL USE PERMIT FOR A FENCE AT 119 BENTON AVE N

SUMMARY OF RECOMMENDATION

Approval* of Conditional Use Permit for Fence

** subject to certain conditions noted in Section 4 of this Report*

REPORT AND RECOMMENDATION

Section 1. BACKGROUND

- 1.1 Project. The City of Wayzata and the property owner, Jason Jereczek, (together, the "Applicant") have submitted a development application (the "Application") to construct a six-foot solid fence (the "Fence") on the property at 119 Benton Ave N (the "Property") that would run along the Wayzata Blvd E border of the Property.
- 1.2 Application Request. As part of the Application, the Applicant is requesting approval of a conditional use permit to construct a six-foot tall solid wood fence on the front of the Property along Wayzata Blvd.
- 1.3 Property. The street address, property identification number and owner of the Property are:

119 Benton Ave N	06-117-22-14-0076	J J Jereczek & M A Jereczek
------------------	-------------------	-----------------------------

- 1.4 Land Use. The Property is located at the corner of Wayzata Blvd E and Benton Avenue N. The Property is zoned R-3A/Single and Two Family Residential District and guided Low Density Single Family.
- 1.5 Notice and Public Hearing. Notice of a public hearing on the Application was published in the *Lakeshore Weekly News* on December 28, 2017. A copy of the

notice was mailed to all property owners located with 350 feet of the Property on December 29, 2017. The public hearing on the Application was held at the January 9, 2018 Planning Commission meeting.

- 1.6 Planning Commission Action. After the conclusion of the public hearing on the Application at the January 9, 2018 meeting, the Planning Commission voted six (6) in favor and zero (0) opposed to direct staff to prepare a draft *Planning Commission Report and Recommendation* recommending approval of the Application.

Section 2. STANDARDS

- 2.1 Standards for Fences. Fences located in the front yard that are greater than 50 percent solid matter and exceed 42 inches in height require a conditional use permit Section 801.18.1. City Code Section 801.18.1.F.2 outlines the following standards for evaluating fence conditional use permits:
- A. The fence placement, height or design does not create a safety hazard with regard to, from or on a public street or roadway.
 - B. The fence placement, height or design does not create a safety problem or negatively affect adjoining properties or use.
 - C. The provisions of Section 801.04.2.F of the Zoning Ordinance are considered and satisfactorily met. Section 801.04.2.F of the Zoning Ordinance requires City Council to consider possible adverse effects of the proposed conditional use. Council's judgment shall be based upon (but not limited to) the following factors:
 - 1. The proposed action in relation to the specific policies and provisions of the official City Comprehensive Plan.
 - 2. The proposed use's compatibility with present and future uses of the area.
 - 3. The proposed use's conformity with all performance standards contained herein (i.e., parking, loading, noise, etc.).
 - 4. The proposed use's effect on the area in which it is proposed.
 - 5. The proposed use's impact upon property values in the area in which it is developed.
 - 6. Traffic generated by the proposed use is in relation to capabilities of streets serving the property.

7. The proposed use's impact upon existing public services and facilities including parks, schools, streets and utilities, and the City's service capacity.

Section 3. FINDINGS

Based on the Application materials, staff reports, public comment presented at the public hearing, and Wayzata's Zoning Ordinance, the Planning Commission of the City of Wayzata makes the following findings of fact:

3.1 Criteria for Fence CUPs.

- A. The placement, height and design of the Fence will not create a safety hazard with regard to, from or on a public street or roadway.
- B. The placement, height and design of the Fence will not create a safety problem or negatively affect adjoining properties or use.
- C. The Fence (the "Proposed Use") would meet the criteria for a conditional use permit under Section 801.04.2.F of the Zoning Ordinance for CUPs.
 1. The Proposed Use complies with the specific policies or provisions of the official City Comprehensive Plan which guides the property for residential uses.
 2. The Proposed Use is compatible with present and future uses of the area which is adjacent to a busy intersection.
 3. The Proposed Use conforms with all applicable performance standards contained in the Zoning Ordinance (i.e., parking, loading, noise, etc.).
 4. The Proposed Use will not have a significant negative effect on the area in which it is proposed, as the use will be confined to the edge of the Property that is adjacent to a busy intersection.
 5. The Proposed Use will not have a negative impact upon property values in the area.
 6. The Proposed Use will not generate traffic.
 7. The Proposed Use will not have a negative impact upon existing public services and facilities including parks, schools, streets and utilities, and the City's service capacity.

Section 4. RECOMMENDATION

4.1 Planning Commission Recommendation. Based on the findings in section 3 of this Report, the Planning Commission recommends approval of the Fence CUP, subject to the following conditions:

- A. The Applicant must secure all necessary building and other permits for construction.

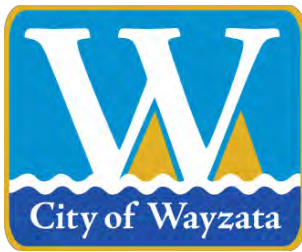
Adopted by the Wayzata Planning Commission this 22nd day of January 2018.

Voting For Approval Recommendation: Douglas, Flannigan, Iverson, Murray, Plantan, Young

Voting Against Approval Recommendation: None

Abstaining: None

Absent: Buchanan



City of Wayzata Planning Commission Agenda Report

MEETING DATE: January 22, 2018	AGENDA ITEM: 3b
TITLE: Adoption of Report and Recommendation of approval of variances for an addition to the home at 315 Park St E	
PROJECT NAME: Brinza Addition	
ADDRESS: 315 Park St E	
PREPARED BY: Jeff Thomson, Director of Planning and Building	

BACKGROUND:

Application Overview

The property owners, Matthew and Deanna Brinza, have submitted a development application to construct a four season porch addition to the existing house at 315 Park St E. The development application requests approval of lot coverage, impervious surface coverage, and front yard setback variances.

Planning Commission Review

The Planning Commission reviewed the development application and held a public hearing at its meeting on January 9, 2018. After discussing the application, the Planning Commission voted six (6) in favor and zero (0) opposed to direct staff to prepare a report and recommendation of approval of the development application for adoption at the next Planning Commission meeting.

Updated Plans

Since the Planning Commission, the applicant has submitted updated plans which made a minor revision to the proposed four season porch. The revision does not increase the lot coverage, impervious surface coverage, or front yard setback variances.

PLANNING COMMISSION ACTION:

City Staff has drafted the attached Planning Commission Report and Recommendation which recommends approval of the development application. The Report and Recommendation reflects the vote of 6-0, and includes the findings discussed by the Planning Commission, from the January 9th meeting.

ATTACHMENTS:

1. Draft Planning Commission Report and Recommendation
2. Updated Plans



WAYZATA PLANNING COMMISSION

January 22, 2018

REPORT AND RECOMMENDATION OF APPROVAL OF VARIANCES FOR AN ADDITION TO HOME AT 315 PARK ST E

SUMMARY OF RECOMMENDATION

Approval* of lot coverage, impervious surface coverage, and front yard setback variances

** subject to certain conditions noted in Section 4 of this Report*

REPORT AND RECOMMENDATION

Section 1. BACKGROUND

- 1.1 Project. The property owners, Matthew and Deanna Brinza, (the “Owner” or “Applicant”) have submitted a development application (the “Application”) to construct a four season porch addition to the existing house at 315 Park St E (the “Property”).
- 1.2 Application Requests. As part of the Application, the Applicant is requesting approval of the following variances as depicted on the plans attached as Attachment A (collectively, the “Variances”):
 - A. Lot Coverage Variance: A variance from the 30 percent maximum lot coverage in the R-3A zoning district for lot coverage of 33.7 percent (the Lot Coverage Variance”).
 - B. Impervious Surface Variance: A variance from the 35 percent maximum impervious surface coverage of the R-3A zoning district for an impervious surface of 51.1 percent (the “Impervious Surface Variance”).
 - C. Front Yard Setback Variance: A variance from the minimum 20 foot front yard setback in the R-3A zoning district for a setback of 14.2 feet from the Park St E front property line (the “Setback Variance”).

- 1.3 Property. The property identification number and owner of the affected property (the "Property") are:

315 Park St E	06-117-22-21-0036	Deanna L Brinza Trustee
---------------	-------------------	-------------------------

- 1.4 Land Use. The Property is zoned R-3A/Single and Two Family Residential, and is designated Low Density Single Family under the Comprehensive Plan.
- 1.5 Notice and Public Hearing. Notice of a public hearing on the Application was published in the *Lakeshore Weekly News* on December 28, 2017. A copy of the notice was mailed to all property owners located within 350 feet of the Property on December 29, 2017. The public hearing on the Application was held at the January 9, 2018 Planning Commission meeting.
- 1.6 Planning Commission Action. After the conclusion of the public hearing on the Application at the January 9, 2018 meeting, the Planning Commission voted six (6) in favor and zero (0) opposed to direct staff to prepare a draft *Planning Commission Report and Recommendation* recommending approval of the Application.

Section 2. STANDARDS

- 2.1 Lot Coverage. The maximum lot coverage – the total footprint of the house, garage, and any accessory structures divided by the lot area – permitted in the R-3A Zoning District is 30 percent. Section 801.55.7.A.
- 2.2 Impervious Surface Coverage. The maximum impervious surface coverage– the total lot coverage and any additional hard surface divided by the lot area – permitted in the R-3A Zoning District is 35 percent. Section 801.55.7.A.
- 2.3 Front Yard Setback. The minimum front yard setback for a principal structure within the R-3A Zoning District is 20 feet. Section 801.55.6.B.1.a. and Section 801.19.4.C.
- 2.4 Zoning Ordinance Variance Standards. Section 801.05.1.C provides the criteria for reviewing variances from the standards of the Zoning Ordinance. The variance review criteria are as follows:
- A. Variances shall only be permitted when they are:
 - (i) in harmony with the general purposes and intent of the Zoning Ordinance; and
 - (ii) consistent with the Comprehensive Plan.
 - B. Variances may be granted when the Applicant for the variance establishes that there are practical difficulties in complying with this Ordinance.

- C. “Practical difficulties,” as used in connection with the granting of a variance, means that:
 - (i) the property owner’s proposal for the property is reasonable but not permitted by the Zoning Ordinance;
 - (ii) the plight of the landowner is due to circumstances unique to the property, and not created by the landowner; and
 - (iii) the variance, if granted, will not alter the essential character of the locality.
- D. Economic considerations alone do not constitute practical difficulties. Practical difficulties include, but are not limited to, inadequate access to direct sunlight for solar energy systems.
- E. Variances shall be granted for earth sheltered construction as defined in Minnesota Statutes, section 216C.06, subdivision 14, when in harmony with this Ordinance.
- F. The City Council shall not permit as a variance any use that is not allowed under this Ordinance for property in the zoning district where the affected person’s land is located, except the City Council may permit as a variance the temporary use of a one family dwelling as a two family dwelling.
- G. The City Council may impose conditions in the granting of variances. A condition must be directly related to and must bear a rough proportionality to the impact created by the variance.
- H. An application for a variance shall set forth reasons that the variance is justified under the criteria of this section in order to make reasonable use of the land, structure or building.

Section 3. FINDINGS

- 3.1 Based on the Application materials, staff reports, public comment presented at the hearing, and Wayzata’s Zoning Ordinance, the Planning Commission of the City of Wayzata makes the following findings of fact with respect to the Variances:
 - A. The Variances requested in the Application do not change the current single family residential use or the general footprint of the current principal structure that has long existed on the Property. The Variances requested are in harmony with the general purposes and intent of the Ordinance and are consistent with the Comprehensive Plan.
 - B. The Variances are to address the practical difficulty with the Property in terms of its size and shape as an older, corner residential lot, and will not alter the essential character of the locality.

- C. The Variances requested are reasonable, due to circumstances driven by the existing corner lot and residential structure, and the non-conforming lot size. If granted, the Variances would not alter the essential character of the locality in that the general footprint and size of the principal structure would not change, no significant trees would be lost, and the existing setbacks will remain similar.
- D. The practical difficulties necessitating the Variances are not economic in nature. The existing lot size, location, and dimensions of the Property are significant factors in the practical difficulty of meeting the Ordinance requirements.
- E. The proposed use for the Property would not change and is permitted within the R-3A District.
- F. The conditions for granting approval of the Variances are listed below in Section 4 of this Resolution.
- G. The Applicant has provided the reasons that the Variances are justified under the criteria of the Zoning Ordinance in order to make reasonable use of the land, structures and buildings on the Property.

Section 4. RECOMMENDATION

- 4.1 Planning Commission Recommendation. Based on the findings in section 3 of this Report, the Planning Commission recommends approval of the Variances as requested in the Application, subject to all of the following conditions:
 - A. The Applicant must secure all necessary building permits for construction, and follow all laws and regulations applicable to the Project.
 - B. All expenses of the City of Wayzata, including consultant, expert, legal, and planning incurred must be fully reimbursed by the Applicant.

Adopted by the Wayzata Planning Commission this 22nd day of January 2018.

Voting For Approval Recommendation: Douglas, Flannigan, Iverson, Murray, Plantan, Young

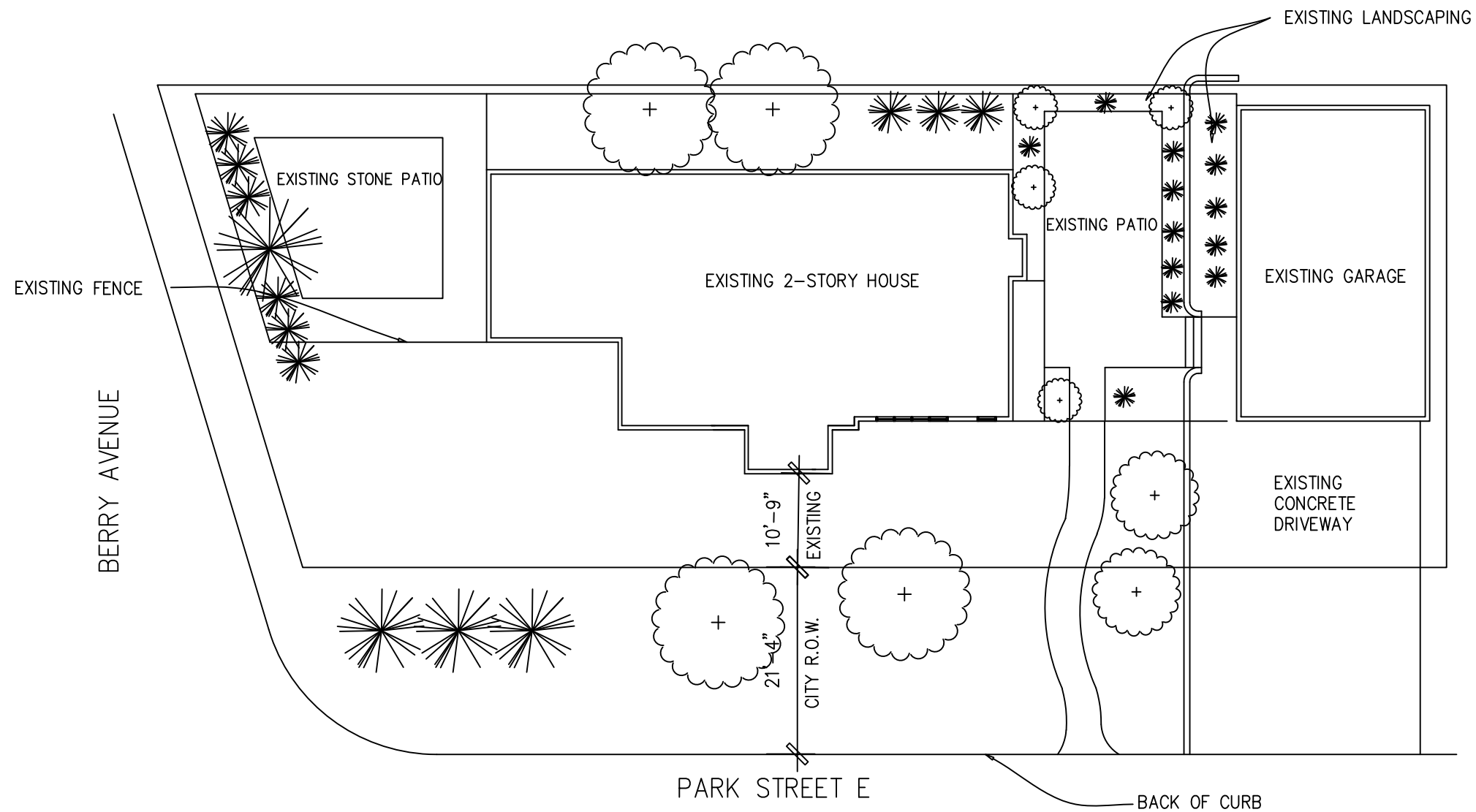
Voting Against Approval Recommendation: None

Abstaining: None

Absent: Buchanan

Attachment A
(Plans depicting the Variances)

DRAFT



315 PARK STREET E. WAYZATA, MN 55391

ZONING DISTRICT R-3A

PARCEL SIZE (PROPERTY LINE)= 7,707 SF
EFFECTIVE PARCEL SIZE (B.O. CURB)= 10,169 SF

EXISTING COVERAGE= 2,367 SF (31%) OR (23% OF EFFECTIVE PARCEL SIZE)

MAX LOT COVERAGE= 30%

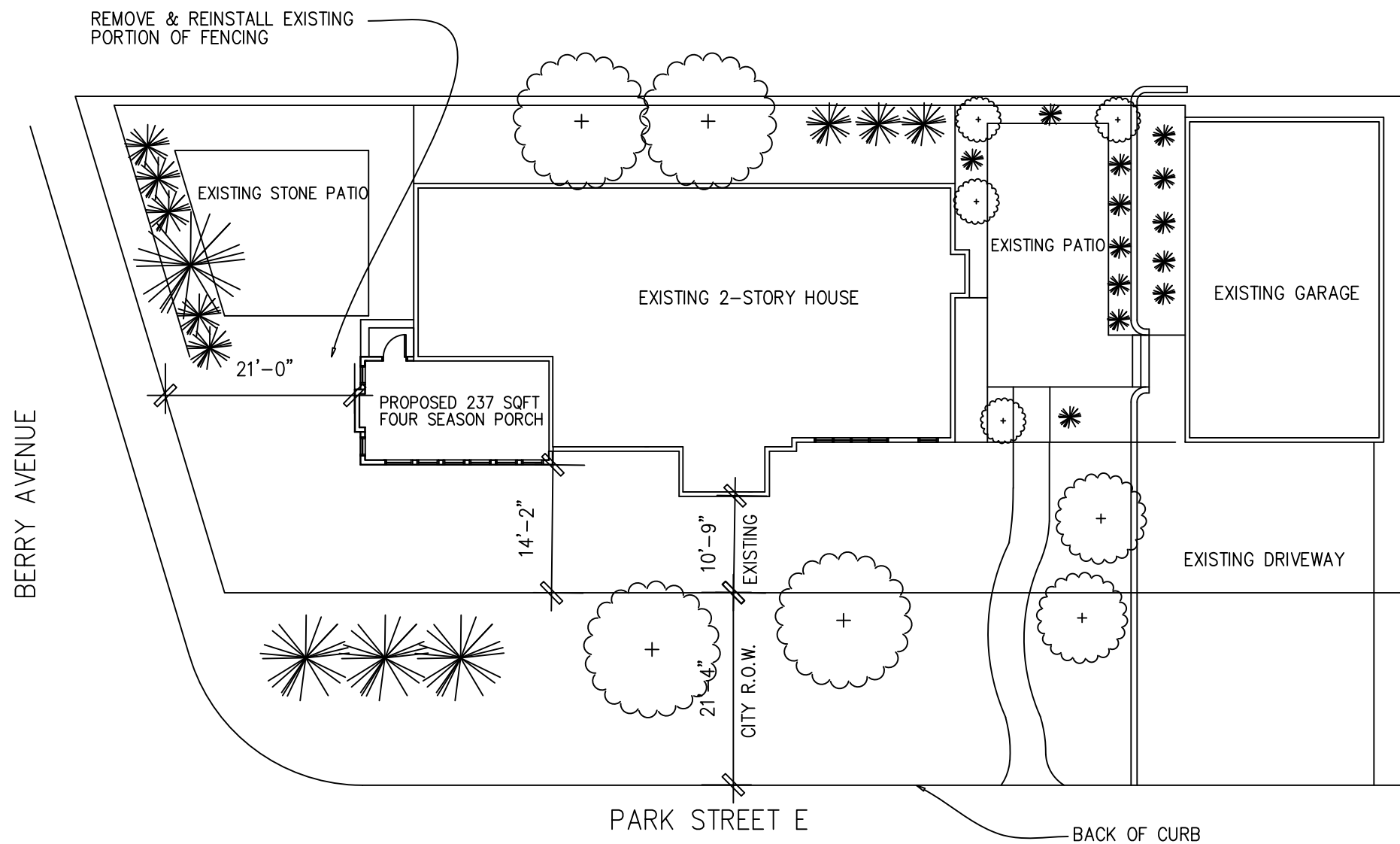
EXISTING IMPERVIOUS SURFACE= 3,715 SF (48%) OR (36% OF EFFECTIVE PARCEL SIZE)

MAX IMPERVIOUS SURFACE= 35%

MIN SET BACK= 20'
(CORNER LOT FRONT & SIDE YARD ABUTTING A PRINCIPAL STREET)

EXISTING SITE PLAN

SCALE: 1/16" = 1'-0"



315 PARK STREET E. WAYZATA, MN 55391

ZONING DISTRICT R-3A

PARCEL SIZE (PROPERTY LINE)= 7,707 SF
EFFECTIVE PARCEL SIZE (B.O. CURB)= 10,169 SF

EXISTING COVERAGE= 2,367 SF (31%) OR (23% of EFFECTIVE PARCEL SIZE)
PROPOSED LOT COVERAGE= 2,604 SF (34%) OR (26% of EFFECTIVE PARCEL SIZE)

MAX LOT COVERAGE= 30%

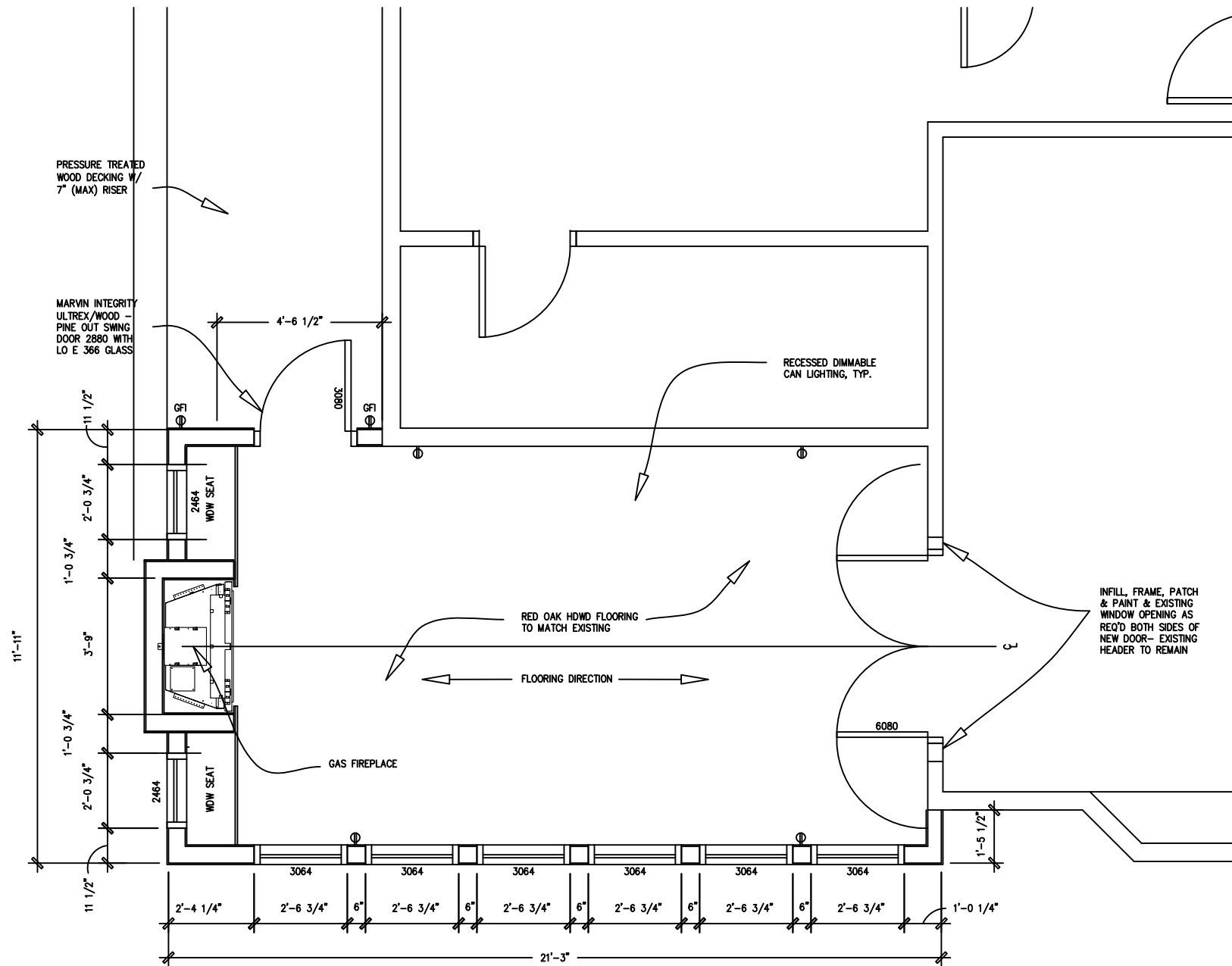
EXISTING IMPERVIOUS SURFACE= 3,715 SF (48%) OR (36% OF EFFECTIVE PARCEL SIZE)
PROPOSED IMPERVIOUS= 3,952 SF (51%) OR (39% OF EFFECTIVE PARCEL SIZE)
(includes porch addition and removal of existing stone patio)

MAX IMPERVIOUS SURFACE= 35%

MIN SET BACK= 20'
(CORNER LOT FRONT & SIDE YARD ABUTTING A PRINCIPAL STREET)

PROPOSED SITE PLAN

SCALE: 1/16" = 1'-0"

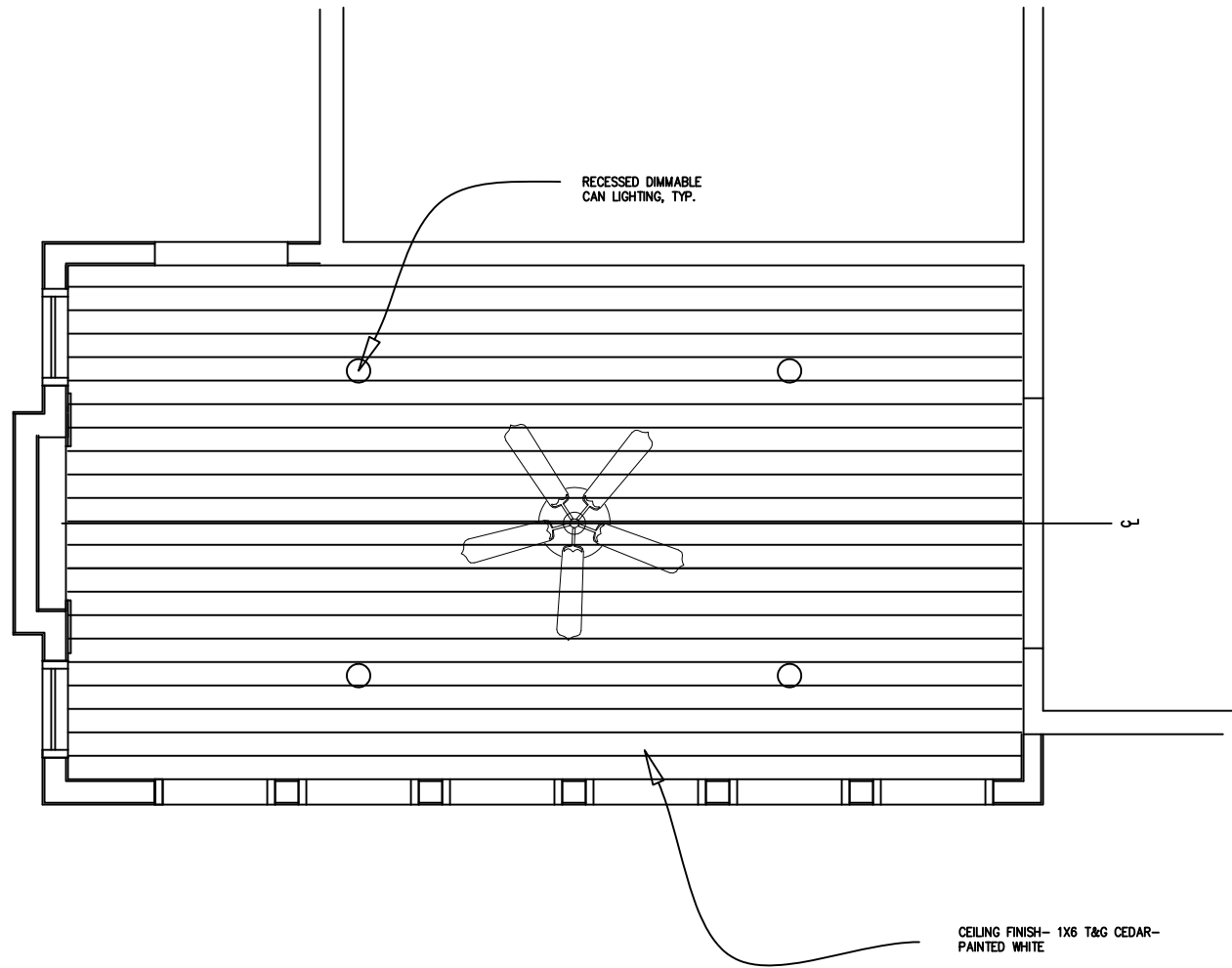


NOTE: ALL DIMS ARE FROM FACE OF STUD. ALL HEIGHTS ARE TAKEN FROM TOP OF 3/4" PLYWOOD FLOORING.

1

FLOOR PLAN

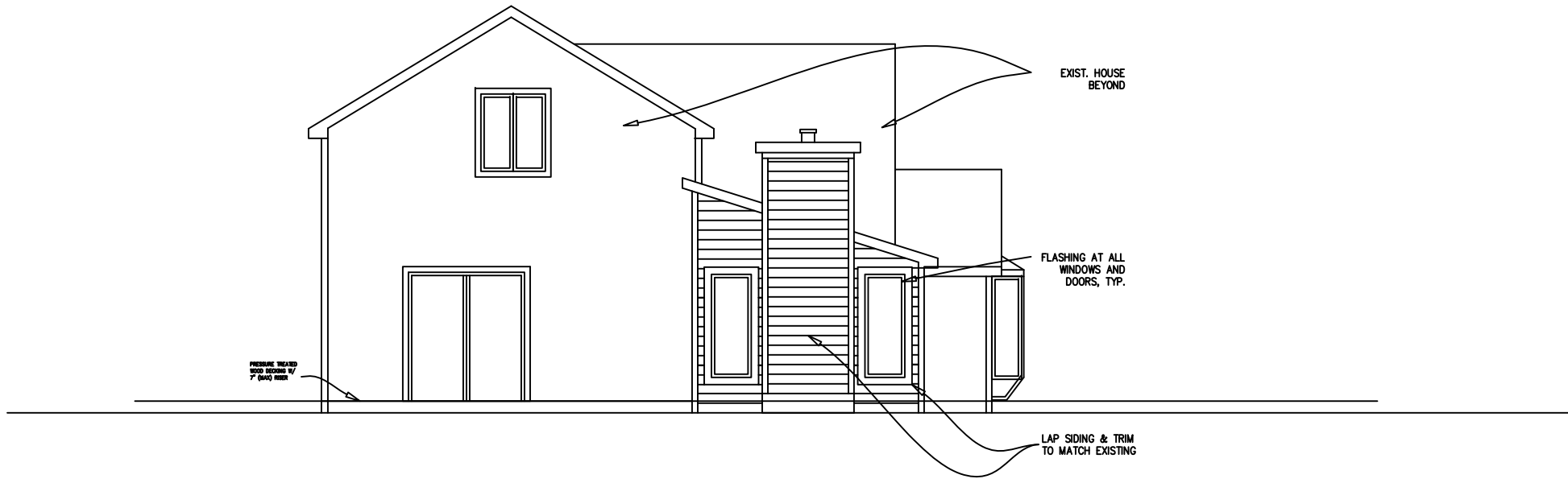
SCALE: 1/4" = 1'-0"



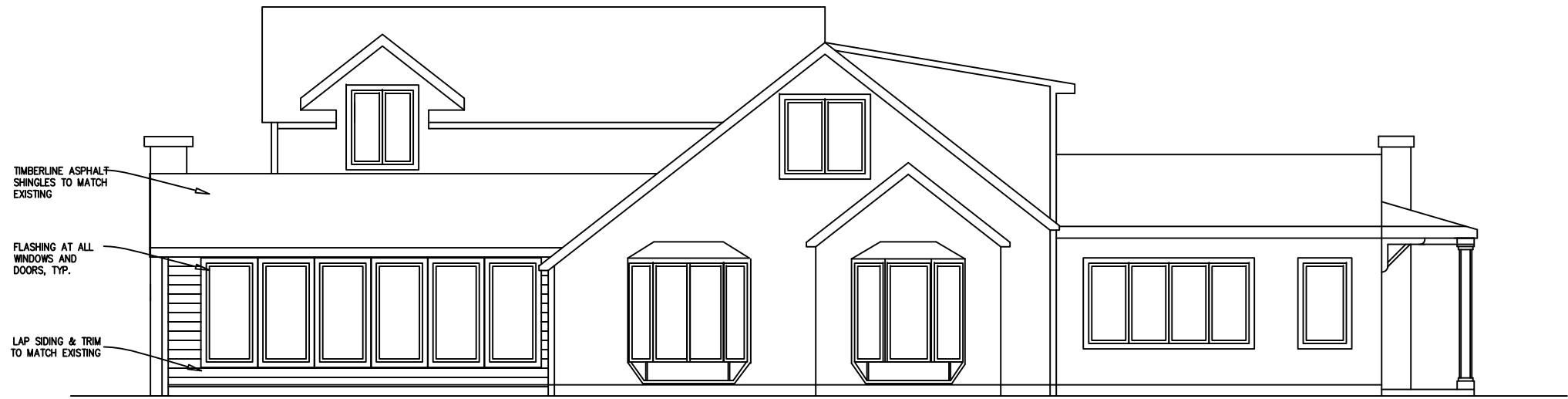
2

REFLECTED CEILING PLAN

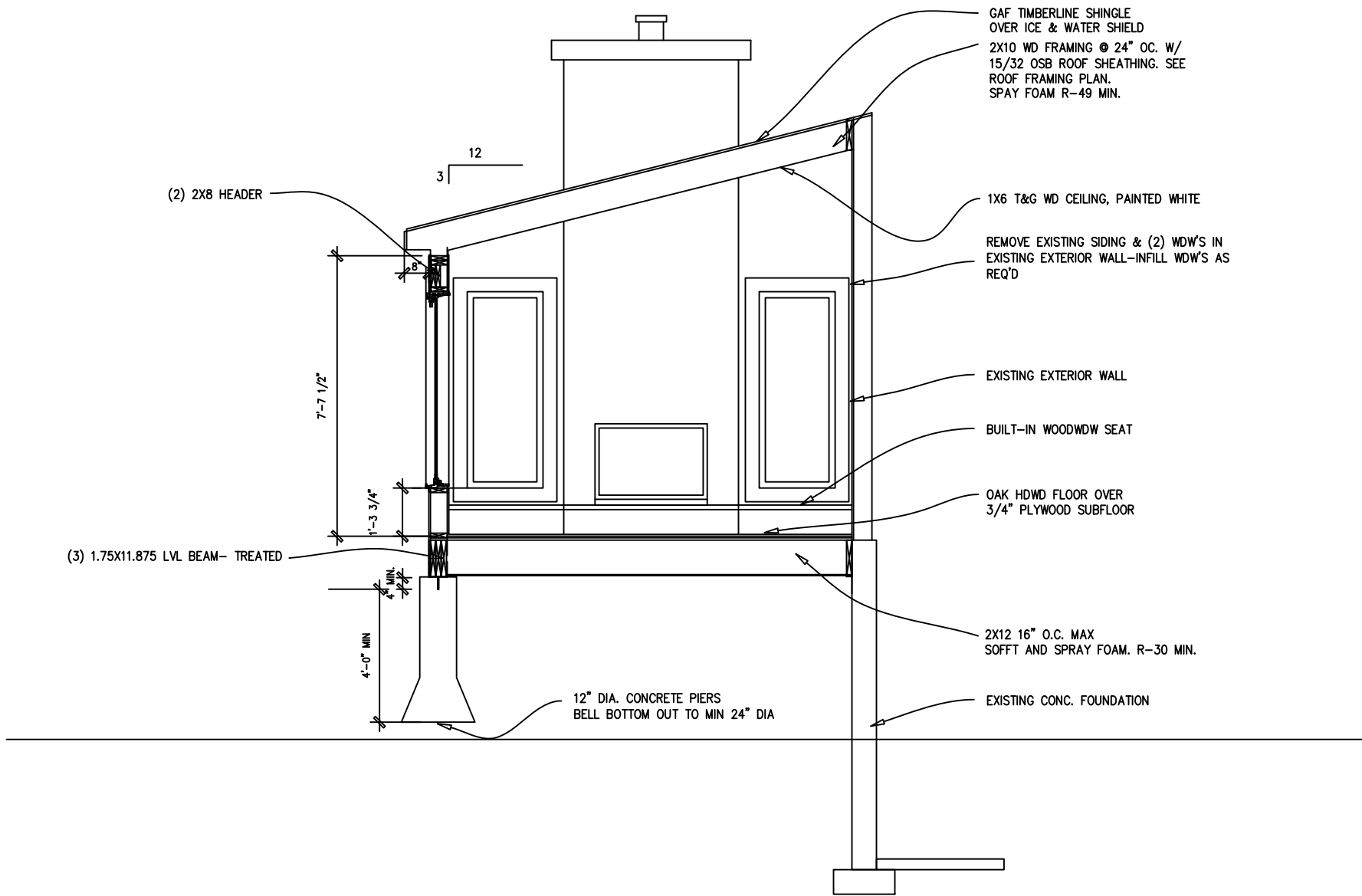
SCALE: 1/4" = 1'-0"



10 WEST ELEVATION
SCALE: 1/8" = 1'-0"



10 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

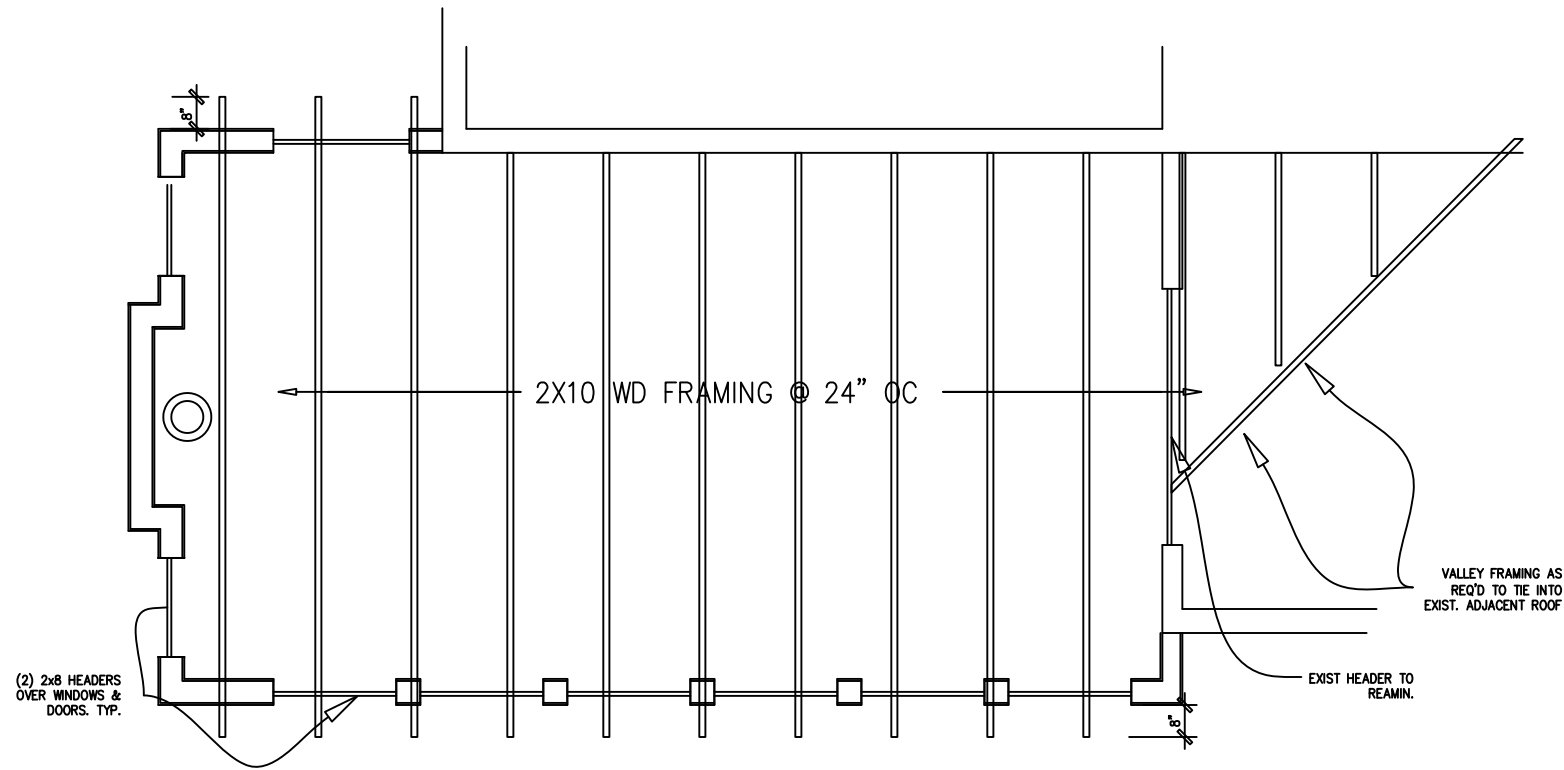


1

SECTION

SCALE: 1/4" = 1'-0"

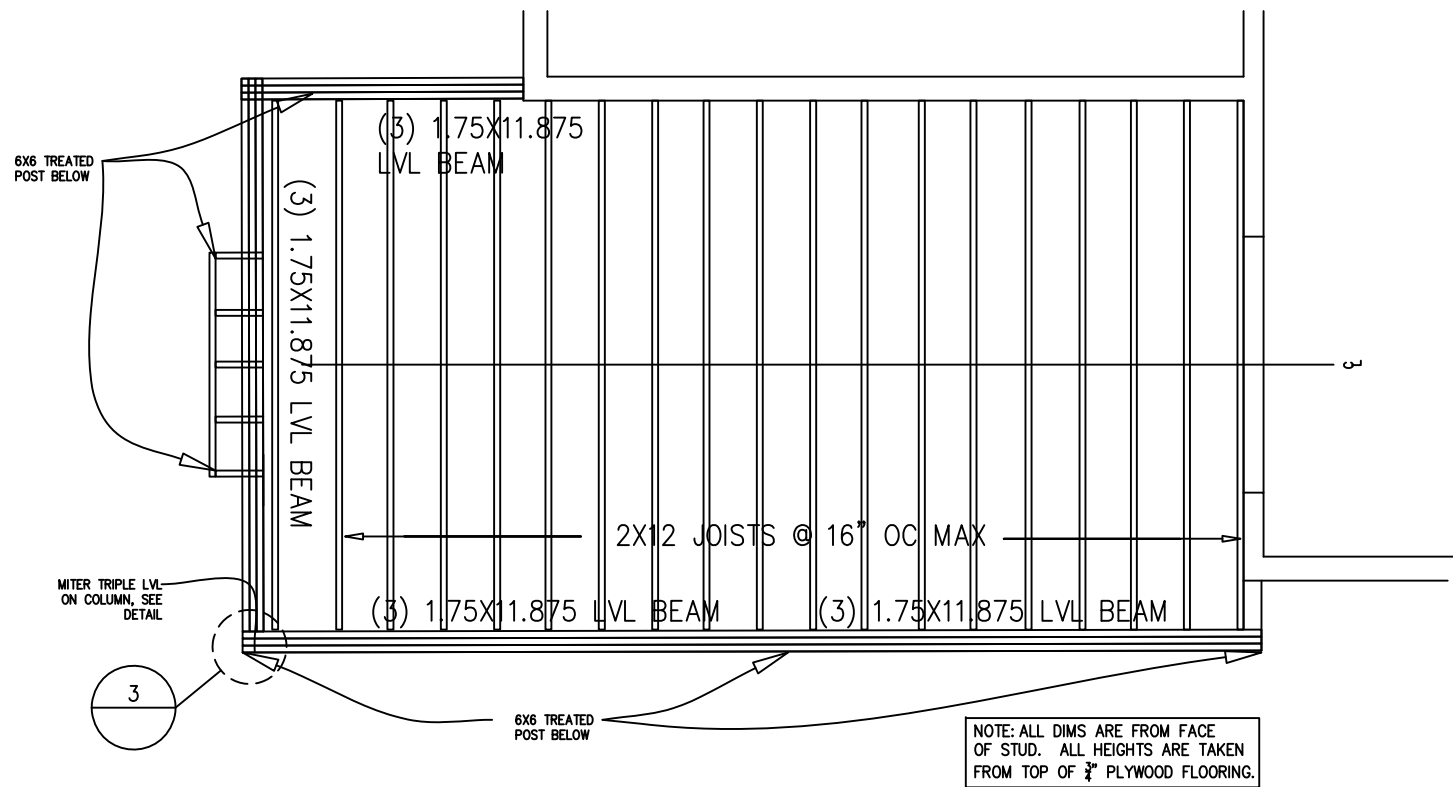
NOTE: ALL DIMS ARE FROM FACE OF STUD. ALL HEIGHTS ARE TAKEN FROM TOP OF 3/4" PLYWOOD FLOORING.



2

ROOF FRAMING PLAN

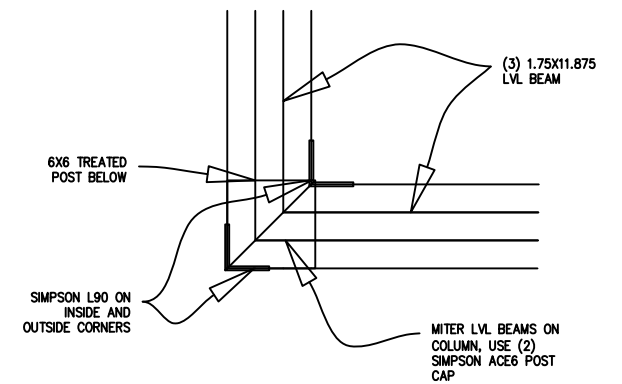
SCALE: 1/4" = 1'-0"



1

FLOOR FRAMING PLAN

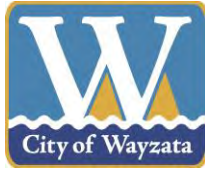
SCALE: 1/4" = 1'-0"



3

MITER LVL TO POST DETAIL

SCALE: 1 1/2" = 1'-0"



**Staff Report
January 22, 2018**

Project Name: Verizon Wireless
Applicant Verizon Wireless
Property Owner: Norval Industries, Inc.
Address of Request: 1000 Superior Blvd
Prepared by: Jeff Thomson, Director of Planning and Building
“60 Day” Deadline: January 30, 2018

Development Application

Introduction

The applicant, Verizon Wireless, has submitted a development application to construct a telecommunication facility for cellular antennas and associated equipment on the building located at 1000 Superior Blvd. The development application requests approval of a conditional use permit (CUP).

Application Requests

As part of the submitted development application, the applicant is requesting approval of the following item:

- A. Conditional Use Permit: Telecommunications equipment that is attached to an existing building requires a conditional use permit by City Code Section 801.31.4.B.3.

Property Information

The property identification number and owner of the property are as follows:

Address	PID	Owner
1000 Superior Blvd	06-117-22-41-0035	Norval Industries, Inc.

The current zoning and comprehensive plan land use designation for the property are as follows:

Current zoning:	C-1/Office and Limited Commercial District
Comp Plan designation:	Mixed Use Commercial

Overlay districts:	N/A
--------------------	-----

Project Location

The property is located on the southeast corner of the Wayzata Blvd E/Superior Blvd intersection:

Map 1: Project Location



Adjacent Land Uses

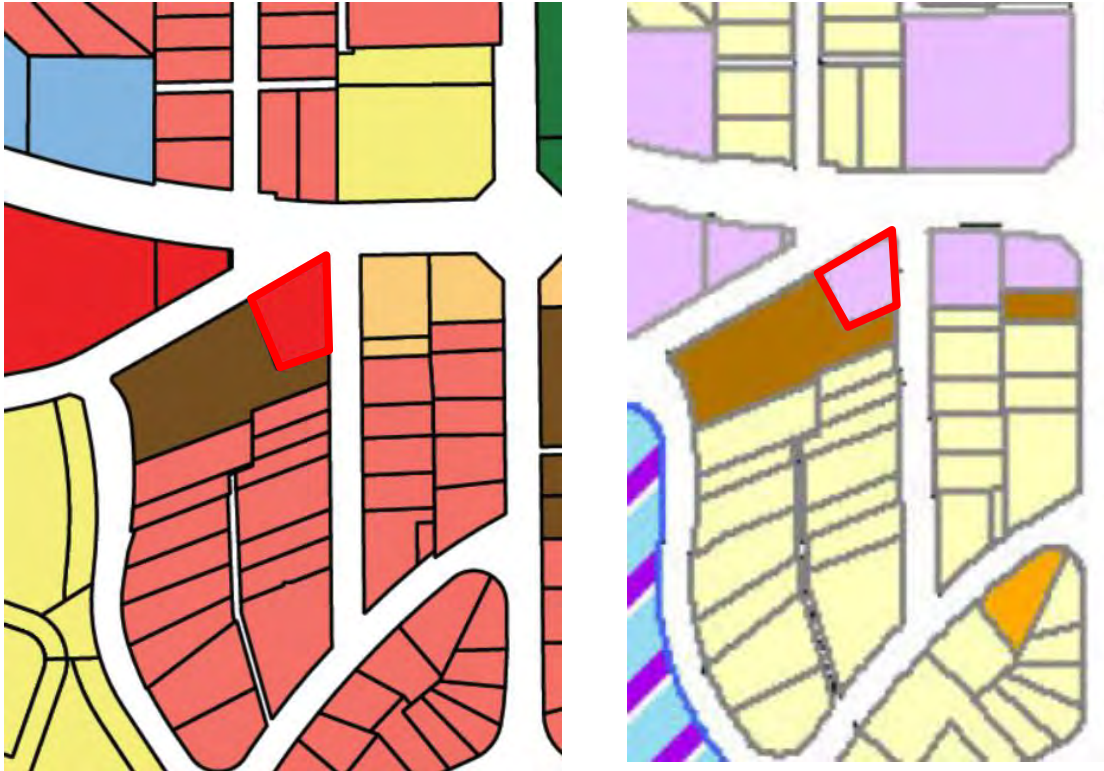
The following table outlines the uses, zoning, and Comprehensive Plan land use designations for adjacent properties:

Direction	Adjacent Use	Zoning	Comp Plan Land Use Designation
North	Residential building	R-3A/Single and Two Family Residential District	Low Density Single Family Residential
East	Eurosport of Wayzata	C-3/Service District	Mixed Use Commercial
South	Residential building	R-5/Average Density Multiple Residential District	High Density Multiple Family Residential
West	Residential building	R-5/Average Density Multiple Residential District	High Density Multiple Family Residential

Map 2: Adjacent Land Uses

Zoning

Comp Plan Land Use Designation



Public Hearing Notice

The public hearing notice was published in the *Lakeshore Weekly News* on November 9, 2017. The public hearing notice was also mailed to all property owners located within 350 feet of the subject property on November 9, 2017. The public hearing was held at the Planning Commission meeting on November 20, 2017

Background Information

Telecommunications Ordinance

In 2015, the Planning Commission reviewed and the City Council adopted a new section of the zoning ordinance which pertains to all commercial telecommunications facilities in the City. In summary, the City's ordinance allows new telecommunications towers on only two properties in the City – the Wayzata West Middle School and Wayzata Public Works facility on Wayzata Blvd. All other telecommunications equipment may only be located on existing buildings or structures, with priority given to commercial buildings located within 300 feet of Wayzata Blvd. In addition, the ordinance allows for “micro cell” sites to be located on existing utility structures within the City's right-of-way. The micro sites are “repeater” locations that support the capacity and coverage of larger existing telecommunications facilities located on nearby buildings or towers.

Previous Planning Commission Meeting

The Planning Commission held a public hearing and reviewed the current development application at its meeting on November 20, 2017. After its review, the Planning Commission requested the applicant review and respond to the following items:

- How the subject property was selected as the preferred site for a telecommunications facility, and the other sites that were considered
- Alternative locations on the roof for the antenna arrays
- Additional screening of the ground equipment
- Additional photo simulations from other vantage points
- Alternative stealth design techniques that could be considered
- Additional landscaping on the south side of the parking lot to replace trees that were required as part of the original development of the Edina Realty building

The applicant has submitted additional information to address the comments from the Planning Commission, which is attached to this report. The additional information includes a revised narrative, revised plans, and four updated photo simulations. The revised plans move the antenna array on the west side of the roof further towards the center of the building to reduce visibility from surrounding properties. The applicant also considered moving the easterly antenna array, but determined it was not feasible due to the existing roof-top HVAC unit. The stealth screening wall has also been revised to remove the window pattern. The screening wall would only include a replica of the brick on the exterior of the building. The screening around the ground-mounted equipment has also been increased in height to fully enclose and screen the equipment from all sides. In addition, three columnar white pines have been added to the south side of the parking lot.

Analysis of Application

Project Overview

The applicant is proposing to add a telecommunications facility on the property to improve communication services in the area. The telecommunications facility would consist of two antenna arrays installed on the roof of the building, and an accessory equipment cabinet installed on the ground within the existing garbage dumpster area in the rear parking lot. Each of the antenna arrays on the roof would be enclosed by a stealth screen enclosure constructed to look like a penthouse, with an exterior finish to match the existing façade of the building. The equipment enclosure would be 36 square feet in size, and would house radio equipment in an enclosure painted to match the existing building. The applicant is also proposing to move the existing fence in the rear of the building, extending the concrete paving to site an electrical transformer. The proposed CUP would not include any changes to the design, size, or footprint of the existing building, beyond the addition of cable routing covers affixed to the exterior.

The following is a summary and analysis of the pertinent ordinance requirements for the proposed telecommunications facility (The Applicable Code Requirements section below outlines all ordinance requirements.):

- Location: The proposed site meets the location requirements for antennas that are attached to existing buildings. The property is zoned C-1, and the building is located within 300 feet of Wayzata Blvd E.

- Stealth Design: The ordinance states that telecommunications equipment must use as many stealth design techniques as reasonably possible. The stealth design techniques provided in the proposed plans include constructing the antennas behind a screening wall so that the antennas would not be visible. The screening enclosures on the roof would be designed to look like penthouse additions, matching the design of the existing building exterior.
- Antenna Height: The proposed antennas meet the maximum height requirement. The height of the antennas and enclosures would be 10 feet above the roof deck, and the ordinance states that antennas mounted on an existing building shall not extend more than 15 feet above the height of the structure to which they are attached.
- Horizontal Projection: The proposed antennas would not project out from the side of the existing building.
- Accessory Equipment: The applicant is proposing to locate the accessory equipment on the ground along the back of the building, and the equipment would be fully enclosed by an equipment enclosure. It would be located within the existing trash enclosure area on the site. The ordinance states that accessory equipment shall be entirely located within an existing structure or within rooftop screening walls whenever possible. If a new equipment building is necessary, it shall be situated to the rear or side of the principal use and shall be screened from view by landscaping where appropriate. If a new equipment building is necessary, the building shall be constructed of materials and color scheme compatible with the principal building. The existing building at the height of the loading dock is sided with white textured concrete and has earth toned brick above the loading dock. The proposed enclosure will be ordered in stucco embossed steel, color white.
- Security Fencing and Screening: The ground-mounted equipment would be fully enclosed within an equipment enclosure that is equal to or greater than the height of the equipment located within the fencing. It would also be screened within the loading dock area by the existing retaining walls and wooden fencing.
- Trash Receptacles: Ordinance Section 801.17.7 states that all buildings with exterior trash receptacles shall provide an enclosed area with exterior wall treatment similar and/or complementary to the principal building and screening the receptacle area from view, in the rear or side yard. If the building trash receptacle is to be moved to make room for the new environmental shelter, future storage of the trash receptacle must comply with this ordinance section.

Public Comments

The City received two emails from surrounding property owners regarding the development application. The public comments are attached to this report.

Action Steps

After considering the items outlined in this report, the Planning Commission should direct staff to prepare a *Planning Commission Report and Recommendation*, with appropriate findings, reflecting a recommendation on the application for review and adoption at the next Planning Commission meeting.

The Planning Commission should consider one of the following motions based on its review of the development application:

- Move to direct staff to prepare a Report and Recommendation of approval of the conditional use permit at 1000 Superior Blvd
- Move to direct staff to prepare a Report and Recommendation of denial of the conditional use permit at 1000 Superior Blvd, based on the following findings...

Attachments

Applicant's Narrative
Additional Information from Applicant
Updated Photo Simulations
Revised Plans
November 20, 2017 Planning Commission Minutes
Public Comments

Applicable Code Provisions for Review

Conditional Use Permits (City Code Section 801.04.2.F): The Planning Commission and City Council shall consider possible adverse effects of the proposed conditional use. Their judgment shall be based upon (but not limited to) the following factors:

- A. The proposed action in relation to the specific policies and provisions of the official City Comprehensive Plan.
- B. The proposed use's compatibility with present and future uses of the area.
- C. The proposed use's conformity with all performance standards contained herein (i.e., parking, loading, noise, etc.).
- D. The proposed use's effect on the area in which it is proposed.
- E. The proposed use's impact upon property values in the area in which it is developed.
- F. Traffic generated by the proposed use is in relation to capabilities of streets serving the property.
- G. The proposed use's impact upon existing public services and facilities including parks, schools, streets and utilities, and the City's service capacity.

Building and Design Standards, Allowed Locations for Telecommunications Facilities, and Required Permits (City Code Section 801.31.4.B.3) Telecommunications Equipment may be attached to an existing building according to the following standards:

- a. The Applicant shall provide documentation and/or an analysis prepared by a radio or electrical engineer demonstrating that the proposed location of the Telecommunications Equipment is necessary to meet the coverage and capacity needs of its system. The Applicant shall provide a network map describing all of the Applicant's Telecommunications Facilities which provide any coverage within the City's limits. The documentation and/or analysis shall also show the Telecommunications Equipment would not cause interference with other existing or approved Telecommunications Equipment. The Applicant shall also pay the reasonable expenses of a radio or electrical engineer retained by the City, at the City's option, to review this analysis;
- b. The Telecommunications Equipment shall use as many Stealth Design techniques as reasonably possible. Economic considerations or hardships shall not be the sole justification for failing to provide Stealth Design techniques;

- c. The building upon which the Antenna is attached to, shall be located on a parcel of land zoned C – 1 Office and Limited Commercial District, C-3 Service District, or PUD Planned Unit Development, and the building upon which the Antenna is to attached to must be located within 300 feet of the Wayzata Blvd East right-of-way.

The City Council may, at its sole discretion, consider other sites if the Applicant demonstrates that all other sites that comply with the zoning district and distance requirements above have been considered and deemed infeasible to provide adequate coverage and/or capacity to a significant portion of the City of Wayzata. CUPs for other sites may be approved only after the Applicant demonstrates that there is no other location that complies with the zoning district and distance requirements above that the Telecommunications Equipment could be located on, and provide substantially the same coverage. In no case can Telecommunications Equipment be located in any residential zoning district, or on parcels of land guided in the Comprehensive Plan for Parks or Public Open Space.

- d. The Antenna shall be attached to the façade of the building or attached on or within a rooftop screening wall (i.e. §801.09.7.2). A façade mounted Antenna shall not extend above the cornice line and a rooftop or screening wall mounted Antenna shall not extend more than fifteen (15) feet above the screening wall. Façade and screening wall mounted Antenna shall, as closely as possible, match the color of the underlying building material.
- e. Accessory Equipment shall be entirely located within an existing structure or within rooftop parapet screening walls whenever possible. If a new equipment building is necessary, it shall be situated to the rear or side of the principal use and shall be screened from view by landscaping where appropriate. If a new equipment building is necessary, the building shall be constructed of materials and color scheme compatible with the principal building.

General Standards for Telecommunication Facilities (801.31.5) All Telecommunications Facilities must comply with the following standards (although nothing in this Section 5 shall be read to allow the City to prohibit a Telecommunication Facilities Permit based solely upon a request by the owner/operator for modification of an existing tower or base station that does not substantially change the physical dimensions of such tower or base station and is otherwise an “eligible facilities request” under 47 U.S.C. Section 1455 (a) and 47 C.F.R. Section 1.40001 (c), as the same may be amended.):

- A. **Vertical projection on Antenna support structures.** Antennas mounted on an existing Antenna Support Structure shall not extend more than 15 feet above the height of the structure to which they are attached. Wall or façade-mounted Antennas shall not extend above the cornice line and shall

be constructed of a material or color that matches the exterior of the building.

- B. **Horizontal projection.** Antennas shall not project out from the side of the existing Antenna Support Structure, Telecommunications Tower, or wall or facade by more than three feet.
- C. **Fall Zone Analysis.** The Applicant must submit a fall zone analysis report completed by a qualified and licensed engineer that shows the Telecommunications Facilities do not pose a threat to general health, safety and welfare of the City.
- D. **Setbacks.** Telecommunications Facilities shall meet the building setback that is established for the zoning district where it is to be located, and the following additional standards:
 - 1. A Telecommunications Tower shall be set back from all residential property lines at least one (1) foot for each foot in height, but shall have a minimum setback of at least one hundred (100) feet. The Tower setbacks may be increased by the City Council dependent on the results of the engineered fall zone analysis report submitted by the Applicant as part of the permit application.
 - 2. Towers and Telecommunications Equipment shall not encroach upon any easements unless written permission is obtained from the underlying property owner burdened by the easement and the beneficiary of the easement.
 - 3. The required setbacks may be reduced or the location in relation to a public street modified, at the sole discretion of the City Council, when the Telecommunications Equipment is integrated into an existing or proposed structure such as a building, light or utility pole.
- E. **Height.** The height of an Antenna and/or Telecommunications Tower shall be the minimum necessary to meet the Applicant's coverage and capacity needs, as verified by an electrical engineer or other appropriate professional. Any new or replacement Tower and Antenna, including attachments other than lightning rods, shall not exceed 150 feet in height, measured from grade. The City Council may, but shall not be required to, increase this height up to 190 feet if the Council finds: (1) the increase in height would not have a significant visual impact, (2) would not have a negative property value impact on surrounding properties because of proximity, topography or screening by trees or buildings or (3) would accommodate two or more users.

- F. **Exterior surfaces.** Towers and Antennas shall be painted a non-contrasting color consistent with the surrounding area such as: blue, gray, green, brown, or silver, or have a galvanized finish to reduce visual impact. Metal Towers shall be constructed of, or treated with, corrosion-resistant material.
- G. **Ground-mounted equipment.** Ground-mounted Accessory Equipment and/or equipment storage facilities shall be architecturally designed to blend in with the surrounding environment, including the principal structure and/or shall be screened from view by suitable vegetation, except where a design of non-vegetative screening better reflects and compliments the character of the surrounding neighborhood. No more than one Equipment Shelter or accessory building is permitted for each Tower. Equipment Shelters or accessory buildings shall be designed to accommodate additional space needed for the co-location of additional Antennas at the site. The additional space must either be built within the first shelter/building or that shelter/building must be designed to allow for future expansions and/or additions. Design of the building or equipment cabinet, screening, and landscaping are subject to applicable Design Standards criteria under Section 801.09 of the Wayzata Zoning Ordinance. The Applicant shall be responsible for maintaining the structure in a high-quality condition. If the Applicant abandons or vacates the structure, it shall be forfeited to the City or torn down by the Applicant at their expense, at the discretion of the City Council.
- H. **Construction.** Telecommunications Facilities shall be in compliance with all buildings and electrical code requirements. All applicable federal, state and local agency licenses and/or permits shall be obtained. A Telecommunications Tower shall be designed and certified by a licensed structural engineer to be structurally sound and in conformance with the building code. Structural design, mounting and installation of the Telecommunications Facilities shall be in compliance with the manufacturer's specifications. If, upon inspection, the City concludes that a Tower or other portion of a Telecommunications Facility fails to comply with such codes and standards and constitutes a danger to persons or property, then upon notice being provided to the owner of the Telecommunication Facility or Tower, the owner shall have thirty (30) days to bring such Tower or Telecommunication Facility into compliance with such standards. Failure to bring such Tower or Telecommunication Facility into compliance with such thirty-day period shall constitute grounds for the removal of the Tower or Telecommunication Facility at the owner's expense.
- I. **Interference with Public Safety Telecommunications.** No Telecommunications Tower or Telecommunications Facility shall interfere

with public safety Telecommunications. All Towers and Telecommunication Facilities shall comply with FCC regulations and licensing requirements.

- J. **Security Fencing and Screening.** Telecommunication Facilities and Towers shall be enclosed by security fencing not less than the height of the equipment located therein and shall also be equipped with an appropriate anti-climbing device. Fencing within one hundred (100) feet of a residential or parking property shall be constructed of a well-designed fence of wood or other environmentally sound material, and be compatible with the surrounding character of the area. The Telecommunication Facilities and Towers shall also include a landscape screen, at least six (6) in height, around the perimeter of equipment area, as approved by the City Council.
- K. **Other Protections.** The City may require shields to protect from ice falling from Towers, anti-climbing devices to prevent unauthorized persons from climbing Towers, or other appurtenances necessary to protect life and property.
- L. **Noise.** If the proposed Telecommunications Facility includes equipment that causes significant sound levels, sound buffers may be required including but not limited to, baffling, barriers, enclosures, walls and plantings. The Applicant shall submit an acoustical analysis (measured to the property line) and report prepared by a licensed and/or accredited sound engineer certifying that the noise to be generated from the proposed Telecommunication Facility shall not impact adjacent properties. Said report shall include, without limitation, a written description of all noise generated by the Facility, including retractable monopole motors, Antenna rotators, power generation, heating or air conditioning, and related equipment, and shall include the estimated times, frequency, duration and decibel levels of the noise. All equipment shall conform to Minnesota Pollution Control Agency decibel standards.
- M. **Sensitive Habitats.** No Telecommunication Facility shall be located in environmentally sensitive habitats, including but not limited to wetlands, shorelines, established animal habitats, conservation districts, and significant tree groups, unless mitigation measures can be adopted which would reduce potential impacts to levels of non-significance.
- N. **Radio Frequency Emissions.** Telecommunications Facilities shall comply with Federal Communication Commission standards for radio frequency emissions and interference.
- O. **Interference.** No Telecommunication Facility shall be permitted that causes interference with commercial or private use and enjoyment of other legally operating telecommunications devices including, but not limited to, radios, televisions, personal computers, telephones, personal

communications devices, garage door openers, security systems, and other electronic equipment and devices in violation of any Federal Communication Commission standards relating to radio frequency interference. Unless otherwise prohibited by Federal Communication Commission standards, an Applicant shall furnish a state registered engineer's certification that no such interference shall occur, or identify what interference may occur and how the Applicant shall mitigate any potential interference that may occur.

- P. **Risk of Danger.** Telecommunications Facilities and Towers shall not pose a risk of explosion, fire, or other danger due to its proximity to volatile, flammable, explosive or hazardous materials. Telecommunication Facilities, Towers, Antennas, and Accessory Equipment shall be subject to state and federal regulations pertaining to non-ionizing radiation and other health hazards related to such Facilities. If new, more restrictive standards are adopted, the Facilities shall be made to comply or continued operations may be restricted by the City Council. The cost of verification of compliance shall be borne by the Applicant.
- Q. **Maintenance.** All Telecommunication Facilities and Towers shall at all times (i) be kept and maintained in good condition, order and repair so that the same shall not menace or endanger the life or property of any person, and (ii) allow sufficient access for service vehicles and personnel. Maintenance of equipment shall be scheduled for between 7:00am-6:00pm, Monday through Friday, unless in case of emergency or otherwise agreed to by the City. Service vehicles for equipment maintenance shall be parked on city streets, unless paved and screened off-street is available at the site. In the case of maintenance of Telecommunication Facilities on the City Water Tower, service vehicles shall park on the service entrance of the City Water Treatment Plant, whenever possible.
- R. **Co-location opportunity.** The Applicant, the Tower owner, the landowner, and their successors and assigns shall allow the shared use of the Tower if an additional user agrees in writing to meet reasonable terms and conditions for shared use, shall submit a dispute over the potential terms and conditions to binding arbitration, and shall sign the Conditional Use Permit agreeing to these requirements. The City Council may waive these co-location requirements if necessary to implement stealth design.
1. All Telecommunications Facility providers shall cooperate with each other in co-locating Telecommunication Facilities and shall exercise good faith in co-locating with other licensed carriers and in the sharing of sites, including the sharing of technical information necessary to evaluate the feasibility of collocation. In the event a dispute arises as to a co-location issue, the City may require a third-party technical study to evaluate the feasibility of co-locating at the

expense of each wireless telecommunications providers involved in the third-party study;

2. All proposed new Telecommunications Towers shall be designed to accommodate both the Applicant's Antennas and Antennas for as many other licensed carriers as can be technically located thereon, but not less than one additional;
 3. All new Telecommunications Facilities and Towers owned by a telecommunications provider shall be made available for use by the owner or initial user thereof, together with as many other licensed carriers as can be technically located thereon, but not less than one additional;
 4. All proposed new Telecommunications Towers shall be designed to allow for future rearrangement of Antennas or Tower modifications, and to accept Antennas mounted at varying heights unless the City otherwise agrees in order to accommodate Stealth Design techniques;
- S. **Successors and Assigns.** Any Permit or lease for a Telecommunications Facility shall run with the Property, and shall be binding upon and inure to the benefit of the parties, their respective successors, personal representatives, and assigns.
- T. **External messages.** No advertising message or identification signs, other than warning or equipment information signs as legally required, shall be affixed to the Telecommunications Facilities.
- U. **Lighting.** Telecommunications Facilities or Towers shall not be artificially illuminated unless required by law or by a governmental agency to protect the public's health and safety or unless necessary to facilitate service to ground-mounted equipment. Any lighting or artificial illumination utilized shall be shielded and not cast glare onto adjacent properties. All lighting shall be measured to the property line.
- V. **On-site employees.** There shall be no employees on the site at a Telecommunications Facility on a permanent basis. Occasional or temporary repair and service activities are allowed.
- W. **Advances in Stealth Technology.** Whenever an applicant proposes to install and/or replace antennas or other telecommunications equipment, the Applicant shall submit a report describing all available technology for installation or replacement. The report shall include the purpose of equipment to be installed (expand coverage, expand capacity, expand bandwidth, etc.) and the performance specifications and physical

dimensions of the equipment. The report conclusions must provide an analysis of performance versus visual impacts and/or stealth technology. The City retains the right to evaluate the reports analysis and perform a third party technical review at the applicants cost. The City shall have the ability to require the stealth or lower visual profile equipment based on the third party technical recommendation.

- X. **Removal.** After one hundred twenty (120) days' notice from the City to the Permit Holder all Telecommunications Facilities, Antennas, or Towers shall be required to be removed at the Permit Holder's expense, if such improvement is found to be in violation of any portion of this Ordinance by the City and such violation is not cured within such thirty day time period. Obsolete or unused Telecommunications Facilities and all related equipment shall be removed within six (6) months after cessation of their use at the site, unless an exemption is granted by the City Council. Telecommunications Facilities and related equipment that have become hazardous shall be removed or made not hazardous within 30 days after written notice to the current Permit Holder and to any separate landowner, unless an exemption is granted by the City Council. Notice may be made to the address listed in the application, unless another one has subsequently been provided, and to the taxpayer of the property listed in the Hennepin County tax records. Telecommunications Facilities and all related equipment that are not removed within this time are declared to be public nuisances and may be removed by the City. The City may assess its costs of removal against the Property.
- Y. **No Recourse Against the City.** Every permit shall provide that, without limiting such immunities as the City or other persons may have under applicable law, an Applicant/Permit Holder shall have no monetary recourse whatsoever against the City or its elected officials, boards, commissions, agents, employees or volunteers for any loss, costs, expense or damage arising out of any provision or requirement of this Ordinance or because of the enforcement or lack of enforcement of this Ordinance or the City's exercise of its authority pursuant to this Ordinance, a permit, a lease, or other applicable law, unless the same shall be caused by criminal acts or by willful gross negligence. Nothing herein shall be construed as a waiver of sovereign immunity.

Trash Receptacles (City Code Section 801.17.7): All buildings having exterior trash receptacles shall provide an enclosed area in conformance with the following:

- A. Exterior wall treatment shall be similar and/or complement the principal building.
- B. The enclosed trash receptacle area shall be located in the rear or side yard.

- C. The trash enclosure must be in an accessible location for pick-up hauling vehicles.
- D. The trash receptacles must be fully screened from view of adjacent properties and the public right-of-way.
- E. The design and construction of the trash enclosure shall be subject to the approval of the Building Official.
- F. Recycling space must be provided as required by the State Building Code.

Height Requirements (City Code Section 801.19.2):

- A. A building which actual height from the foundation to the top peak of any portion of the roof exceeds the allowable building height in the applicable zoning district by more than five (5) feet or roof pitches of more than a 45 degree angle for those structures at the building height limitation may be allowed as a conditional use permit provided that:
 - 1. The architectural appearance of the building shall not be so dissimilar to the existing neighboring buildings as to cause impairments in property values or constitute a blighting influence within a reasonable distance of the lot.
 - 2. For each additional five (5) feet in allowable, actual, roof height as calculated by the Building Code, which is above the maximum building height allowed by the respective zoning district; front and side yard setback requirements shall be increased by one (1) foot.
 - 3. The construction does not limit solar access to abutting and/or neighboring properties.
 - 4. The provisions of Section 801.04.2.F, Conditional Uses, are considered and satisfactorily met.
- B. The building height limits established in each zoning district shall not apply to the following list of items, except that no such structural element may exceed forty (40) feet in total height or exceed the maximum height of the building by more than five (5) feet, whichever is greater, except by conditional use permit.
 - 1. Belfries
 - 2. Chimneys or flues
 - 3. Church spires
 - 4. Cooling towers
 - 5. Communication reception/transmission devices
 - 6. Cupolas and domes which do not contain usable space
 - 7. Elevator penthouses
 - 8. Flag poles

- 9. Monuments
 - 10. Parapet walls
 - 11. Necessary mechanical and electrical appurtenances
- C. Modifications to the site grading of a lot may not be undertaken as a means of achieving increased building height, unless approved by the City Council.
- D. As may be appropriate, applicants shall be required to submit a detailed survey for all new residential and non-residential structures including topographical information at two (2) foot contours signed by a licensed surveyor depicting elevations (existing and proposed) at the corners of the building footprint and within a radius of five (5) feet to verify the calculation of the datum point for determination of the building height.

DEVELOPMENT APPLICATION

STATEMENT OF PROPOSED USE AND PROJECT DESCRIPTION

NEED FOR IMPROVED COVERAGE IN WAYZATA, MINNESOTA

Verizon Wireless, a joint venture between Verizon Communications, Inc. and Britain's Vodafone Group PLC is one of the leading wireless providers in the United States with its principal office located at One Verizon Way, Mail Stop 4AW100, Basking Ridge, New Jersey 07920 and with a Minnesota office located at 10801 Bush Lake Road, Bloomington, Minnesota 55438.

For approximately 20 years, Verizon Wireless had a wireless equipment installation on the rooftop of the Anchor Bank office building that was located at 1055 E. Wayzata Blvd. E. Towards the end of 2013, Verizon Wireless' lease agreement expired and the property owner would not renew the agreement due to plans to redevelop the property. I worked with representatives of the developer to see if Verizon Wireless could incorporate its equipment installation into the design of the new Walgreens. After several months going back and forth, it became clear that the height limitations and design criteria of the new building would not be feasible for Verizon Wireless' equipment installation. Verizon Wireless co-located its equipment installation on the Crown Communications monopole tower located in the rear parking lot of the office building located at 1411 Wayzata Blvd. E. Due the height and space limitations of that tower site, Verizon Wireless' required an additional location for a new Telecommunications Facility in order to address areas of inadequate service in Wayzata.

Matt Mithun from Mithun Enterprises, LLC was approached regarding the Wells Fargo building located at 900 Wayzata Blvd. E. Mr. Mithun confirmed that Wells Fargo's lease agreement provided for control of the entire building and Wells Fargo would need to be approached regarding Verizon Wireless' proposed lease agreement for a Telecommunications Facility installation. On October 27, 2015, I received confirmation from Carrie M. Timmins, Regional Portfolio Manager, from Wells Fargo Corporate Properties Group explaining that Verizon Wireless' proposed installation was not a feasible opportunity to Wells Fargo due to their building security concerns.

Verizon Wireless participated in the City's process of updating its zoning code regarding the placement of Telecommunication Facilities in the City of Wayzata. Upon completion of the updated ordinance, various properties were evaluated and it was determined that the best solution to Verizon Wireless' coverage issues would be a rooftop installation at the Edina Realty building located at 1000 Superior Blvd. and the subject of this CUP zoning application.

LOCATION AND DESCRIPTION OF PROPERTY

The subject of this Development Application is the Edina Realty building located at 1000 Superior Boulevard, Wayzata, MN and legally described as:

That part of Block 46, Minnetonka Arlington Heights, described as follows: Beginning at a point on the East line of said Block distant 160 feet North from the Southeast corner of said Block; thence Southwesterly parallel with the Southerly line of said Block a distance of 100 feet to a point hereinafter referred to as "Point A" thence continuing Southwesterly parallel with said Southerly line a distance of 140 feet; thence at right angles Northwesterly to the Southeasterly line of Wayzata Boulevard as established by agreement dated March 29, 1922, between J. Douglas Winter and the State of Minnesota; thence Northeasterly along the Southeasterly line of said boulevard a distance of 140 feet to a point hereinafter referred to as "Point B" thence continuing Northeasterly along said Southeasterly line of said boulevard to the East line of said Block; thence South along said East line to the point of beginning, EXCEPT that part thereof lying Southwesterly of a line drawn from said "Point A" to said "Point B".

The Radiation Protection Products, Inc. property is zoned Office and Limited Commercial District and is located near the intersection of Wayzata Blvd. E. and Superior Blvd. The property PID # is 06-117-22-41-0035.

PROPOSED COMMUNICATIONS FACILITY

Verizon Wireless is proposing to construct a communications facility at the Edina Realty building located at 1000 Superior Boulevard, in Wayzata, MN. The communications facility will consist of an antenna installation on the rooftop as well as an equipment enclosure on the ground in the rear parking lot adjacent to the garbage dumpster area. The antennas on the roof will be enclosed by a stealth screen enclosure constructed with a special RF material. The antenna screens will be designed to look like a penthouse and will be designed and painted to match the existing façade of the building. Detailed design drawings for the proposed screen enclosures are included in Verizon Wireless' site plan drawings attached as Exhibit E.

ACCESSORY EQUIPMENT

As part of its communications facility installation, Verizon Wireless will be installing a prefabricated equipment enclosure having dimensions of 6' L x 6' W x 10 H, to house its radio equipment. There will not be an emergency backup generator included as part of this project. The equipment enclosure will be painted to match the existing building. A set of Verizon Wireless' proposed site plan drawings are attached as Exhibit E.

TYPICAL ACTIVITY AT A VERIZON WIRELESS SITE LOCATION

The proposed equipment enclosure will not be staffed on a daily basis. Upon completion of construction, the site will require only infrequent site visits (approximately one to four times a month). Legal access to Verizon Wireless' equipment will be obtained via the

parking lot accesses off of Wayzata Blvd. E. The site will be entirely self-monitored and is connected directly to a central office where sophisticated computers will alert personnel to equipment malfunction or breach of security.

BUILDING AND CONSTRUCTION STANDARDS

The proposed facilities will be designed and constructed to meet applicable governmental and industry safety standards. Specifically, Verizon Wireless will comply with all FCC and FAA rules regarding construction requirements, technical standards, interference protection, power and height limitations, and radio frequency standards.

CONCLUSION

Verizon Wireless looks forward to working with the City of Wayzata to bring the benefits of improved voice and data coverage as well as enhanced E911 capabilities to the residents of Wayzata. Allowing Verizon Wireless to construct the proposed Telecommunication Facility on the rooftop of the Edina Realty building will help Verizon Wireless to provide uninterrupted superior wireless service to its customers in the City of Wayzata and therefore provide greater competition in the wireless service marketplace.

SECTION 31

COMMERCIAL TELECOMMUNICATIONS FACILITIES AND RESIDENTIAL ACCESSORY COMMUNICATIONS DEVICES

Section 801.31:

801.31.1:	Purpose and Intent
801.31.2:	Definitions
801.31.3:	Existing Telecommunications Equipment
801.31.4:	Building and Design Standards, Allowed Locations for Telecommunications Facilities, and Required Permits
801.31.5:	General Standards for Telecommunication Facilities
801.31.6:	Applications for Telecommunications Facilities
801.31.7:	Revocation of Permit
801.31.8:	No Recourse Against the City
801.31.9:	Indemnification
801.31.10:	Severability
801.31.11:	Residential Accessory Uses

1. Purpose and Intent.

The purpose of this section is to establish objective and balanced regulations for the siting, screening and operation of wireless telecommunication facilities and equipment in order to accommodate Wireless Communication systems within the City while minimizing any adverse impacts on the City's natural resources, aesthetics, public spaces, surrounding neighborhood property values, and the general health, safety and public welfare, all as allowed under applicable Federal law. This section recognizes that these wireless communication systems provide a valuable service to the public but that they are not a public utility. The specific purposes of this section are to:

- A. Specify allowed locations of commercial Telecommunication Facilities and Towers in the City;
- B. Protect residential, recreational and park areas from encroachment by commercial operations, including, but not limited to, Telecommunication Facilities and Towers;
- C. Minimize adverse visual impacts of Telecommunication Facilities and Towers through careful design, optimum siting, appropriate landscaping, innovative camouflaging techniques and stealth poles;
- D. Require, where possible, the co-location of Telecommunications Towers and Antennas support structures on Towers or existing structures as a primary option rather than construction of multiple single-use Towers;

- E. Require utilization of technological designs that either eliminate or reduce the need for erection of new Tower structures to support Telecommunications Facilities;
- F. Minimize potential damage to property caused by Telecommunication Facilities and Towers by ensuring such structures are soundly and carefully designed, constructed, modified, maintained, and removed when no longer used or are determined to be structurally unsound;
- G. Ensure that Telecommunication Facilities and Towers are compatible with surrounding land uses;
- H. Provide development standards for Wireless Telecommunication Facilities that are consistent with the requirements of the Federal Telecommunications Act of 1996, as amended, or other applicable Federal, State and local laws, statutes, ordinances and regulations;
- I. Encourage consistent, high quality telecommunications services throughout the City.

2. **Definitions.**

For the purposes of this section, the terms below have the meaning given to them, unless the context clearly indicates a different meaning:

- A. **“Accessory Equipment”** means the wires, cables, generators, air conditioning units, and other equipment or facilities that are used in conjunction with Telecommunication Facilities and Telecommunication Equipment
- B. **“Applicant”** means any person or entity who files an application for any permit or is party to any lease agreement required by this Ordinance for the construction, replacement, installation, or alteration of wireless communication facility or any component thereof.
- C. **“Antenna”** means any exterior transmitting or receiving device mounted on a Tower, Monopole, building, or other structure and used in communications that radiate or capture electromagnetic waves, digital signals, analog signals, radio frequencies (excluding radar signals), wireless telecommunications signals or other communications signals. “Antenna” does not include a lightning rod.
- D. **“Antenna Support Structure”** means any new or existing Telecommunications Tower, building, water tower, or electric transmission tower carrying over 200 kilo volts of electricity that can be used for the location of Antennas without increasing the height or mass of the existing structure.

- E. **“Engineer”** means a radio, electrical, structural, or mechanical engineer licensed by the State of Minnesota.
- F. **“Equipment Shelter”** means an enclosed structure at the base of or near a Telecommunication Facility, Tower, or Antenna within which are housed, among other things, batteries, generators, air conditioning units, wireless communications or electrical equipment, or other Accessory Equipment, which may be connected to the Telecommunications Facility, Tower or Antenna by cable.
- G. **“Co-location”** means the sharing of structures by two or more wireless service providers on a single support structure or otherwise sharing a common location.
- H. **“Monopole”** means a slender self-supporting Tower used to support Antennas and Accessory Equipment.
- I. **“Permit Holder”** a person or entity who holds a permit issued pursuant to this Ordinance for a Telecommunications Facility.
- J. **“Public Utility Structure”** means a structure which is owned by a governmental agency or utility company and which is used to support illumination devices or lines and other equipment carrying electricity or communications.
- K. **“Residential Accessory Communication Devices”** means any satellite dishes, television Antennas, radio Antennas, amateur (ham) radio Antennas, and similar communication transmission/reception devices and associated Accessory Equipment that are a permitted accessory use within a residential district.
- L. **“Stealth Design”** means state-of-the-art design techniques used to blend the object into the surrounding environment and to minimize the visual impact as much as reasonably possible. Examples of stealth design techniques include architecturally screening roof-mounted Antennas and Accessory Equipment; integrating Telecommunications Facilities into architectural elements; nestling Telecommunications Facilities into the surrounding landscape so that the topography or vegetation reduces their view; using the location that would result in the least amount of visibility to the public, minimizing the size and appearance of the Telecommunications Facilities; and designing Towers to appear other than as Towers, such as light poles, power poles, flag poles, and trees.
- M. **“Telecommunications Equipment”** means Antennas and Accessory Equipment.
- N. **“Telecommunications Facilities”** means any facility or location maintained by a commercial enterprise where Telecommunications Equipment or Telecommunications Tower is located.

The following shall not be considered Telecommunication Facilities:

1. Licensed amateur (ham) radio Antennas, regulated under subsection 801.31.11 below.
 2. Television Antennas and satellite dish Antennas for reception within individual homes or businesses, regulated under subsection 801.31.11 below.
 3. Temporary Telecommunication Facilities placed in service during an emergency declared by a government agency or for special events requiring wireless service capacity or coverage that is not available from existing Telecommunication Facilities.
- O. **“Telecommunications Tower” or “Tower”** means any of the following: a ground or roof mounted pole; spire; free standing, self-supporting lattice or monopole structure; or combination thereof taller than twenty-five (25) feet, including but not limited to supporting lines, cables, wires, braces, and masts, intended primarily for the purpose of mounting an Antenna, meteorological device, or similar apparatus above grade (except amateur radio Antennas).
- P. **“Wireless Communications”** means any personal wireless services as defined in the Federal Communications Act of 1996, including FCC licensed commercial wireless Telecommunications services including, but not limited to, cellular, personal communication services (PCS), specialized mobile radio (SMR), enhanced specialized mobile radio (ESMR), global system of mobile communication (GSM), paging and similar services that currently exist or may be developed.

3. Existing Telecommunications Equipment.

- A. Existing Telecommunications Equipment located on or attached to an existing Antenna Support Structure, prior to the adoption of this Ordinance, are regulated by the provisions of the zoning district for each such parcel containing said Antenna Support Structure. Once the leases for existing Telecommunications Equipment expire or are otherwise terminated, the owner of the Telecommunication Equipment shall apply for a Telecommunication Facilities Permit or Conditional Use Permit as outlined in Section 801.31.4 of this Ordinance, and the existing Telecommunications Equipment shall be required to conform to all requirements of this Ordinance for new Telecommunication Facilities. The City may, among other remedies, require relocation of Telecommunications Equipment, at the owner’s expense, to permitted areas under this Ordinance.
- B. Eligible Facilities Request. Notwithstanding the above, nothing in this Section 3 shall be read to allow the City to prohibit a Telecommunication Facilities Permit based solely upon a request by the owner/operator for modification of an existing tower or base station that does not substantially change the physical dimensions of

such tower or base station and is otherwise an “eligible facilities request” under 47 U.S.C. Section 1455 (a) and 47 C.F.R. Section 1.40001 (c), as the same may be amended.

4. Building and Design Standards, Allowed Locations for Telecommunications Facilities, and Required Permits. All Telecommunications Facilities shall be constructed and maintained in accordance with the following standards:

A. Telecommunication Facilities Permit.

Prior to the construction or operation of the following types of Telecommunications Facilities, the owner and operator of the Telecommunications Facility must obtain a permit for the Telecommunications Facilities according to the provisions of this Ordinance, termed a “Telecommunications Facilities Permit”:

1. New Telecommunications Equipment may be located on a Telecommunications Tower allowed under Section 801.31.4.B(1) that has an approved Conditional Use Permit only if the Applicant complies with the following requirements:
 - a. The Applicant shall provide documentation and/or an analysis prepared by a radio or electrical engineer demonstrating that the proposed location of the Telecommunications Equipment is necessary to meet the coverage and capacity needs of its system. The Applicant shall provide a network map describing all of the Applicant’s Telecommunications Facilities which provide any coverage within the City’s limits. The documentation and/or analysis shall also show the Telecommunications Equipment would not cause interference with other existing or approved Telecommunications Equipment. The Applicant shall also pay the reasonable expenses of a radio or electrical engineer retained by the City, at the City’s option, to review this analysis;
 - b. The Telecommunications Equipment shall use as many Stealth Design techniques as reasonably possible and include non-proprietary information on Stealth Design technology. Economic considerations or hardships shall not be the sole justification for failing to provide Stealth Design techniques.

B. Conditional Use Permit.

Telecommunication Facilities may not be located on any locations other than those that are designated in Section 801.31.4.A unless the Applicant first obtains a Conditional Use Permit for the Telecommunications Facility. The

Telecommunications Facility must comply with the provisions of this section, and the provisions of Section 801.04.2.F of this Ordinance:

1. Telecommunications Towers shall be located only on the following parcels owned and/or controlled by the City of Wayzata:

<u>Property Name</u>	<u>Property Identification Number</u>
City of Wayzata Public Works Facility	01-117-23-22-0004
Wayzata West Middle School	06-117-22-22-0008

Verizon Wireless has agreed to relocate from the existing City water tower to the new monopole that the City is constructing on the Wayzata West Middle School property.

- a. The Telecommunications Tower and Antenna, including attachments other than lightning rods, shall not exceed 150 feet in height, measured from grade. The City Council may, but shall not be required to, increase this height up to 190 feet if the Council finds the increase in height would not have a significant visual impact, would not have a negative property value impact on surrounding properties because of proximity, topography or screening by trees or buildings or would accommodate two or more users. The City Council may waive this height limitation for a Telecommunications Tower and/or Antenna if used wholly or partially for essential public services, such as public safety.
 - b. The Telecommunications Tower shall use as many Stealth Design techniques as reasonably possible and include non-proprietary information on stealth design technology. Economic considerations or hardships shall not be the sole justification for failing to provide Stealth Design techniques.
2. Telecommunications Equipment may be attached to an existing Public Utility Structure within a right of way according to the following standards:
 - a. The Antenna shall not extend more than fifteen (15) feet above the top of the existing Public Utility Structure.
 - b. The Antenna shall be no larger than three (3) cubic feet and has no individual surface larger than four (4) feet.
 - c. The Antenna shall not extend outward from the utility structure by more than three (3) feet.
 - d. There shall be no ground mounted equipment as long as the existing Public Utility Structure is available for the mounting of

- such equipment.
- e. There shall be no interference with public safety communications or with the original use of the Public Utility Structure.
 - f. The Applicant shall agree that the Telecommunications Equipment must be removed and relocated, at the Applicant's expense, if the road authority requires the removal and relocation of the Public Utility Structure.
3. Telecommunications Equipment may be attached to an existing building according to the following standards:
- a. The Applicant shall provide documentation and/or an analysis prepared by a radio or electrical engineer demonstrating that the proposed location of the Telecommunications Equipment is necessary to meet the coverage and capacity needs of its system. The Applicant shall provide a network map describing all of the Applicant's Telecommunications Facilities which provide any coverage within the City's limits. The documentation and/or analysis shall also show the Telecommunications Equipment would not cause interference with other existing or approved Telecommunications Equipment. The Applicant shall also pay the reasonable expenses of a radio or electrical engineer retained by the City, at the City's option, to review this analysis;

Attached as Exhibit D, please find a propagation study prepared by Verizon Wireless' Radio Frequency Engineer which depicts Verizon Wireless' current wireless coverage in the City of Wayzata as well as their proposed wireless coverage with the addition of the proposed rooftop installation at 1000 Superior Boulevard. Verizon Wireless operates within its FCC licensed frequency guidelines and therefore does not anticipate causing any interference with any other FCC licensed Telecommunications Equipment that may be located in the vicinity. Verizon Wireless is willing to agree to pay any reasonable fees to the City to have a radio or electrical engineer review their proposed installation.

- b. The Telecommunications Equipment shall use as many Stealth Design techniques as reasonably possible. Economic considerations or hardships shall not be the sole justification for failing to provide Stealth Design techniques;

Verizon Wireless' proposed rooftop antenna installation includes their panel antennas being located behind stealth panels that are designed to blend in with the building's existing exterior façade. The stealth panels will be designed to look like a rooftop penthouse. Please see Exhibit E for specific details regarding the proposed installation.

- c. The building upon which the Antenna is attached to, shall be located on a parcel of land zoned C – 1 Office and Limited Commercial District, C-3 Service District, or PUD Planned Unit Development, and the building upon which the Antenna is to attached to must be located within 300 feet of the Wayzata Blvd East right-of-way.

The City Council may, at its sole discretion, consider other sites if the Applicant demonstrates that all other sites that comply with the zoning district and distance requirements above have been considered and deemed infeasible to provide adequate coverage and/or capacity to a significant portion of the City of Wayzata.

CUPs for other sites may be approved only after the Applicant demonstrates that there is no other location that complies with the zoning district and distance requirements above that the Telecommunications Equipment could be located on, and provide substantially the same coverage. In no case can

Telecommunications Equipment be located in any residential zoning district, or on parcels of land guided in the Comprehensive Plan for Parks or Public Open Space.

The building for which Verizon Wireless is proposing to install its Telecommunications Facility is located at 1000 Superior Boulevard which is zoned C-1, Office and Limited Commercial District and is located within 300 feet of the Wayzata Boulevard East right-of-way.

- d. The Antenna shall be attached to the façade of the building or attached on or within a rooftop screening wall (i.e. §801.09.7.2). A façade mounted Antenna shall not extend above the cornice line and a rooftop or screening wall mounted Antenna shall not extend more than fifteen (15) feet above the screening wall. Façade and screening wall mounted Antenna shall, as closely as possible, match the color of the underlying building material.

Verizon Wireless' proposed antenna installation will be located behind stealth screening walls designed to look like a rooftop penthouse. The screening walls will extend approximately 11 feet above the building's roof and will be designed to match the existing color and design of the building's existing façade. Please see Exhibit E for the exact details of the proposed design.

- e. Accessory Equipment shall be entirely located within an existing structure or within rooftop parapet screening walls whenever possible. If a new equipment building is necessary, it shall be situated to the rear or side of the principal use and shall be screened from view by landscaping where appropriate. If a new equipment building is necessary, the building shall be constructed of materials and color scheme compatible with the principal

building.

Verizon Wireless' accessory radio equipment will be located within a prefabricated equipment enclosure located in the rear of the property located adjacent to the existing garbage dumpsters. The accessory enclosure will have approximate dimensions of 6'W x 6'L x 10'H and will be painted to match the existing building as well as being screened appropriately. Please see Exhibit E for specific details.

C. Eligible Facilities Request.

Notwithstanding the above, nothing in this Section 4 shall be read to allow the City to prohibit any approval under this Section based solely upon a request by the owner/operator for modification of an existing tower or base station that does not substantially change the physical dimensions of such tower or base station and is otherwise an "eligible facilities request" under 47 U.S.C. Section 1455 (a) and 47 C.F.R. Section 1.40001 (c), as the same may be amended.

5. General Standards for Telecommunication Facilities.

All Telecommunications Facilities must comply with the following standards (although nothing in this Section 5 shall be read to allow the City to prohibit a Telecommunication Facilities Permit based solely upon a request by the owner/operator for modification of an existing tower or base station that does not substantially change the physical dimensions of such tower or base station and is otherwise an "eligible facilities request" under 47 U.S.C. Section 1455 (a) and 47 C.F.R. Section 1.40001 (c), as the same may be amended.) :

- A. Vertical projection on Antenna support structures.** Antennas mounted on an existing Antenna Support Structure shall not extend more than 15 feet above the height of the structure to which they are attached. Wall or façade-mounted Antennas shall not extend above the cornice line and shall be constructed of a material or color that matches the exterior of the building.

Verizon Wireless' proposed rooftop antenna installation will not extend more than 15 feet above the building's roof. The antennas will be located behind stealth screen walls designed to blend in with the colors and materials of the existing building's exterior. The screened walls will extend approximately 11 feet above the building's roofline. Please see Exhibit E for more details.

- B. **Horizontal projection.** Antennas shall not project out from the side of the existing Antenna Support Structure, Telecommunications Tower, or wall or facade by more than three feet.

The proposed antenna installation will be located behind stealth screen walls and will not project past the building's wall or façade. Please see Exhibit E for more details.

- C. **Fall Zone Analysis.** The Applicant must submit a fall zone analysis report completed by a qualified and licensed engineer that shows the Telecommunications Facilities do not pose a threat to general health, safety and welfare of the City.

This is not applicable as Verizon Wireless is proposing a rooftop antenna installation.

- D. **Setbacks.** Telecommunications Facilities shall meet the building setback that is established for the zoning district where it is to be located, and the following additional standards:

1. A Telecommunications Tower shall be set back from all residential property lines at least one (1) foot for each foot in height, but shall have a minimum setback of at least one hundred (100) feet. The Tower setbacks may be increased by the City Council dependent on the results of the engineered fall zone analysis report submitted by the Applicant as part of the permit application.
2. Towers and Telecommunications Equipment shall not encroach upon any easements unless written permission is obtained from the underlying property owner burdened by the easement and the beneficiary of the easement.
3. The required setbacks may be reduced or the location in relation to a public street modified, at the sole discretion of the City Council, when the Telecommunications Equipment is integrated into an existing or proposed structure such as a building, light or utility pole.

Verizon Wireless' antenna installation will be located on the building's rooftop while its radio equipment will be located in the rear parking lot adjacent to the garbage dumpster area. The equipment enclosure meets the setbacks for an accessory structure of a minimum of 10 feet from the side and rear property lines. Verizon Wireless' proposed Telecommunication Facility installation will not encroach upon any easements for adjacent property owners.

- E. **Height.** The height of an Antenna and/or Telecommunications Tower shall be the minimum necessary to meet the Applicant's coverage and capacity needs, as

verified by an electrical engineer or other appropriate professional. Any new or replacement Tower and Antenna, including attachments other than lightning rods, shall not exceed 150 feet in height, measured from grade. The City Council may, but shall not be required to, increase this height up to 190 feet if the Council finds: (1) the increase in height would not have a significant visual impact, (2) would not have a negative property value impact on surrounding properties because of proximity, topography or screening by trees or buildings or (3) would accommodate two or more users.

This is not applicable as Verizon Wireless is not proposing constructing a new Telecommunications Tower but rather, is proposing a rooftop collocation on an existing building.

- F. **Exterior surfaces.** Towers and Antennas shall be painted a non-contrasting color consistent with the surrounding area such as: blue, gray, green, brown, or silver, or have a galvanized finish to reduce visual impact. Metal Towers shall be constructed of, or treated with, corrosion-resistant material.

Verizon Wireless is not proposing to construct a telecommunication tower. However, its proposed antenna installation will be enclosed within stealth screen walls that will be designed to match the existing color and style of the building's existing façade.

- G. **Ground-mounted equipment.** Ground-mounted Accessory Equipment and/or equipment storage facilities shall be architecturally designed to blend in with the surrounding environment, including the principal structure and/or shall be screened from view by suitable vegetation, except where a design of non-vegetative screening better reflects and compliments the character of the surrounding neighborhood. No more than one Equipment Shelter or accessory building is permitted for each Tower. Equipment Shelters or accessory buildings shall be designed to accommodate additional space needed for the co-location of additional Antennas at the site. The additional space must either be built within the first shelter/building or that shelter/building must be designed to allow for future expansions and/or additions. Design of the building or equipment cabinet, screening, and landscaping are subject to applicable Design Standards criteria under Section 801.09 of the Wayzata Zoning Ordinance. The Applicant shall be responsible for maintaining the structure in a high-quality condition. If the Applicant abandons or vacates the structure, it shall be forfeited to the City or torn down by the Applicant at their expense, at the discretion of the City Council.

There are currently no Telecommunication Facility installations located at the 1000 Superior Boulevard property. Due to limited ground space availability, Verizon Wireless is proposing to locate a 6' x 6' equipment enclosure in the rear parking lot adjacent to the garbage dumpster area. The enclosure will be painted to match the existing building's façade. The area is currently surrounded by existing fencing and will not be visible from adjacent properties. There is currently not enough ground space available to accommodate an accessory structure capable of co-location. At the expiration or termination of Verizon Wireless' lease agreement with the property owner. The equipment enclosure will be removed and the area will be restored to its original condition, with the exception of reasonable wear and tear, per the conditions if the lease agreement.

- H. **Construction.** Telecommunications Facilities shall be in compliance with all buildings and electrical code requirements. All applicable federal, state and local agency licenses and/or permits shall be obtained. A Telecommunications Tower shall be designed and certified by a licensed structural engineer to be structurally sound and in conformance with the building code. Structural design, mounting and installation of the Telecommunications Facilities shall be in compliance with the manufacturer's specifications. If, upon inspection, the City concludes that a Tower or other portion of a Telecommunications Facility fails to comply with such codes and standards and constitutes a danger to persons or property, then upon notice being provided to the owner of the Telecommunication Facility or Tower, the owner shall have thirty (30) days to bring such Tower or Telecommunication Facility into compliance with such standards. Failure to bring such Tower or Telecommunication Facility into compliance with such thirty-day period shall constitute grounds for the removal of the Tower or Telecommunication Facility at the owner's expense.

Verizon Wireless fully intends to comply with all federal, state and local laws

regarding the construction and structural requirements and technical standards regarding its proposed Telecommunication Facility installation.

- I. **Interference with Public Safety Telecommunications.** No Telecommunications Tower or Telecommunications Facility shall interfere with public safety Telecommunications. All Towers and Telecommunication Facilities shall comply with FCC regulations and licensing requirements.

Verizon Wireless will operate within their FCC license regulations and guidelines. Verizon Wireless will be using the same FCC licensed frequencies that they use at their other installations in the City of Wayzata.

J. **Security Fencing and Screening.** Telecommunication Facilities and Towers shall be enclosed by security fencing not less than the height of the equipment located therein and shall also be equipped with an appropriate anti-climbing device. Fencing within one hundred (100) feet of a residential or parking property shall be constructed of a well-designed fence of wood or other environmentally sound material, and be compatible with the surrounding character of the area. The Telecommunication Facilities and Towers shall also include a landscape screen, at least six (6) in height, around the perimeter of equipment area, as approved by the City Council.

Verizon Wireless' is proposing a rooftop antenna installation that will be enclosed behind stealth screen walls designed to blend in with the building's façade. Verizon Wireless' proposed equipment enclosure will be located in the rear of the building near the existing garbage dumpsters. The rear of the property has existing fencing and Verizon Wireless will paint their equipment enclosure to blend in with the building's existing façade.

- K. **Other Protections.** The City may require shields to protect from ice falling from Towers, anti-climbing devices to prevent unauthorized persons from climbing Towers, or other appurtenances necessary to protect life and property.

This provision is not applicable as Verizon Wireless is not proposing to construct a Telecommunications Tower and is rather proposing a rooftop installation.

- L. **Noise.** If the proposed Telecommunications Facility includes equipment that causes significant sound levels, sound buffers may be required including but not limited to, baffling, barriers, enclosures, walls and plantings. The Applicant shall submit an acoustical analysis (measured to the property line) and report prepared by a licensed and/or accredited sound engineer certifying that the noise to be generated from the proposed Telecommunication Facility shall not impact adjacent properties. Said report shall include, without limitation, a written description of all noise generated by the Facility, including retractable monopole motors, Antenna rotators, power generation, heating or air conditioning, and related equipment, and shall include the estimated times, frequency, duration and

decibel levels of the noise. All equipment shall conform to Minnesota Pollution Control Agency decibel standards.

Verizon Wireless' accessory ground equipment will be located inside an approximately 6' x6' prefabricated enclosure in the rear of the property. Verizon Wireless' proposed Telecommunications Facility will not include a standby generator as part of its equipment installation at this location and therefore, is not anticipating any significant increase in sound levels to this area.

- M. **Sensitive Habitats.** No Telecommunication Facility shall be located in environmentally sensitive habitats, including but not limited to wetlands, shorelines, established animal habitats, conservation districts, and significant tree groups, unless mitigation measures can be adopted which would reduce potential impacts to levels of non-significance.

Verizon Wireless has conducted the required environmental due-diligence mandated by the FCC to ensure that its proposed Telecommunications Facility will not be impacting any environmentally sensitive habitats, including wetlands, endangered species, conservation districts, and significant tree groups, etc.

- N. **Radio Frequency Emissions.** Telecommunications Facilities shall comply with Federal Communication Commission standards for radio frequency emissions and interference.

The proposed facilities will be designed and constructed to meet all applicable governmental and industry safety standards. Specifically, Verizon Wireless will comply with all FCC and FAA rules regarding construction requirements, technical standards, interference protection, power and height limitations, and radio frequency standards.

- O. **Interference.** No Telecommunication Facility shall be permitted that causes interference with commercial or private use and enjoyment of other legally operating telecommunications devices including, but not limited to, radios, televisions, personal computers, telephones, personal communications devices, garage door openers, security systems, and other electronic equipment and devices in violation of any Federal Communication Commission standards relating to radio frequency interference. Unless otherwise prohibited by Federal Communication Commission standards, an Applicant shall furnish a state registered engineer's certification that no such interference shall occur, or identify what interference may occur and how the Applicant shall mitigate any potential interference that may occur.

Verizon Wireless will operate within their FCC license regulations and guidelines. Verizon Wireless will be using the same FCC licensed frequencies that they currently use at their other installations in the City of Wayzata.

- P. **Risk of Danger.** Telecommunications Facilities and Towers shall not pose a risk of explosion, fire, or other danger due to its proximity to volatile, flammable,

explosive or hazardous materials. Telecommunication Facilities, Towers, Antennas, and Accessory Equipment shall be subject to state and federal regulations pertaining to non-ionizing radiation and other health hazards related to such Facilities. If new, more restrictive standards are adopted, the Facilities shall be made to comply or continued operations may be restricted by the City Council. The cost of verification of compliance shall be borne by the Applicant.

Verizon Wireless' proposed installation will not pose an unreasonable risk of explosion, fire or other similar dangers. The proposed facilities will be designed and constructed to meet all applicable governmental and industry safety standards. Specifically, Verizon Wireless will comply with all FCC and FAA rules regarding construction requirements, technical standards, interference protection, and power and radio frequency standards.

- Q. **Maintenance.** All Telecommunication Facilities and Towers shall at all times (i) be kept and maintained in good condition, order and repair so that the same shall not menace or endanger the life or property of any person, and (ii) allow sufficient access for service vehicles and personnel. Maintenance of equipment shall be scheduled for between 7:00am-6:00pm, Monday through Friday, unless in case of emergency or otherwise agreed to by the City. Service vehicles for equipment maintenance shall be parked on city streets, unless paved and screened off-street is available at the site. In the case of maintenance of Telecommunication Facilities on the City Water Tower, service vehicles shall park on the service entrance of the City Water Treatment Plant, whenever possible.

Verizon Wireless intends to comply with the above provisions regarding the maintenance and access to their proposed Telecom Facility.

- R. **Co-location opportunity.** The Applicant, the Tower owner, the landowner, and their successors and assigns shall allow the shared use of the Tower if an additional user agrees in writing to meet reasonable terms and conditions for shared use, shall submit a dispute over the potential terms and conditions to binding arbitration, and shall sign the Conditional Use Permit agreeing to these requirements. The City Council may waive these co-location requirements if necessary to implement stealth design.

1. All Telecommunications Facility providers shall cooperate with each other in co-locating Telecommunication Facilities and shall exercise good faith in co-locating with other licensed carriers and in the sharing of sites, including the sharing of technical information necessary to evaluate the feasibility of collocation. In the event a dispute arises as to a co-location issue, the City may require a third-party technical study to evaluate the feasibility of co-locating at the expense of each wireless telecommunications providers involved in the third-party study;
2. All proposed new Telecommunications Towers shall be designed to accommodate both the Applicant's Antennas and Antennas for as many

other licensed carriers as can be technically located thereon, but not less than one additional;

3. All new Telecommunications Facilities and Towers owned by a telecommunications provider shall be made available for use by the owner or initial user thereof, together with as many other licensed carriers as can be technically located thereon, but not less than one additional;

4. All proposed new Telecommunications Towers shall be designed to allow for future rearrangement of Antennas or Tower modifications, and to accept Antennas mounted at varying heights unless the City otherwise agrees in order to accommodate Stealth Design techniques;

This is not applicable as Verizon Wireless is not proposing to construct a tower but rather is proposing a rooftop co-location for its proposed Telecommunication Facility.

- S. **Successors and Assigns.** Any Permit or lease for a Telecommunications Facility shall run with the Property, and shall be binding upon and inure to the benefit of the parties, their respective successors, personal representatives, and assigns.

Verizon Wireless will be recording a Memorandum of Agreement with the Hennepin County Recorder and it is Verizon Wireless' intention that the lease agreement will run with the property.

- T. **External messages.** No advertising message or identification signs, other than warning or equipment information signs as legally required, shall be affixed to the Telecommunications Facilities.

Verizon Wireless' design meets the above restriction of no signs or advertising. No signs, pictures or advertising will be attached to its proposed equipment enclosure. However, if any owner identification signage or warning and equipment information signage is required, Verizon Wireless will comply with any regulations and requirements of the manufacturer and Federal, State and local authorities.

- U. **Lighting.** Telecommunications Facilities or Towers shall not be artificially illuminated unless required by law or by a governmental agency to protect the public's health and safety or unless necessary to facilitate service to ground-mounted equipment. Any lighting or artificial illumination utilized shall be shielded and not cast glare onto adjacent properties. All lighting shall be measured to the property line.

Verizon Wireless' equipment enclosure will have one light near the front door of the enclosure that will be able to be turned on and off from inside the equipment enclosure.

- V. **On-site employees.** There shall be no employees on the site at a Telecommunications Facility on a permanent basis. Occasional or temporary repair and service activities are allowed.

The proposed Telecommunications Facility will not be staffed on a daily basis. Upon completion of construction, the site will require only infrequent site visits (approximately one to four visits per month). Legal access to the equipment enclosure will be obtained via the parking lot off of Superior Boulevard. The site will be entirely self-monitored and connected directly to a central office where sophisticated computers will alert personnel to equipment malfunction or breach of security.

- W. **Advances in Stealth Technology.** Whenever an applicant proposes to install and/or replace antennas or other telecommunications equipment, the Applicant shall submit a report describing all available technology for installation or replacement. The report shall include the purpose of equipment to be installed (expand coverage, expand capacity, expand bandwidth, etc.) and the performance specifications and physical dimensions of the equipment. The report conclusions must provide an analysis of performance versus visual impacts and/or stealth technology. The City retains the right to evaluate the reports analysis and perform a third party technical review at the applicants cost. The City shall have the ability to require the stealth or lower visual profile equipment based on the third party technical recommendation.

Verizon Wireless fully intends to comply with the City's reasonable requirements regarding advances in stealth technology.

- X. **Removal.** After one hundred twenty (120) days' notice from the City to the Permit Holder all Telecommunications Facilities, Antennas, or Towers shall be required to be removed at the Permit Holder's expense, if such improvement is found to be in violation of any portion of this Ordinance by the City and such violation is not cured within such thirty day time period. Obsolete or unused Telecommunications Facilities and all related equipment shall be removed within six (6) months after cessation of their use at the site, unless an exemption is granted by the City Council. Telecommunications Facilities and related equipment that have become hazardous shall be removed or made not hazardous within 30 days after written notice to the current Permit Holder and to any separate landowner, unless an exemption is granted by the City Council. Notice may be made to the address listed in the application, unless another one has subsequently been provided, and to the taxpayer of the property listed in the Hennepin County tax records. Telecommunications Facilities and all related equipment that are not removed within this time are declared to be public nuisances and may be removed by the City. The City may assess its costs of removal against the Property.

Verizon Wireless fully intends to comply with all City ordinance requirement related to its proposed Telecommunication Facility.

- Y. **No Recourse Against the City.** Every permit shall provide that, without limiting such immunities as the City or other persons may have under applicable law, an Applicant/Permit Holder shall have no monetary recourse whatsoever against the City or its elected officials, boards, commissions, agents, employees or volunteers for any loss, costs, expense or damage arising out of any provision or requirement of this Ordinance or because of the enforcement or lack of enforcement of this Ordinance or the City's exercise of its authority pursuant to this Ordinance, a permit, a lease, or other applicable law, unless the same shall be caused by criminal acts or by willful gross negligence. Nothing herein shall be construed as a waiver of sovereign immunity.

DEVELOPMENT APPLICATION

TABLE OF CONTENTS

STATEMENT OF PROPOSED USE AND PROJECT DESCRIPTION

LIST OF EXHIBITS

**Exhibit A:
APPLICATION FORM**

**Exhibit B:
CONTACT INFORMATION**

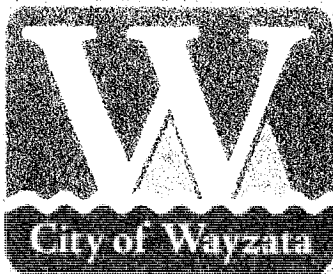
**Exhibit C:
APPLICATION & ESCROW FEE CHECKS**

**Exhibit D:
RADIO FREQUENCY PROPAGATION MAPS**

**Exhibit E:
PROFESSIONAL ENGINEER SITE PLANS & ELEVATION DRAWINGS**

**Exhibit F:
LEGAL DESCRIPTION/TITLE CONFIRMATION**

**Exhibit G:
CUP NOTICE MAILING LABELS**



Development Application

Project Information:

Project Name: MIN Strawberry **Date Filed:** _____

Property Owner: Radiation Protection Products, Inc. f/k/a Norval Industries, Inc.

Address: 1000 Superior Boulevard, Wayzata, Minnesota 55391

Applicant (if different than owner): Verizon Wireless (VAW) LLC d/b/a Verizon¹ Wireless

Prior Applications to Wayzata under different names: N/A

Address (if different than owner): _____

Responsible contact person: Amy Dresch, Jacobs Telecommunications, Inc.

Telephone: 612-802-0452 **Fax:** _____ **E-Mail:** amy.dresch@jacobs.com

Address of Property Involved: 1000 Superior Boulevard, Wayzata, MN 55391

Legal Description: Please See Attached

Property Identification Number: 06-117-22-41-0035

Tax and assessment status: Current X / Delinquent _____
Amount Delinquent \$ _____

Type of Request:

- ☐ Design Review
- ☒ Conditional Use Permit
- ☐ Variance
- ☐ Subdivision
- ☐ Rezoning
- ☐ Zoning Amendment
- ☐ Comprehensive Plan Amendment
- ☐ Planned Unit Development
- ☐ Other

¹ The Applicant disclosed is the real principal in interest and is not acting for another party.

Description of Request:

Verizon Wireless is proposing to install a wireless communications facility at the commercial office building located at 1000 Superior Blvd in Wayzata, MN. The project would consist of installing panel antennas and ancillary equipment on the rooftop which will be hidden behind screen walls designed to look like penthouse walls. In addition, a small enclosure will be located in the rear parking lot next to the garbage dumpster to house Verizon's radio equipment. Please see attached package for details of the proposed installation. Applicant may attach other letter sized materials.

Additional Information:**Payment of Fees**

The undersigned acknowledges that before this request can be considered, all required information and fees (including all up front escrow deposits) must be paid to the City. If additional fees are required to cover costs incurred by the City, the City Manager has the right to require additional payment from one or more of the undersigned, who shall be jointly liable for such fees. Such expenses may include (but are not limited to) personnel costs, fees for consultants, legal assistance and other professionals, recording fees, along with other overhead costs. The amount of escrow is determined by the City of Wayzata fee schedule in effect at the time of the application submittal. A current fee schedule is attached to this application form.

The undersigned also acknowledges that it may be required to file, at his or her expense, appropriate resolutions, agreements or other documents evidencing approval of the application.

The undersigned agrees that the City may withhold the issuance of a building permit until all financial matters are resolved. If need be, the City reserves the right to pass outstanding balances from this application to Hennepin County to be assessed with next year's property taxes for the property involved as indicated on page one of this application and the Property Owner agrees to such assessment.

Complete / Incomplete Applications

Placement of any Application on City agendas is at the discretion of the City, including the time of consideration. An application will not be placed on any agenda until City staff has received the appropriate materials and financial matters are in order. The application approval time commences and an application is considered officially filed when City staff has received and examined the application and determined that the application is complete. The application shall be determined by City staff to be complete or incomplete within fifteen (15) business days following submittal of the application.

When the application is deemed to be "complete" it shall be placed on the agenda of the first possible Planning Commission business meeting subject to the agenda deadline discussed below.

Agenda Deadline

The deadline for submittal of land use applications is the first day of the month preceding the month of Planning Commission review. For example, to be on the Planning Commission agenda for November the complete application would need to be submitted by October 1. **The application is required to be deemed complete by the deadline in order to be scheduled on the agenda.** City staff recommends that the application material be submitted two weeks prior to the application deadline to allow time for City staff to determine if any additional materials are needed before the application can be deemed complete. This also allows a few days for the applicant to gather the additional information required for the submittal. Please note applications submitted outside of regular City Hall hours will not be received until the following business day. For example, applications submitted after 11:00 a.m. on Fridays will be considered submitted on the following Monday. Regular City Offices business hours are as follows, Monday thru Thursday, 7:00 a.m. to 4:30 p.m., Friday 7:00 a.m. to 11:00 a.m. The phone number for City Hall is 952-404-5300.

Notice of Meeting Attendance

In order for the Planning Commission and City Council to consider any application, the applicant or a representative designated in writing before the meeting must be present at the scheduled meeting. If not, the matter will be tabled until the next available agenda.

Accessibility to Property for Site Review

The signature of the Property Owner on this form hereby grants City staff and City officials access on to the subject property for the purpose of conducting a site visit as part of the project review and consents to the review of such records of the Owner, Applicant or otherwise relating to the development as are necessary.

Certified List of Property Owners

The applicant shall provide the City with a certified list from Hennepin County of the names and addresses of the property owners located within at least 350 feet of the subject Property. **Please refer to the City of Wayzata Certified List Handout for details.**

Regular Meeting Schedule

Planning Commission	First Monday of every month at 7:00 PM
City Council	First and Third Tuesday of every month at 7:00 PM

Applicants are advised that additional meetings and/or workshops are scheduled when necessary upon approval of the Planning Commission and are usually held on the third Monday of every month.

Acknowledgment and Signature of Owner and Applicant

I acknowledge that I have read all of the information discussed in the City of Wayzata Development Application and fully understand that I am responsible for all costs incurred by the City related to the processing of this application and agree with all items above.

Property Owner as indicated on page one

Date

Amy Dosch, Jacobs

4/4/17

Applicant (if different than Owner)

Date

on behalf of Verizon Wireless

*The applicant shall not change or alter this form in any way.
Alteration is grounds for rejection.*

FOR CITY USE ONLY

Date of Receipt: _____ Receipt No: _____ Recorded by: _____

Date accepted as complete: _____ Accepted by: _____

Acknowledgment and Signature of Owner and Applicant

I acknowledge that I have read all of the information discussed in the City of Wayzata Development Application and fully understand that I am responsible for all costs incurred by the City related to the processing of this application and agree with all items above.

Radiation Protection Products, Inc.

[Signature] Asst. Sec. 8.21.17
Property Owner as indicated on page one Date

Amy Jacob, Jacobs 4/4/17
Applicant (if different than Owner) Date
on behalf of Verizon Wireless

*The applicant shall not change or alter this form in any way.
Alteration is grounds for rejection.*

FOR CITY USE ONLY

Date of Receipt: _____ Receipt No: _____ Recorded by: _____

Date accepted as complete: _____ Accepted by: _____

CONTACT INFORMATION

PROPERTY OWNER:

RADIATION PROTECTION PRODUCTS, INC.
1000 SUPERIOR BOULEVARD, SUITE #310
WAYZATA, MN 55391

Robert McNae, Owner
Phone: (612) 751-3344
E-Mail: ramcnae@rppinc.com

APPLICANT:

VERIZON WIRELESS (VAW) LLC
10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438

Cindy Shuck, Engineer IV -
Real Estate/Regulatory
Office: (320) 808-2183
Mobile: (507) 514-0416
E-Mail: cynthia.shuck@verizonwireless.com

AGENT:

JACOBS COMMUNICATIONS, INC.
10331 BALSAM LANE
EDEN PRAIRIE, MN 55437

Amy Dresch, Project Manager
Phone: (612) 802-0452
E-Mail: amy.dresch@jacobs.com

DESIGNER:

DESIGN 1 OF EDEN PRAIRIE, LTD.
9973 VALLEY VIEW ROAD
EDEN PRAIRIE, MN 55344

Brian Schriener, Project Manager
Phone: (952) 903-9262
E-Mail: bschriener@design1ep.com

**Locations of VZW's existing telecommunication facilities
in the City of Wayzata**

Address: 410 Gardner St East
Wayzata MN, 55391

Address: 1421 E. Wayzata Blvd.
Wayzata MN, 55391



The following two coverage maps show the coverage with and without the proposed Strawberry site as well as the Ferndale water tank location being moved to the new monopole. There are three levels of coverage shown in different colors.

-75 dBm (red) represents in building coverage

-85 dBm (green) represents in vehicle coverage

-95 dBm (blue) represents external (street level) coverage

propagation map showing the proposed coverage in the City of Wayzata with the addition of the MIN Strawberry site and relocation of Ferndale from the water tank to the Monopole (Wafer)

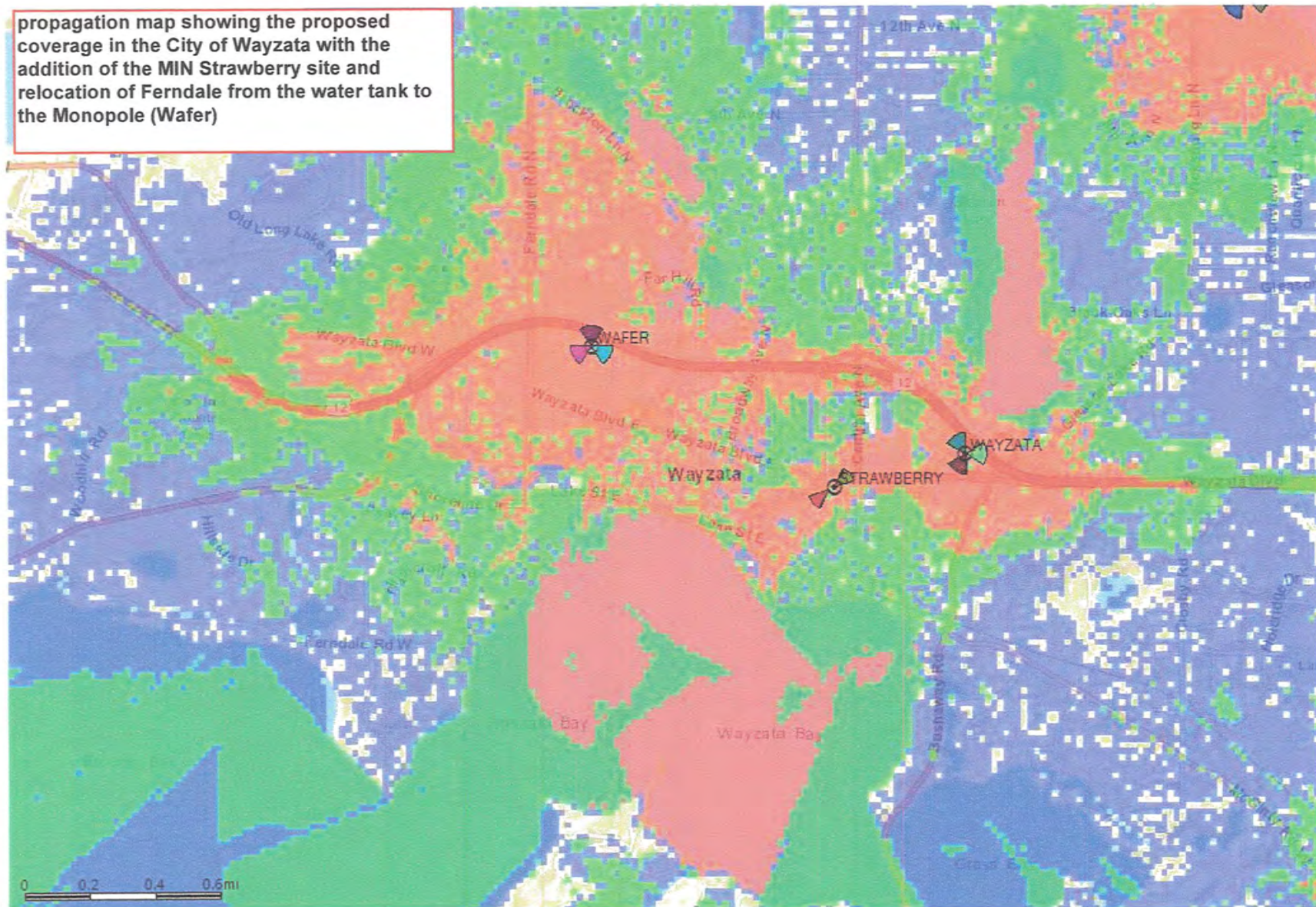


Exhibit F



Report of Title

5020 BRING TO DATE

This Report of Title is for informational purposes only and is not to be considered as a commitment to issue any form of title insurance policy. The report is for the use and benefit of the addressee only, and liability is hereby limited to the amount of \$25,000.

US TITLE SOLUTIONS FILE NO.56800-MN1703-5020
REFERENCE NO. MIN Strawberry-updt2 SITE NAME 65302.302670

PREPARED FOR:

Moss & Barnett
Michelle Harren
150 South Fifth Street, Suite 1200
Minneapolis, MN 55402

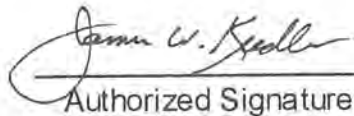
On Behalf Of:
Verizon Wireless
10801 Bush Lake Road
Bloomington, MN 55438

PREMISES:

1000 Superior Boulevard, Wayzata, MN
Parcel 06-117-22-41-0035

COUNTY:

Hennepin


Authorized Signature

REPORT OF TITLE

1 DATE OF THIS REPORT 3/16/2017

EXAMINED THRU 3/8/2017

2 THE ESTATE OR INTEREST IN THE LAND DESCRIBED OR REFERRED TO IN THIS REPORT IS:

Fee Simple

3 TITLE TO SAID ESTATE OR INTEREST IN THE LAND DESCRIBED OR REFERRED TO IN THIS REPORT IS AT THE EFFECTIVE DATE HEREOF VESTED IN:

Radiation Protection Products, Inc., formerly known as NORVAL Industries, Inc.

SOURCE OF TITLE:

Vesting made by Deed Instrument No. 6008246 and Certificate of Merger recorded as Instrument No. 7859844 .

4 THE LAND REFERRED TO IN THIS REPORT IS DESCRIBED AS FOLLOWS:

That part of Block 46, Minnetonka Arlington Heights, described as follows:

Beginning at a point on the East line of said Block distant 160 feet North from the Southeast corner of said Block; thence Southwesterly parallel with the Southerly line of said Block a distance of 100 feet to a point hereinafter referred to as "Point A" thence continuing Southwesterly parallel with said Southerly line a distance of 140 feet; thence at right angles Northwesterly to the Southeasterly line of Wayzata Boulevard as established by agreement dated March 29, 1922, between J. Douglas Winter and the State of Minnesota; thence Northeasterly along the Southeasterly line of said boulevard a distance of 140 feet to a point hereinafter referred to as "Point B" thence continuing Northeasterly along said Southeasterly line of said boulevard to the East line of said Block; thence South along said East line to the point of beginning, EXCEPT that part thereof lying Southwesterly of a line drawn from said "Point A" to said "Point B".



MEMORANDUM

TO: Jeff Thomson, Planner – City of Wayzata
FROM: Nithyakalyani Jaipuriyar, Radio Frequency Engineer – Verizon Wireless
RE: Verizon Project MIN Strawberry – 1000 Superior Boulevard, Wayzata, MN
DATE: January 2, 2018

When selecting a location for Verizon Wireless' proposed communication facility, several factors were taken into consideration. First, Verizon Wireless was looking for a location in close proximity to its original communication facility that was located on the Anchor Bank building near the intersection of Wayzata Blvd E & Central Ave. North for more than twenty years. Verizon Wireless was forced to relocate its equipment installation when the property was redeveloped in 2014 leaving a hole in their coverage in the center of town. Second, the topography of the Edina Realty building provides for a higher ground elevation which allows Verizon Wireless' signal to reach above the dense tree cover in the area. In addition, the City of Wayzata is in the process of developing a new tower site on School District property located west of the City water tower with the intention of relocating the wireless carriers to the new tower. Verizon Wireless is anticipating that there would be an increase in the hole of their coverage in the center of town that would be filled in by the new Edina Realty building location.

Finally, with all of the recent development in the City of Wayzata, especially along Lake Street, the City of Wayzata has become a destination location. Verizon Wireless is trying to ensure a positive network experience for its customers that live in and visit the City of Wayzata.

WAYZATA BOULEVARD

VIEW #1
SEE PS-1

SUPERIOR BOULEVARD

VIEW #3
SEE PS-3

PROPOSED ROOFTOP
EQUIPMENT LOCATION,
TYPICAL OF 2

VIEW #4
SEE PS-4

HUNTINGTON AVENUE

PROPOSED GROUND
EQUIPMENT LOCATION

1 AERIAL IMAGE
SCALE: NOT TO SCALE

DESIGN 1
ROBERT J. DAVIS, AIA
ARCHITECT
9973 VALLEY VIEW ROAD
EDEN PRairie, MN 55344
(952) 983-4299

**VERIZON
WIRELESS**
10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

PROJECT: 20151187518
**MINC
STRAWBERRY**
1000 SUPERIOR BLVD.
WAYZATA, MN 55391

v.2
DRAWN BY: MJS
DATE: 12-28-17

PS-0



1 EXISTING PHOTO
SCALE: NOT TO SCALE

DESIGN 1
9973 VALLEY VIEW ROAD
EDEN PRAIRIE, MN 55344
(952) 983-4299
ROBERT J. DAVIS, AIA
ARCHITECT

**VERIZON
WIRELESS**
10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

PROJECT: 20151187518
**MINC
STRAWBERRY**
1000 SUPERIOR BLVD.
WAYZATA, MN 55391

v.2
DRAWN BY: MJS
DATE: 12-28-17

PS-1A



1 PROPOSED IMAGE
SCALE: NOT TO SCALE

DESIGN 1
9973 VALLEY VIEW ROAD
EDEN PRAIRIE, MN 55344
(952) 903-4299
ROBERT J. DAVIS, AIA
ARCHITECT

**VERIZON
WIRELESS**
10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

PROJECT: 20151187518
**MINC
STRAWBERRY**
1000 SUPERIOR BLVD.
WAYZATA, MN 55391

v.2
DRAWN BY: MJS
DATE: 12-28-17

PS-1B



1 EXISTING PHOTO
SCALE: NOT TO SCALE

DESIGN 1
9973 VALLEY VIEW ROAD
EDEN PRAIRIE, MN 55344
(952) 983-4299
ROBERT J. DAVIS, AIA
ARCHITECT

**VERIZON
WIRELESS**
10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

PROJECT: 20151187518
**MINC
STRAWBERRY**
1000 SUPERIOR BLVD.
WAYZATA, MN 55391

v.2
DRAWN BY: MJS
DATE: 12-28-17

PS-2A



1 PROPOSED IMAGE
SCALE: NOT TO SCALE



1 EXISTING PHOTO
SCALE: NOT TO SCALE

DESIGN 1
9973 VALLEY VIEW ROAD
EDEN PRAIRIE, MN 55344
(952) 983-4299
ROBERT J. DAVIS, AIA
ARCHITECT

**VERIZON
WIRELESS**
10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

PROJECT: 20151187518
**MINC
STRAWBERRY**
1000 SUPERIOR BLVD.
WAYZATA, MN 55391

v.2
DRAWN BY: MJS
DATE: 12-28-17

PS-3A



1 PROPOSED IMAGE
SCALE: NOT TO SCALE

DESIGN 1
9973 VALLEY VIEW ROAD
EDEN PRAIRIE, MN 55344
(952) 983-4299
ROBERT J. DAVIS, AIA
ARCHITECT

**VERIZON
WIRELESS**
10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

PROJECT: 20151187518
**MINC
STRAWBERRY**
1000 SUPERIOR BLVD.
WAYZATA, MN 55391

v.2
DRAWN BY: MJS
DATE: 12-28-17

PS-3B



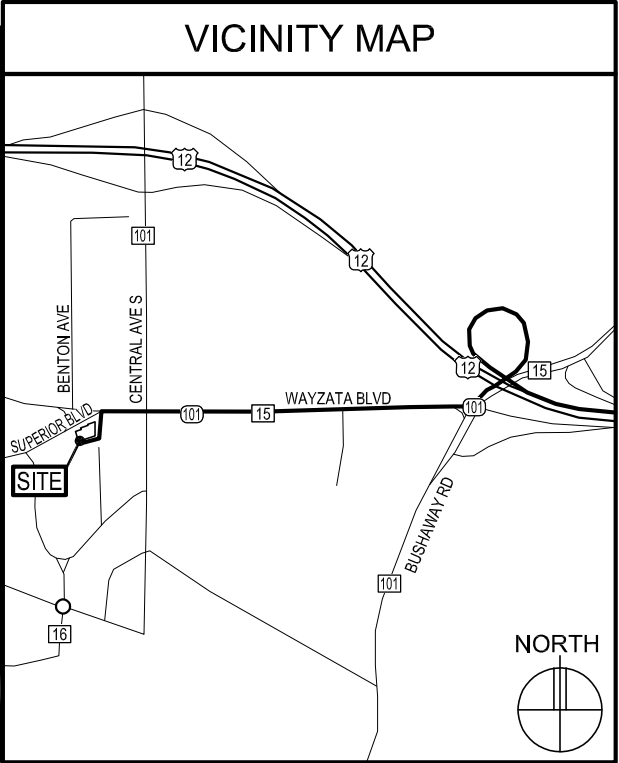
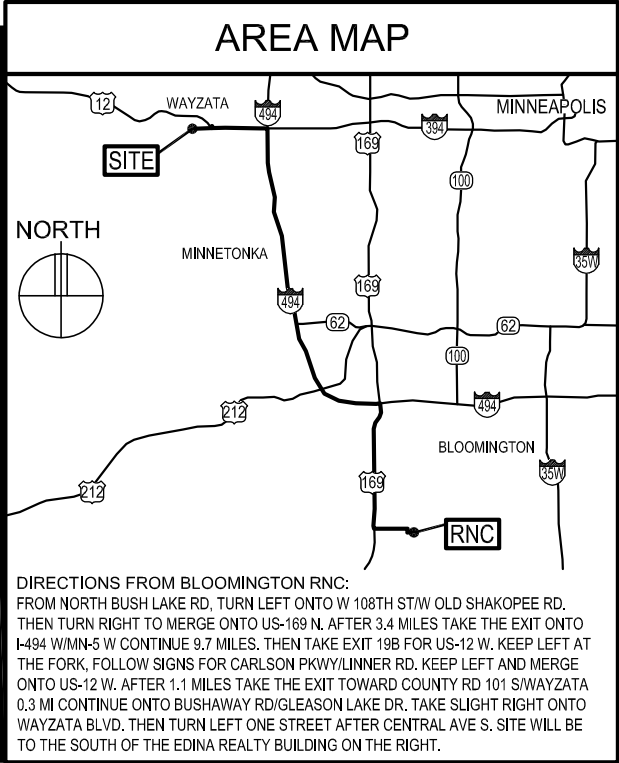
1 EXISTING PHOTO
SCALE: NOT TO SCALE



1 PROPOSED IMAGE
SCALE: NOT TO SCALE



MINC STRAWBERRY NEW BUILD



SHEET INDEX	
SHEET	SHEET DESCRIPTION
T-1	PROJECT INFORMATION, INDEX AND CONTACTS
A-1	OVERALL SITE/ROOF PLAN
A-2	ENLARGED SITE/ROOF PLAN
A-3	ANTENNA AND EQUIPMENT/CABLE KEYS
A-4	BUILDING ELEVATIONS, FENCE & GATE DRAWINGS
A-5	SHELTER PLAN, ELEVATIONS AND DETAILS
A-6	RF SCREEN PLAN, ELEVATIONS AND DETAILS
A-7	MISCELLANEOUS DETAILS
A-8	MISCELLANEOUS DETAILS
A-9	MISCELLANEOUS PHOTOS
A-10	SPECIFICATIONS
Sx	STRUCTURAL PLANS, NOTES & DETAILS (9 SHEETS)
-	PEABODY - RF SCREEN PLANS, NOTES & DETAILS (5 SHEETS)
A.x	ENVIRO BUILDING - SHELTER PLANS, NOTES & DETAILS (3 SHEETS)
U-1	SITE UTILITY PLANS, HAND HOLE LOCATION PLAN
E-x	ELECTRICAL PLANS, NOTES & DETAILS (7 SHEETS)
G-x	GROUNDING PLANS, NOTES & DETAILS (2 SHEETS)
-	SURVEY (3 SHEETS)

PROJECT INFORMATION	
SITE NAME:	MINC STRAWBERRY
PROJECT NUMBER:	20151187518
SITE ADDRESS:	1000 SUPERIOR BLVD WAYZATA, MN 55391
COUNTY:	HENNEPIN
LATITUDE:	X-SECTOR N44° 58' 14.49" (NAD83) Y-SECTOR N44° 58' 14.16" (NAD83)
LONGITUDE:	X-SECTOR W93° 30' 12.27" (NAD83) Y-SECTOR W93° 30' 13.56" (NAD83)
GROUND ELEVATION:	968.9' AMSL (NAVD88)
ANTENNA TIP HEIGHT:	1014.3' AMSL - 45.5' AGL
ANTENNA CENTERLINE HEIGHT:	1010.3' AMSL - 41.5' AGL
EXISTING ROOF HEIGHT:	1003.4' AMSL - 34.5' AGL
EXISTING PARAPET HEIGHT:	1004.2' AMSL - 35.3' AGL
DRAWING BASED ON SITE DATA FORM DATED:	12-15-16
OCCUPANCY:	B
BUILDING TYPE:	IIB
SITE AREA:	224 S.F. (LAND SPACE) 1140 S.F. (ANTENNA SPACE)
ESTIMATED COAX RUN:	X-SECTOR (2) HYBRID CABLES 210' LONG Y-SECTOR (2) HYBRID CABLES 130' LONG
PROJECT DESCRIPTION:	INSTALLATION OF PROPOSED 6X6 SHELTER AT GRADE AND ROOFTOP CONSTRUCTION AS FOLLOWS: ANTENNA CONCEALMENT, ANTENNA MOUNTS, ANTENNAS, AND ANTENNA EQUIPMENT. ROUTE CABLES, ELECTRICAL SERVICE AND FIBER SERVICE FROM THEIR ORIGINS TO THEIR RESPECTED LOCATIONS TO IMPROVE COMMUNICATIONS SERVICE IN THE WAYZATA, MINNESOTA AREA.

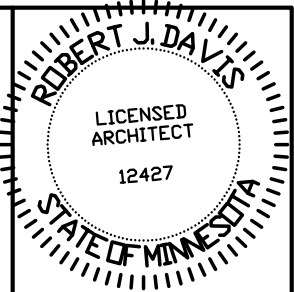
VERIZON WIRELESS DEPARTMENTAL APPROVALS		
	NAME	DATE
RF ENGINEER	JORDAN ALSTAD	06-15-16
OPERATIONS MANAGER	RON SIMMONS	06-22-16
CONSTRUCTION ENGINEER	STEVE COLLIN	06-22-16

LESSOR / LICENSOR APPROVAL		
SIGNATURE	PRINTED NAME	DATE
LESSOR / LICENSOR: PLEASE CHECK THE APPROPRIATE BOX BELOW		
☐ NO CHANGES.	☐ CHANGES NEEDED. SEE COMMENTS ON PLANS.	

ISSUE SUMMARY		
REV.	DESCRIPTION	SHEET OR DETAIL
A	ISSUED FOR REVIEW 06-10-16	A, A., G & U
B	ISSUED FOR OWNER APPROVAL 07-26-16	ALL
C	ISSUED FOR SDF UPDATE 12-16-16	T-1 & A-3
D	ISSUED FOR SDF UPDATE 01-09-17	T-1 & A-3
E	PER PLANNING COMMISSION COMMENT 12-28-17	T-1, A-x, Sx & PEABODY DWGS

CONTACTS	
LESSOR / LICENSOR:	NORVAL INDUSTRIES INC. 1000 SUPERIOR BLVD. WAYZATA, MN 55391 ROBERT MCNAE (612) 751-3344
LESSEE:	VERIZON WIRELESS 10801 BUSH LAKE ROAD BLOOMINGTON, MN 55438 RON REITER (612) 720-0052
POWER UTILITY COMPANY CONTACT:	XCEL ENERGY 1518 CHESTNUT AVE MINNEAPOLIS, MN 55403 PHILLIP GLORVIGEN (952) 470-3379
TELCO UTILITY COMPANY CONTACT:	T.B.D.
ARCHITECT:	DESIGN 1 OF EDEN PRAIRIE, LLC. 9973 VALLEY VIEW ROAD EDEN PRAIRIE, MN 55344 (952) 903-9299
SURVEYOR:	WIDSETH SMITH NOLTING 610 FILLMORE STREET - PO BOX 1028 ALEXANDRIA, MN 56308-1028 (320) 762-8149
STRUCTURAL ENGINEER:	HERZOG ENGINEERING, LLC 530 NORTH 3RD STREET, SUITE 230 MINNETONKA, MN 55401 (612) 844-1234
ELECTRICAL ENGINEER:	BUSSELL COMPANIES, INC. 16026 MINNETONKA BLVD, SUITE 100 MINNETONKA, MN 55345 (952) 931-2111
RADIO FREQUENCY (RF) TRANSPARENT SCREEN:	PEABODY ENGINEERING 13435 ESTELLE STREET CORONA, CA 92879 KAREN PITTMAN (951) 775-5178

GENERAL NOTES	
1.	In the event that Special Inspections are not performed in compliance with the contract terms, bid specifications and/or specified form, the General Contractor will be liable for all damages, construction performance, failures, and corrective actions related to the same.
2.	The following general notes shall apply to drawings and govern unless otherwise noted or specified.
3.	The work delineated in these drawings and described in the specifications shall conform to codes, standards and regulations that have jurisdiction in the state of Minnesota and the city of Wayzata.
4.	Requirements and regulations pertaining to R.F. safety codes and practices must be incorporated in the work even though they may not be listed individually and separately in either the drawings or the specifications.
5.	Compare field conditions with architectural and engineering drawings. Any discrepancies shall be directed to the Architect for clarification prior to fabrication and/or construction. Submit necessary shop drawings prior to fabrication for approval by the Architect. No information or details on these sheets may be used without the permission of the owner, or the architect.
6.	Do not scale drawings! 11" x 17" drawings to scale 24" x 36" drawings scale multiply by 2
7.	Unless otherwise shown or noted, typical details shall be used where applicable.
8.	Details shall be considered typical at similar conditions.
9.	Safety measures: The contractor shall be solely and completely responsible for the conditions of the job site, including safety of the persons and property and for independent engineering reviews of these conditions. The Architect's or Engineers' job site review is not intended to include review of the adequacy of the contractor's safety measures.
10.	Within these plans and specifications, "Owner" implies VERIZON WIRELESS.
11.	The work is the responsibility of the general contractor unless noted otherwise.
12.	The terms "contractor" and "g.c." refer to the owner's general contractor and the general contractor's sub-contractors. It is the general contractor's responsibility to determine the division of work among sub-contractors.
13.	The general contractor is responsible in obtaining necessary public and private underground utility locate services prior to start of excavating / construction.



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the State of Minnesota. ROBERT J. DAVIS, Reg. No. 12427

Signed:
12-28-17
Date:

DESIGN 1

9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

verizon

10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

PROJECT
20151187518
LOCATION CODE: 380007

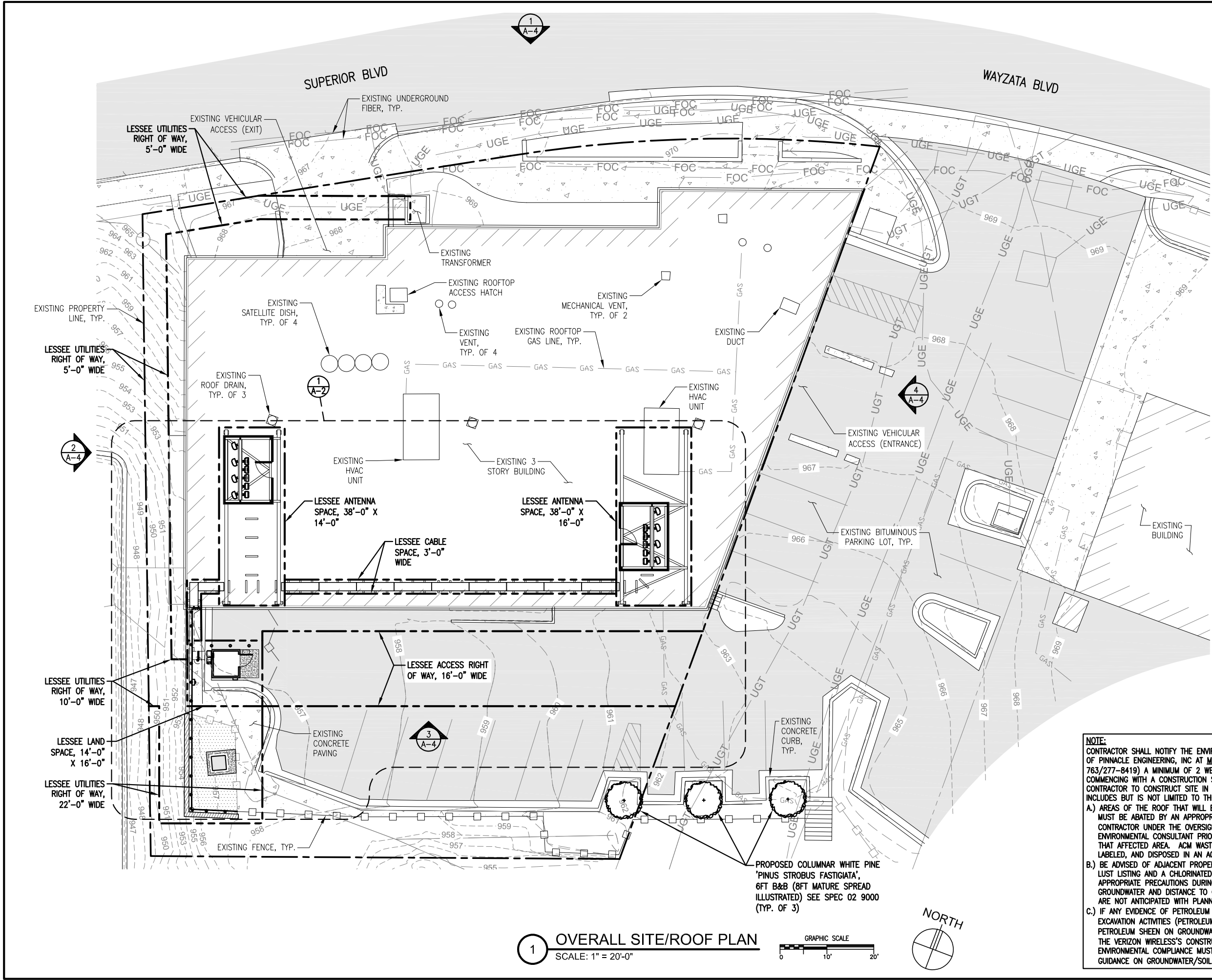
MINC
STRAWBERRY

1000 SUPERIOR BLVD
WAYZATA, MN 55391

SHEET CONTENTS:
CONTACTS
ISSUE SUMMARY
SHEET INDEX
DEPARTMENTAL APPROVALS
LESSOR APPROVAL
PROJECT INFORMATION
AREA & VICINITY MAPS
GENERAL NOTES

DRAWN BY:	DJS
DATE:	04-07-15
CHECKED BY:	MJS
REV. A	06-10-16
REV. B	07-26-16
REV. C	12-16-16
REV. D	01-09-17
REV. E	12-28-17

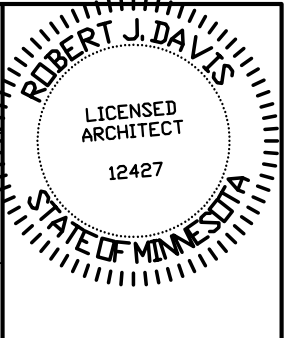
T-1



GENERATOR TYPE:
N/A - CAM-LOC

SHELTER:
ENVIRO-BUILDING
6' X 6' - SEE A-5

FROST DEPTH:
4'-0"



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the State of Minnesota, ROBERT J. DAVIS, Reg. No. 12427

Signed: *Robert J. Davis*
Date: 12-28-17

DESIGN 1

9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

verizon

10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

PROJECT
20151187518
LOCATION CODE: 380007

**MINC
STRAWBERRY**

1000 SUPERIOR BLVD
WAYZATA, MN 55391

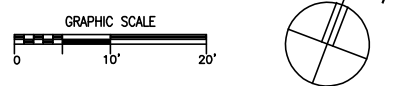
SHEET CONTENTS:
OVERALL SITE/ROOF PLAN

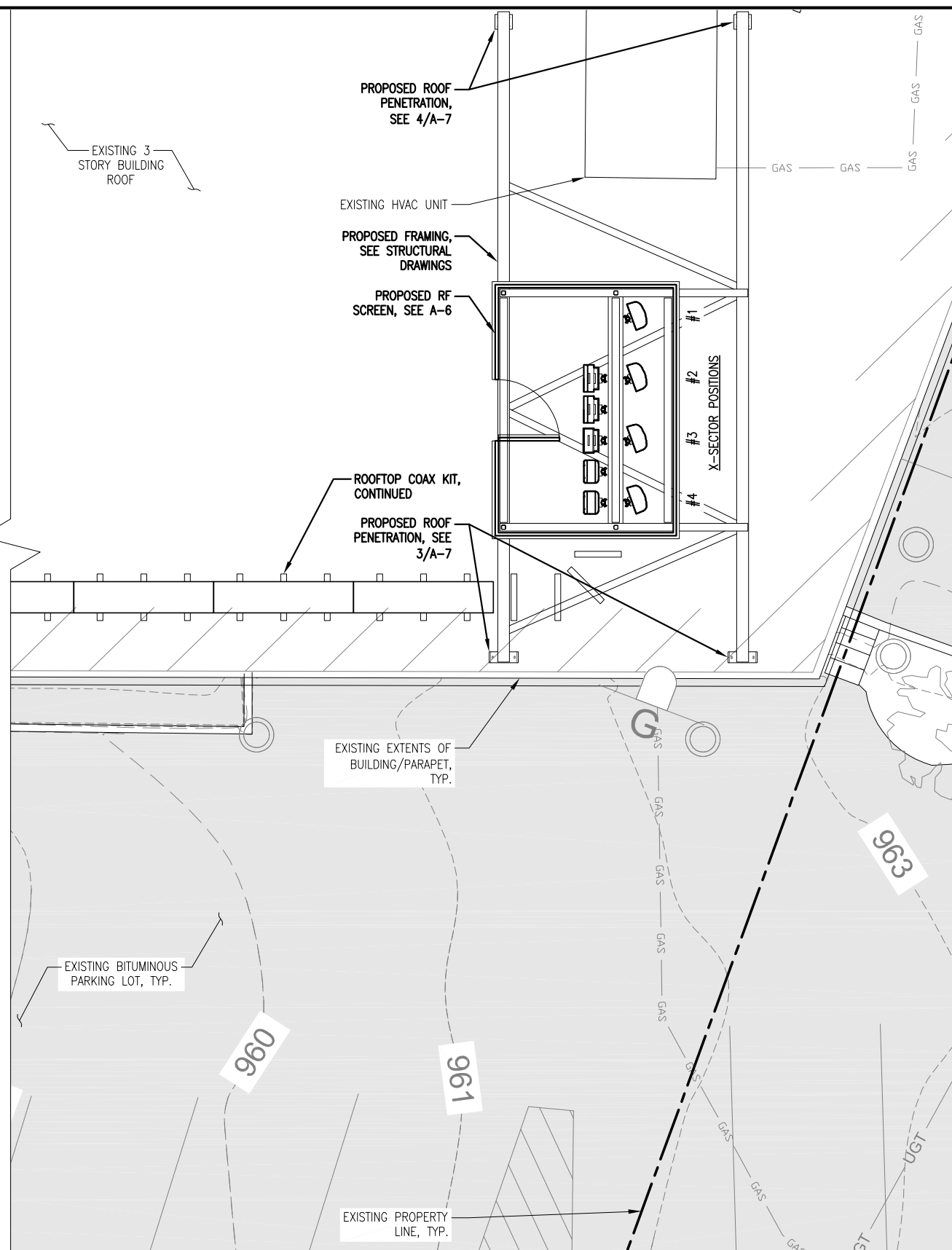
DRAWN BY:	DJS
DATE:	04-07-15
CHECKED BY:	MJS
REV. A	06-10-16
REV. B	07-26-16
REV. C	12-16-16
REV. D	01-09-17
REV. E	12-28-17

A-1

NOTE:
CONTRACTOR SHALL NOTIFY THE ENVIRONMENTAL CONSULTANT (MATT BARTUS OF PINNACLE ENGINEERING, INC AT MBARTUS@PINENG.COM AND 763/277-8419) A MINIMUM OF 2 WEEKS PRIOR TO CONSTRUCTION COMMENCING WITH A CONSTRUCTION SCHEDULE.
CONTRACTOR TO CONSTRUCT SITE IN ACCORDANCE WITH THE EES WHICH INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:
A.) AREAS OF THE ROOF THAT WILL BE DISTURBED DURING CONSTRUCTION MUST BE ABATED BY AN APPROPRIATELY LICENSED ABATEMENT CONTRACTOR UNDER THE OVERSIGHT OF VERIZON WIRELESS'S ENVIRONMENTAL CONSULTANT PRIOR TO THE COMMENCEMENT OF WORK IN THAT AFFECTED AREA. ACM WASTE MUST BE PROPERLY CONTAINERIZED, LABELED, AND DISPOSED IN AN ACCEPTABLE MANNER.
B.) BE ADVISED OF ADJACENT PROPERTIES TO THE SUBJECT PROPERTY HAD A LUST LISTING AND A CHLORINATED SOLVENT PLUME WAS PRESENT. TAKE APPROPRIATE PRECAUTIONS DURING CONSTRUCTION. GIVEN THE DEPTH OF GROUNDWATER AND DISTANCE TO CONTAMINANT SOURCES, SOIL IMPACTS ARE NOT ANTICIPATED WITH PLANNED SHALLOW SOIL DISTURBANCE.
C.) IF ANY EVIDENCE OF PETROLEUM CONTAMINATION IS NOTED DURING SITE EXCAVATION ACTIVITIES (PETROLEUM ODORS, DISCOLORED SOILS, OR PETROLEUM SHEEN ON GROUNDWATER) WORK MUST BE SUSPENDED AND THE VERIZON WIRELESS'S CONSTRUCTION MANAGEMENT AND WEST AREA ENVIRONMENTAL COMPLIANCE MUST BE IMMEDIATELY NOTIFIED TO PROVIDE GUIDANCE ON GROUNDWATER/SOIL MANAGEMENT AND DISPOSAL.

1 OVERALL SITE/ROOF PLAN
SCALE: 1" = 20'-0"





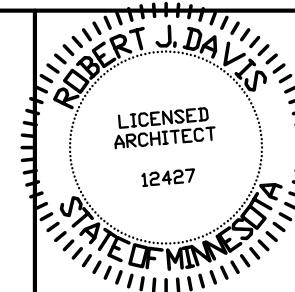
GRAPHIC SCALE

A horizontal scale bar with alternating black and white segments. It is labeled '0' at the left end and '4'' at the right end.



NOTE:

- 1) PROPOSED RETAINING WALL SHALL BE PARALLEL WITH EXISTING CONCRETE WALL (NORTH-SOUTH) & PARALLEL WITH EXISTING FENCE (EAST-WEST).
- 2) PROPOSED FENCE SHALL BE PARALLEL WITH EXISTING CONCRETE WALL (NORTH-SOUTH) & ALIGN WITH EXISTING WOOD FENCE (EAST-WEST).
- 3) CONTRACTOR SHALL REPLACE ALL BITUMINOUS PAVING, CONCRETE CURB AND CONCRETE PAVING DISTURBED DURING CONSTRUCTION.



I hereby certify that this plan,
specification or report was
prepared by me or under my direct
supervision and that I am a duly
registered Architect under
the laws of the State of Minnesota.
ROBERT J. DAVIS, Reg. No. 12427

Signed: _____
Date: _____

DESIGN 1

9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM



10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

PROJECT
20151187518
LOCATION CODE: 380007

MINC
STRAWBERRY

1000 SUPERIOR BLVD
WAYZATA, MN 55391

SHEET CONTENTS:
ENLARGED SITE/ROOF PLAN

DRAWN BY:	DJS
DATE:	04-07-15
CHECKED BY:	MJS
REV. A	06-10-16
REV. B	07-26-16
REV. C	12-16-16
REV. D	01-09-17
REV. E	12-28-17

A-2

ANTENNA KEY												
	AZIMUTH	POSITION	FUNCTION	QTY	MANUFACTURER	MODEL	MOD TYPE	ANTENNA LENGTH	ANTENNA TIP	ANTENNA CENTER	ELEC DOWNTILT	MECH DOWNTILT
"X" SECTOR	50°	1.1	—	1	JMA	X7CQAP-FRO-845-VR4	FUTURE	96.0"	45.5'	41.5'	0°	0°
	—	1.2	—	—	—	2ND PORT	FUTURE	—	—	—	—	—
	—	1.3	TX/RX0	—	—	3RD PORT	700 LTE+45	—	—	—	8°	—
	—	1.4	TX/RX1	—	—	4TH PORT	700 LTE-45	—	—	—	—	—
	—	1.5	—	—	—	5TH PORT	FUTURE	—	—	—	0°	—
	—	1.6	—	—	—	6TH PORT	FUTURE	—	—	—	—	—
	50°	2.1	TX/RX0	1	JMA	X7CQAP-FRO-845-VR4	PCS LTE+45	96.0"	45.5'	41.5'	5°	0°
	—	2.2	TX/RX1	—	—	2ND PORT	PCS LTE-45	—	—	—	—	—
	—	2.3	—	—	—	3RD PORT	FUTURE	—	—	—	0°	—
	—	2.4	—	—	—	4TH PORT	FUTURE	—	—	—	—	—
	—	2.5	RX2	—	—	5TH PORT	PCS LTE+45	—	—	—	5°	—
	—	2.6	RX3	—	—	6TH PORT	PCS LTE-45	—	—	—	—	—
	50°	3.1	TX/RX0	1	JMA	X7CQAP-FRO-845-VR4	AWS LTE+45	96.0"	45.5'	41.5'	5°	0°
	—	3.2	TX/RX1	—	—	2ND PORT	AWS LTE-45	—	—	—	—	—
	—	3.3	RX2	—	—	3RD PORT	700 LTE+45	—	—	—	8°	—
	—	3.4	RX3	—	—	4TH PORT	700 LTE-45	—	—	—	—	—
	—	3.5	RX2	—	—	5TH PORT	AWS LTE+45	—	—	—	5°	—
	—	3.6	RX3	—	—	6TH PORT	AWS LTE-45	—	—	—	—	—
	50°	4.1	—	1	JMA	X7CQAP-FRO-845-VR4	FUTURE	96.0"	45.5'	41.5'	0°	0°
	—	4.2	—	—	—	2ND PORT	FUTURE	—	—	—	—	—
	—	4.3	—	—	—	3RD PORT	FUTURE	—	—	—	—	—
	—	4.4	—	—	—	4TH PORT	FUTURE	—	—	—	—	—
	—	4.5	—	—	—	5TH PORT	FUTURE	—	—	—	—	—
	—	4.6	—	—	—	6TH PORT	FUTURE	—	—	—	—	—
"Y" SECTOR	230°	1.1	—	1	JMA	X7CQAP-FRO-845-VR4	FUTURE	96.0"	45.5'	41.5'	0°	0°
	—	1.2	—	—	—	2ND PORT	FUTURE	—	—	—	—	—
	—	1.3	TX/RX0	—	—	3RD PORT	700 LTE+45	—	—	—	7°	—
	—	1.4	TX/RX1	—	—	4TH PORT	700 LTE-45	—	—	—	—	—
	—	1.5	—	—	—	5TH PORT	FUTURE	—	—	—	0°	—
	—	1.6	—	—	—	6TH PORT	FUTURE	—	—	—	—	—
	230°	2.1	TX/RX0	1	JMA	X7CQAP-FRO-845-VR4	PCS LTE+45	96.0"	45.5'	41.5'	4°	0°
	—	2.2	TX/RX1	—	—	2ND PORT	PCS LTE-45	—	—	—	—	—
	—	2.3	—	—	—	3RD PORT	FUTURE	—	—	—	0°	—
	—	2.4	—	—	—	4TH PORT	FUTURE	—	—	—	—	—
	—	2.5	RX2	—	—	5TH PORT	PCS LTE+45	—	—	—	4°	—
	—	2.6	RX3	—	—	6TH PORT	PCS LTE-45	—	—	—	—	—
	230°	3.1	TX/RX0	1	JMA	X7CQAP-FRO-845-VR4	AWS LTE+45	96.0"	45.5'	41.5'	4°	0°
	—	3.2	TX/RX1	—	—	2ND PORT	AWS LTE-45	—	—	—	—	—
	—	3.3	RX2	—	—	3RD PORT	700 LTE+45	—	—	—	7°	—
	—	3.4	RX3	—	—	4TH PORT	700 LTE-45	—	—	—	—	—
	—	3.5	RX2	—	—	5TH PORT	AWS LTE+45	—	—	—	4°	—
	—	3.6	RX3	—	—	6TH PORT	AWS LTE-45	—	—	—	—	—
	230°	4.1	—	1	JMA	X7CQAP-FRO-845-VR4	FUTURE	96.0"	45.5'	41.5'	0°	0°
	—	4.2	—	—	—	2ND PORT	FUTURE	—	—	—	—	—
	—	4.3	—	—	—	3RD PORT	FUTURE	—	—	—	—	—
	—	4.4	—	—	—	4TH PORT	FUTURE	—	—	—	—	—
	—	4.5	—	—	—	5TH PORT	FUTURE	—	—	—	—	—
	—	4.6	—	—	—	6TH PORT	FUTURE	—	—	—	—	—

PROPOSED ADDITIONAL:
(2) DISTRIBUTION BOXES, MODEL #RXXDC-3315-PF-DC (ON SHELTER)
(2) 6-12 HYBRID CABLE, ROSENBERGER MODEL #HL-9612210 (X-SECTOR)
(2) 6-12 HYBRID CABLE, ROSENBERGER MODEL #HL-9612130 (Y-SECTOR)
(4) DISTRIBUTION BOXES, MODEL #RXXDC-3315-PF-DC (TWO PER SECTOR)
(24) TERMINATOR, 1-2W 50Ω (FOR ALL OPEN PORTS)

NOTE:
CALCULATION OF PROPOSED 6-12 CABLE LENGTH:
130 FT HORIZONTAL RUN +
52 FT VERTICAL RUN +
20 FT EXTRA = X-SECTOR.
CALCULATION OF PROPOSED 6-12 CABLE LENGTH:
50 FT HORIZONTAL RUN +
52 FT VERTICAL RUN +
20 FT EXTRA = Y-SECTOR.

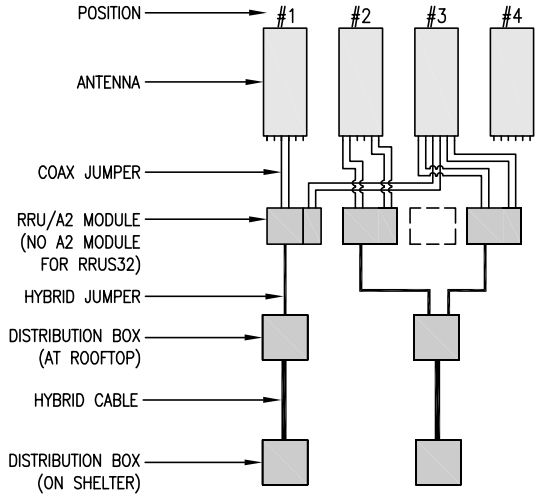
1 ANTENNA KEY
SCALE: NONE

NOTE:
GRAYSCALE ITEMS ON SHEET A-3 ARE FUTURE.

NOTE:
CONTRACTOR TO OBTAIN CURRENT FINAL SDF & FAA
DETERMINATION FROM VZW PRIOR TO CONSTRUCTION
COMMENCEMENT.

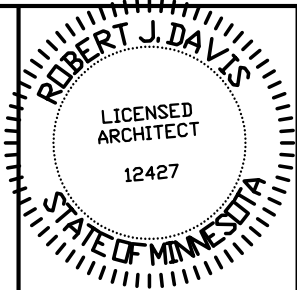
EQUIPMENT/CABLE KEY						
QTY	COAX TYPE	MANUFACTURER	MODEL	DIELECTRIC	DIAMETER (INCH)	RUN (FEET)
TERMINATE PORT						
TERMINATE PORT						
1	RRU	ERICSSON	RRUS-B13 WITH A2	(1)	ROSENBERGER HJ-C860915 FIBER FEED TAIL DIST. BOX TO RRU	
TERMINATE PORT						
TERMINATE PORT						
1	RRU	ERICSSON	RRUS32-B2	(1)	ROSENBERGER HJ-C860915 FIBER FEED TAIL DIST. BOX TO RRU	
TERMINATE PORT						
TERMINATE PORT						
CONNECT THESE PORTS TO RRUS32 B2						
1	RRU	ERICSSON	RRUS32-B66A	(1)	ROSENBERGER HJ-C860915 FIBER FEED TAIL DIST. BOX TO RRU	
CONNECT THESE PORTS TO A2 MODEL ON RRUS-B13						
CONNECT THESE PORTS TO RRUS32 B66A						
TERMINATE PORT						
TERMINATE PORT						
TERMINATE PORT						
TERMINATE PORT						
TERMINATE PORT						
TERMINATE PORT						
1	RRU	ERICSSON	RRUS-B13 WITH A2	(1)	ROSENBERGER HJ-C860915 FIBER FEED TAIL DIST. BOX TO RRU	
TERMINATE PORT						
TERMINATE PORT						
1	RRU	ERICSSON	RRUS32-B2	(1)	ROSENBERGER HJ-C860915 FIBER FEED TAIL DIST. BOX TO RRU	
TERMINATE PORT						
TERMINATE PORT						
CONNECT THESE PORTS TO RRUS32 B2						
1	RRU	ERICSSON	RRUS32-B66A	(1)	ROSENBERGER HJ-C860915 FIBER FEED TAIL DIST. BOX TO RRU	
CONNECT THESE PORTS TO A2 MODEL ON RRUS-B13						
CONNECT THESE PORTS TO RRUS32 B66A						
TERMINATE PORT						
TERMINATE PORT						
TERMINATE PORT						
TERMINATE PORT						
TERMINATE PORT						
TERMINATE PORT						
24	COAX JUMPER	ANDREW	LDF4-50	FOAM	1/2"	10'

2 EQUIPMENT/CABLE KEY
SCALE: NONE



- ONE-LINE DIAGRAM NOTES:
1) QUANTITIES AND MODEL NUMBERS PER ANTENNA AND EQUIPMENT/CABLE KEYS.
2) OVERALL LENGTH OF POWER CABLES NOT TO EXCEED 367' FROM POWER SUPPLY TO REMOTE RADIO UNIT.
3) DASHED LINES INDICATED FUTURE EQUIPMENT/CABLES.
4) COAX JUMPER: MAX. LENGTH 15'-0", UNLESS NOTED OTHERWISE.
5) HYBRID JUMPER: MAX. LENGTH 15'-0".
6) CABLE HANGER (UNIVERSAL): ROSENBERGER #TH415-U158
7) CABLE HANGER (STACKABLE): ROSENBERGER #TH428-S128
8) GROMMET (6-12): ROSENBERGER #CX649-3536
9) GROMMET (HYBRID JUMPER, SINGLE): ROSENBERGER #CX651-2829
10) GROMMET (HYBRID JUMPER, DOUBLE): ROSENBERGER #CX652-1714

3 ONE-LINE DIAGRAM
SCALE: NONE



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the State of Minnesota.
ROBERT J. DAVIS, Reg. No. 12427

Signed: *Robert J. Davis*
Date: 12-28-17

DESIGN1
9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

verizon
10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

PROJECT
20151187518
LOCATION CODE: 380007

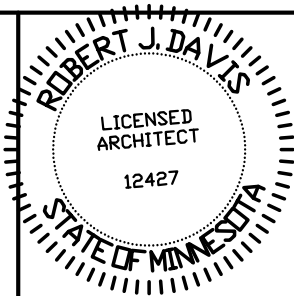
**MINC
STRAWBERRY**

1000 SUPERIOR BLVD
WAYZATA, MN 55391

SHEET CONTENTS:
ANTENNA KEY
EQUIPMENT/CABLE KEY
ONE-LINE DIAGRAM

DRAWN BY: DJS
DATE: 04-07-15
CHECKED BY: MJS
REV. A 06-10-16
REV. B 07-26-16
REV. C 12-16-16
REV. D 01-09-17
REV. E 12-28-17

A-3



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the State of Minnesota. ROBERT J. DAVIS, Reg. No. 12427

Signed: *Robert J. Davis*

12-28-17
Date:

DESIGN 1

9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

verizon

10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

PROJECT
20151187518
LOCATION CODE: 380007

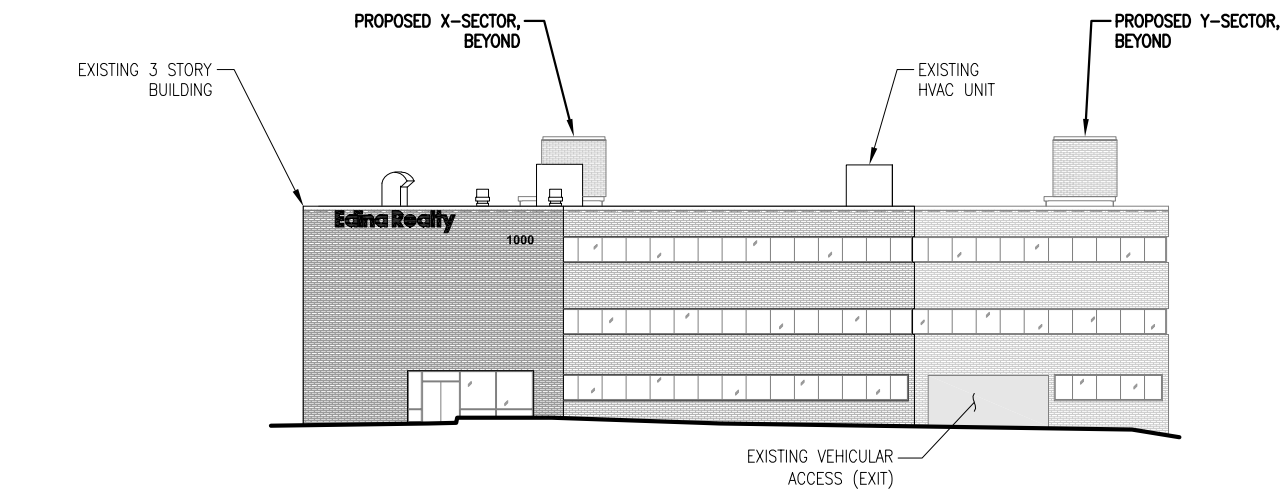
**MINC
STRAWBERRY**

1000 SUPERIOR BLVD
WAYZATA, MN 55391

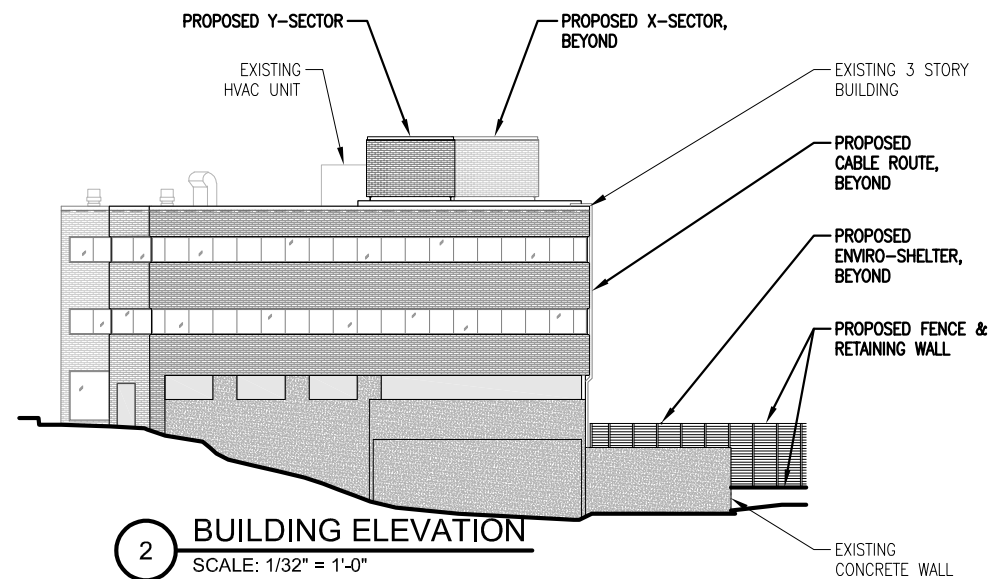
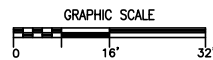
SHEET CONTENTS:
BUILDING ELEVATIONS
FENCE & GATE DRAWINGS

DRAWN BY:	DJS
DATE:	04-07-15
CHECKED BY:	MJS
REV. A	06-10-16
REV. B	07-26-16
REV. C	12-16-16
REV. D	01-09-17
REV. E	12-28-17

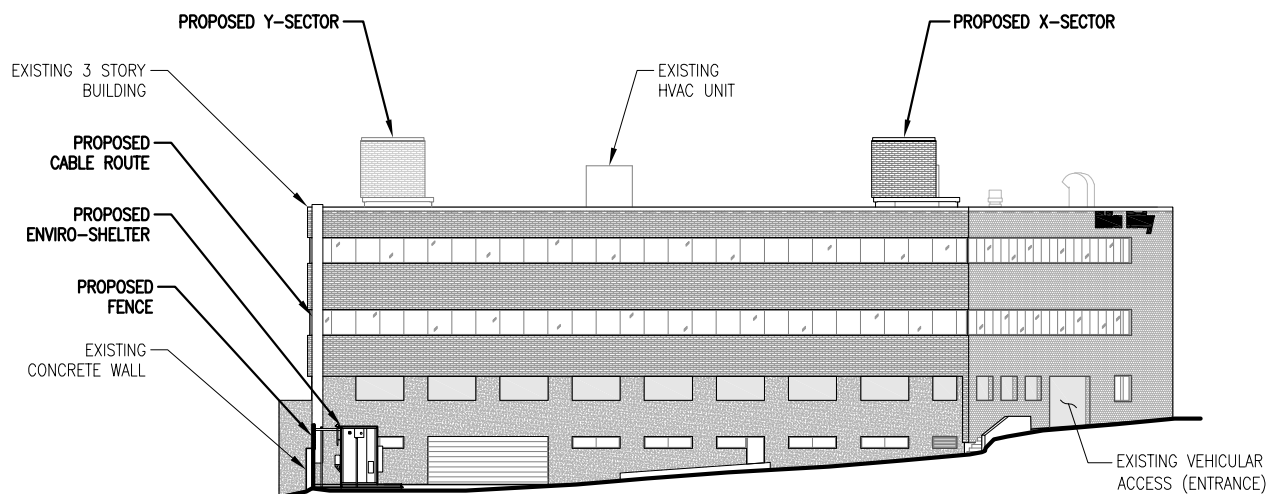
A-4



1 BUILDING ELEVATION
SCALE: 1/32" = 1'-0"

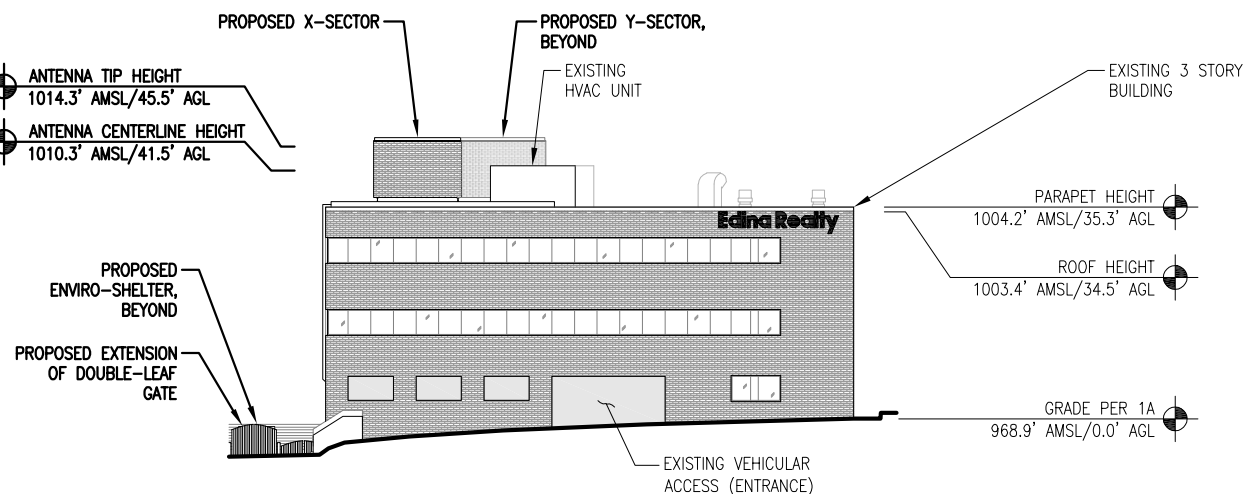
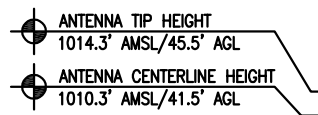


2 BUILDING ELEVATION
SCALE: 1/32" = 1'-0"

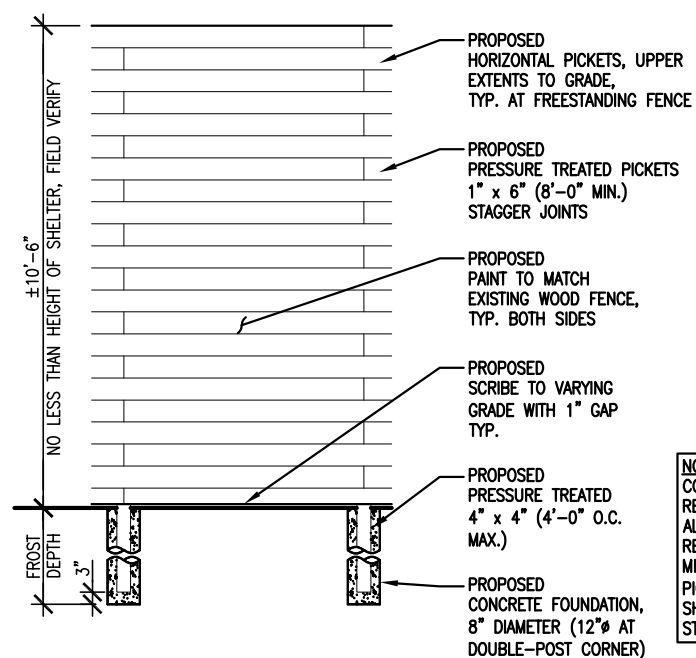


3 BUILDING ELEVATION
SCALE: 1/32" = 1'-0"

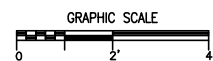
NOTE:
FENCE & VEGETATION
IN FOREGROUND, NOT
SHOWN FOR CLARITY.



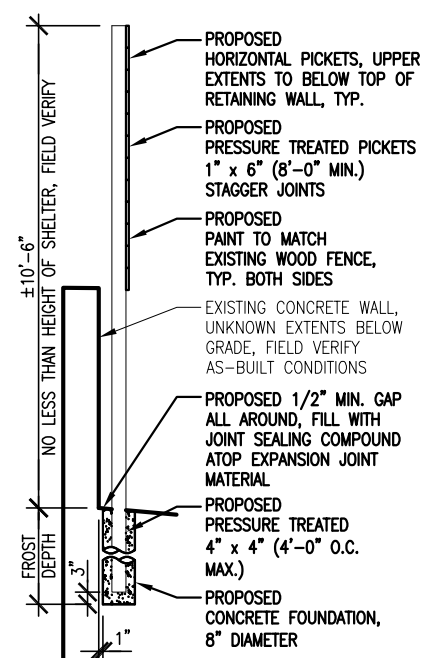
4 BUILDING ELEVATION
SCALE: 1/32" = 1'-0"



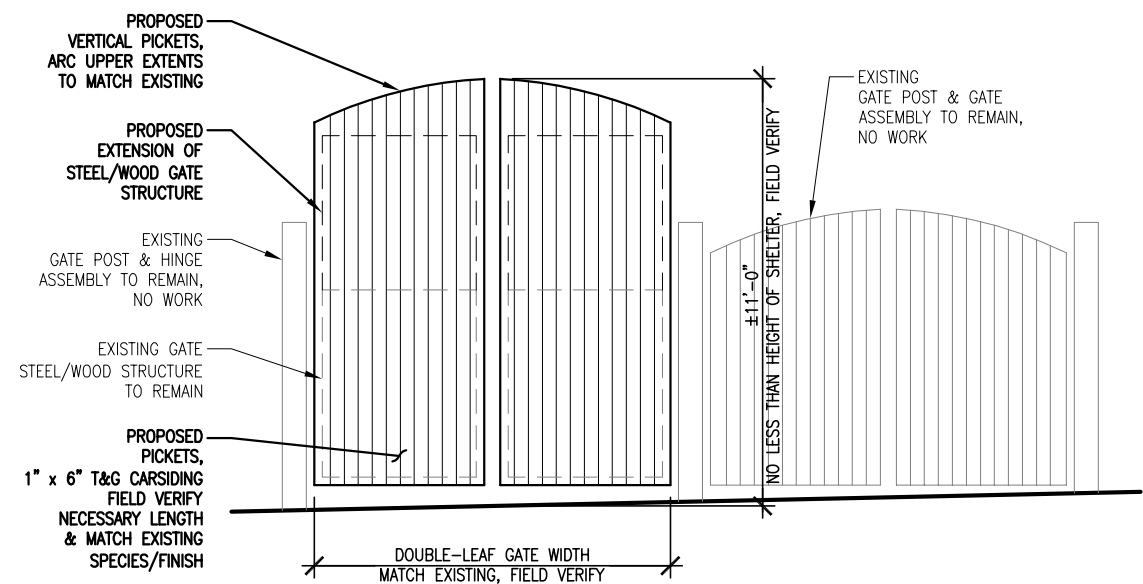
5 FENCE ELEVATION
SCALE: 1/4" = 1'-0"



NOTE:
CONTRACTOR IS RESPONSIBLE FOR
REPAIRS TO EXISTING WOOD FENCE
ALONG ITS ENTIRE LENGTH.
REPAIRS SHALL INCLUDE ALL
MISSING, BROKEN OR DECREPIT
PICKETS/POSTS. ALL REPAIRS
SHALL MEET THE MINIMUM
STANDARDS AT LEFT.



6 FENCE SECTION
SCALE: 1/4" = 1'-0"



7 GATE DETAIL
SCALE: 1/4" = 1'-0"

TOP OF ENVIRO-SHELTER
±10'-0" AGL

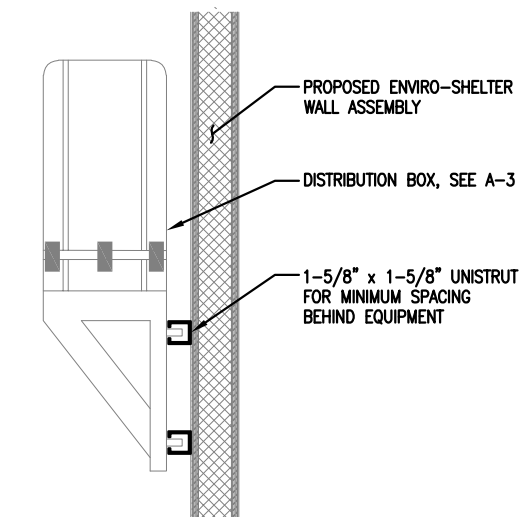
HOFFMAN BOX, 18" X
18" X 6", SEE NOTE
FOR WALL PENETRATION

PROPOSED CONCRETE
FOUNDATION PAD,
SEE 7/A-5 (TYP.)

1 SHELTER ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"

PROPOSED 6'-0" X 6'-0"
ENVIRO-SHELTER, SEE NOTE

3 SHELTER ELEVATION - NORTH
SCALE: 1/4" = 1'-0"



5 DISTRIBUTION BOX DETAIL
SCALE: 3/4" = 1'-0"

4-PORT ENTRY PANEL,
BY SHELTER MANUFACTURER

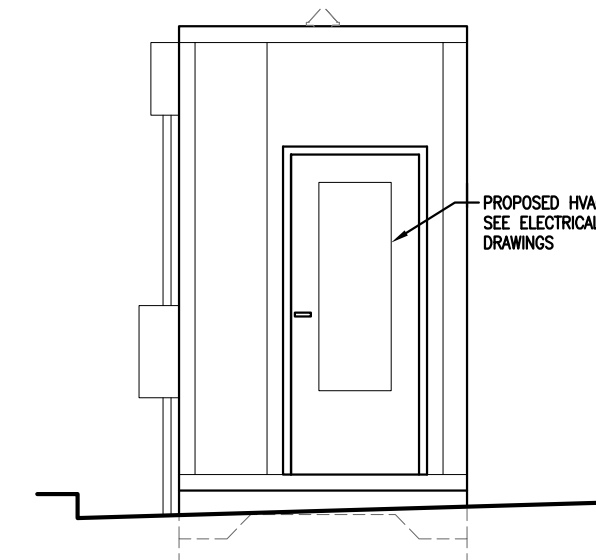
PROPOSED CABLE BRIDGE,
SEE 4/A-8

PROPOSED UNISTRUT,
FASTEN TO ANGLE, SEE 4/A-8

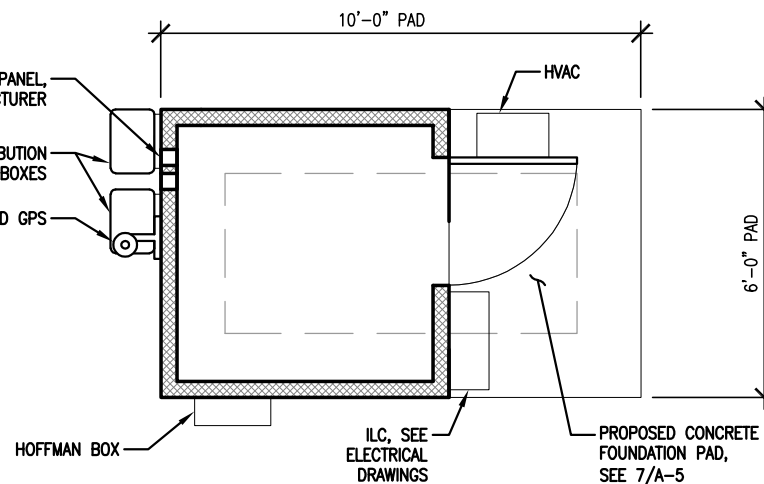
PROPOSED 3" x 3" x 5/16"
GALV. STEEL ANGLE (EXT.) &
BACKER PLATE (INT.),
BOLT THRU WALL

PROPOSED DISTRIBUTION
BOXES, SEE 5/A-5

2 SHELTER ELEVATION - WEST
SCALE: 1/4" = 1'-0"



4 SHELTER ELEVATION - EAST
SCALE: 1/4" = 1'-0"



6 SHELTER EQUIPMENT PLAN
SCALE: 1/4" = 1'-0"

NOTE:
CONTRACTOR TO PROVIDE PENETRATION IN
PREFABRICATED SHELTER WALL FOR TELCO ENTRY.

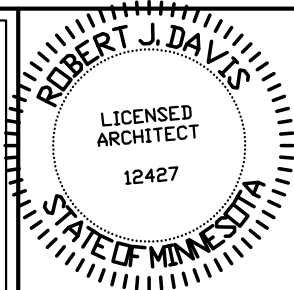
CONTRACTOR TO VERIFY FINAL LOCATION & SIZE
OF PROPOSED TELCO ENTRY
W/VZW CONSTRUCTION ENGINEER. APPROXIMATE
SIZE TELCO ENTRY 4"Ø.

NOTE:
CONTRACTOR TO CUT TWO OPENINGS IN HOLLOW
METAL DOOR TO ACCOMMODATE HVAC
SUPPLY/RETURN, COORDINATE WITH
MANUFACTURER'S DATA SPECIFIC TO MODEL
NUMBER ON SHEET E-7

NOTE:
THE ENVIRO-SHELTER IS A PREFABRICATED
PANELIZED SYSTEM. THE ENVIRO-SHELTER IS TO BE
SUPPLIED BY VERIZON. SHELTER SHALL BE
ORDERED IN STUCCO EMBOSSED STEEL, COLOR
WHITE. TRANSPORTING AND SETTING SHALL BE
COORDINATED WITH VERIZON AND SHELTER
MANUFACTURER:

ENVIRO-BUILDINGS
325 PAYSON AVENUE
QUINCY, IL 62301
CLINTON RUEB, SALES MANAGER
CLINTON@ENVIROBUILDINGS.COM
800-728-5454

ENVIRO-BUILDING DRAWINGS OF THE PREFABRICATED
ENVIRO-SHELTER ARE INCLUDED IN THIS PACKAGE
FOR REFERENCE.



I hereby certify that this plan,
specification or report was
prepared by me or under my direct
supervision and that I am a duly
registered Architect under
the laws of the State of Minnesota.
ROBERT J. DAVIS, Reg. No. 12427

Signed: *Robert J. Davis*
Date: 12-28-17

DESIGN 1

9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

verizon

10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

PROJECT
20151187518
LOCATION CODE: 380007

**MINC
STRAWBERRY**

1000 SUPERIOR BLVD
WAYZATA, MN 55391

SHEET CONTENTS:
SHELTER PLAN
SHELTER ELEVATIONS
SHELTER DETAILS

DRAWN BY:	DJS
DATE:	04-07-15
CHECKED BY:	MJS
REV. A	06-10-16
REV. B	07-26-16
REV. C	12-16-16
REV. D	01-09-17
REV. E	12-28-17

A-5

PROPOSED MIN.
1/2" GAP, FILL WITH
JOINT SEALING
COMPOUND ATOP
EXPANSION JOINT
MATERIAL

BITUMINOUS

4" MIN.

8" MIN.

NOTE:
CONCRETE SLAB ON GRADE SHALL BEAR ON COMPACTED GRANULAR
FILL OVER NATURAL UNDISTURBED SOIL. GRANULAR FILL SHALL BE
COMPACTED TO 98% STANDARD DENSITY (ASTM: D698-91).
GRANULAR FILL SHALL BE REASONABLY WELL GRADED SAND
(SW OR CP) CLEAN AND FREE OF ORGANIC MATERIAL WITH MORE
THAN 50% RETAINED ON THE NO. 200 SIEVE AND 50% OR MORE
OF COARSE FRACTION PASSES NO. 4 SIEVE. AGGREGATE SHALL
NOT EXCEED 3/4".

CONCRETE
#5 REINFORCING
REBAR @ 6" O.C. E.W.

6 MIL. POLY VAPOR BARRIER

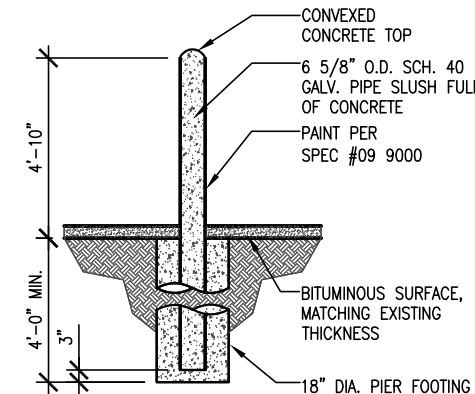
#5 CONTINUOUS REINFORCING
REBAR

12" COMPACTED GRANULAR
FILL (SEE "NOTE")

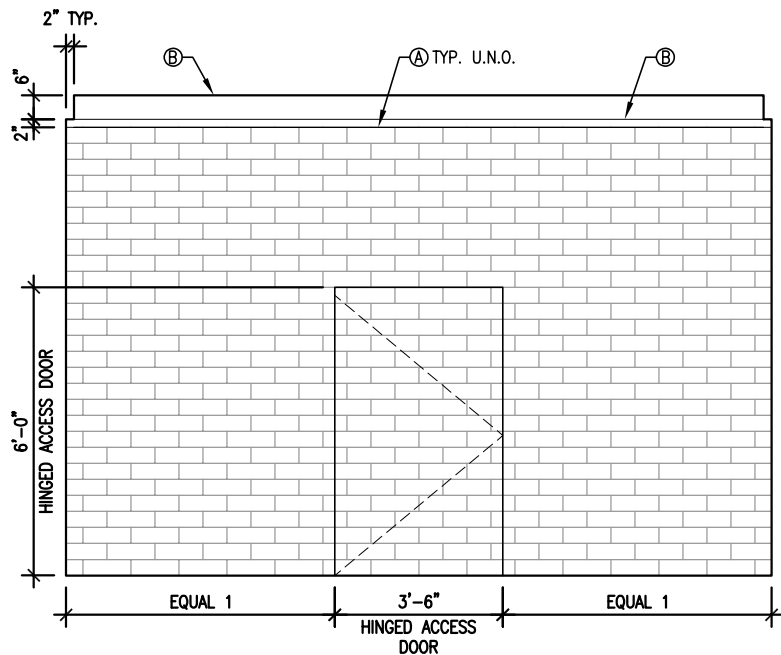
NATURAL UNDISTURBED SOIL

7 CONCRETE SLAB DETAIL
SCALE: 3/4" = 1'-0"

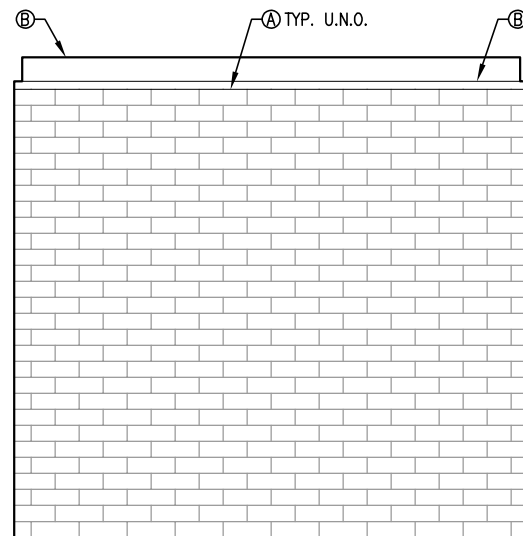
GRAPHIC SCALE
0 8' 1'-4"



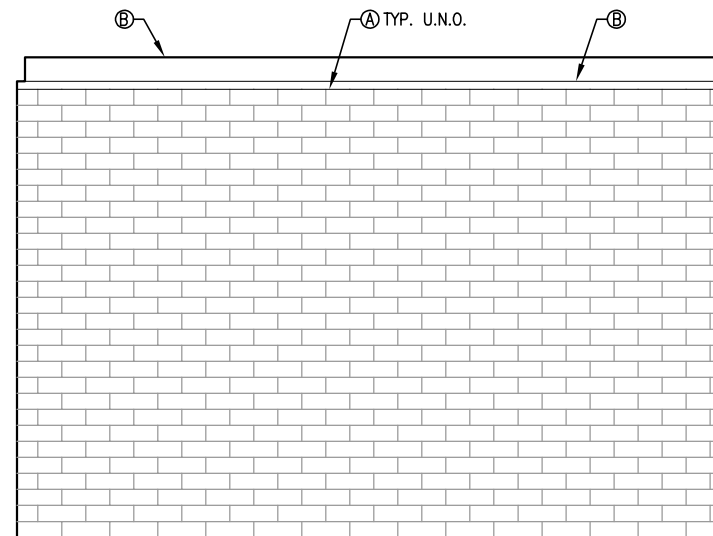
8 BOLLARD DETAIL
SCALE: 1/4" = 1'-0"



1 RF SCREEN ELEVATION
SCALE: 1/4" = 1'-0"



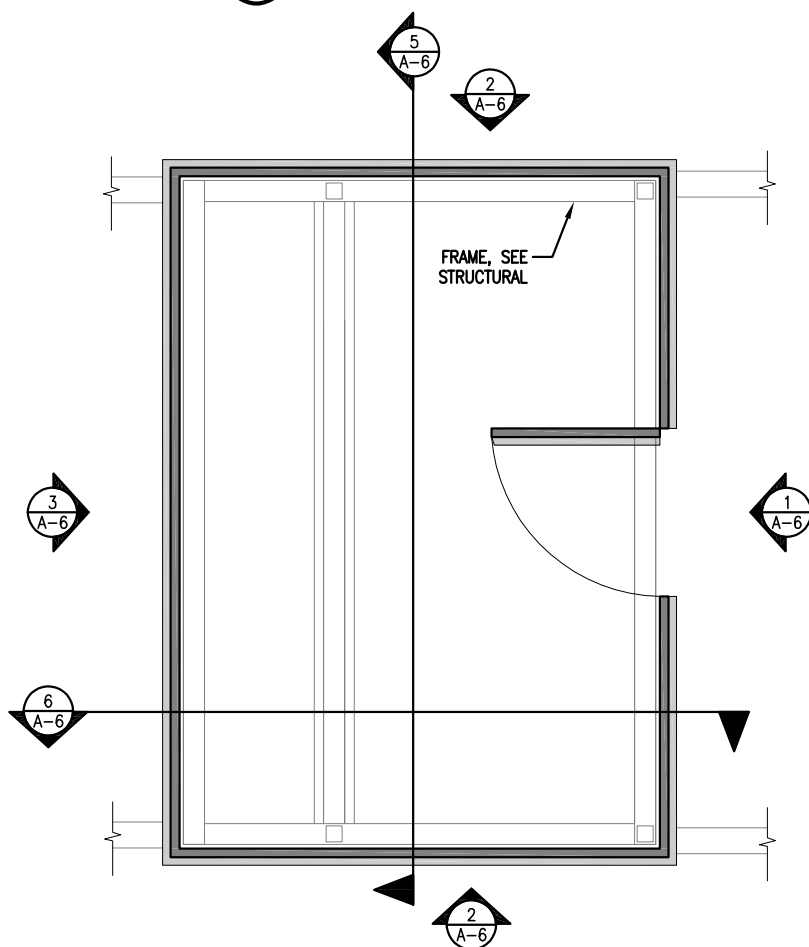
2 RF SCREEN ELEVATION
SCALE: 1/4" = 1'-0"



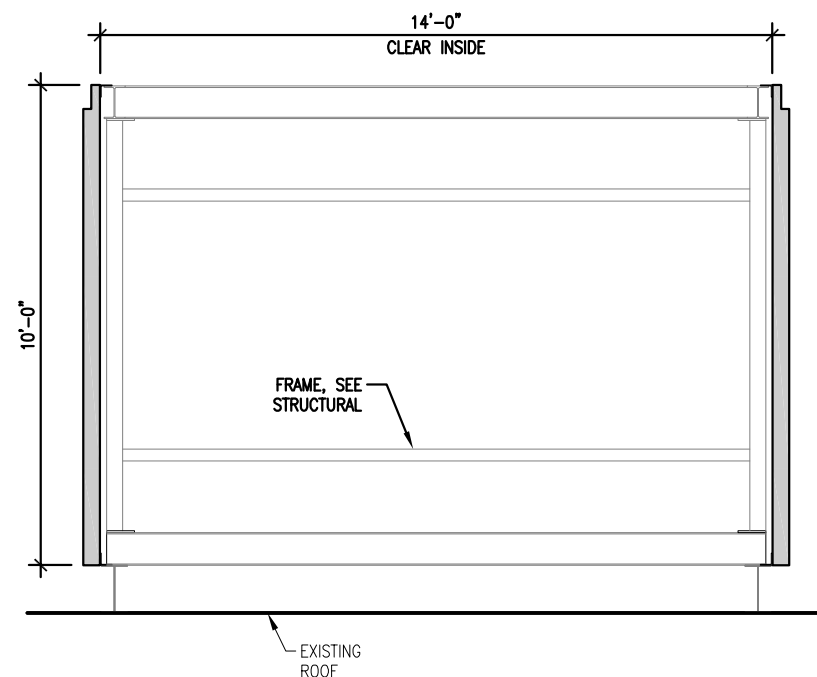
3 RF SCREEN ELEVATION
SCALE: 1/4" = 1'-0"

- (A) BRICK COLOR: "MULTI-COLOR", MATCH EXISTING BRICK SIZE & COLOR, 2D FINISH.
(B) FLASHING COLOR: "DARK BRONZE", MATCH EXISTING FLASHING, SMOOTH FINISH.

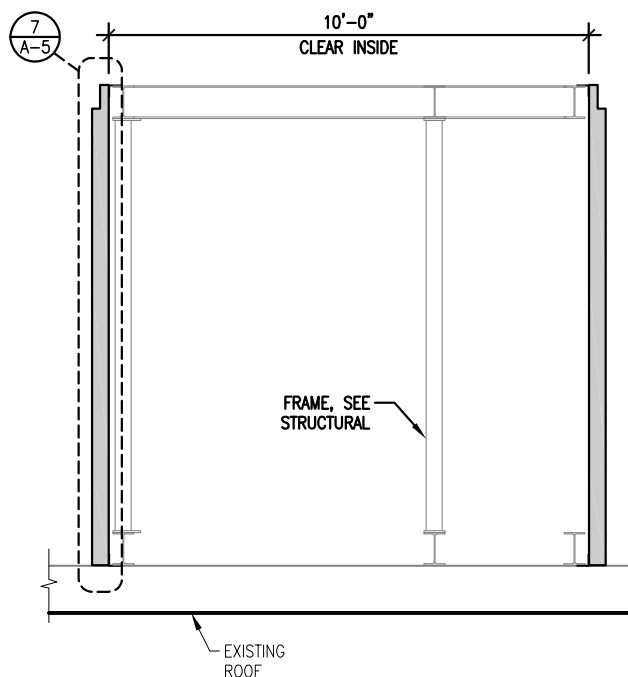
NOTE: RF TRANSPARENT SCREEN ASSEMBLY SHALL BE A PANELIZED FIBERSCREEN (TM) SYSTEM AS DESIGNED AND MANUFACTURED BY PEABODY ENGINEERING INC. PEABODY DRAWINGS OF THE APPROVED SCREEN ASSEMBLY DESIGN (SITE/LOCATION #380007) ARE INCLUDED IN THIS PACKAGE FOR REFERENCE.



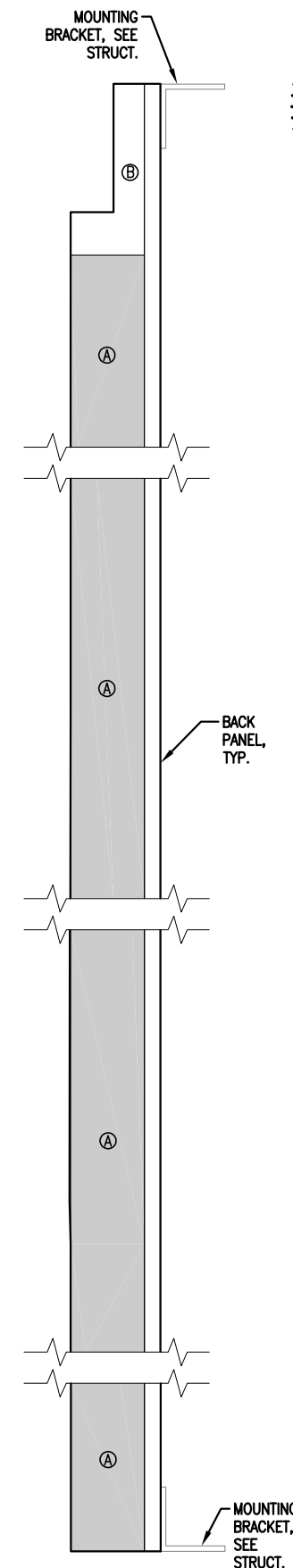
4 RF SCREEN PLAN
SCALE: 1/4" = 1'-0"



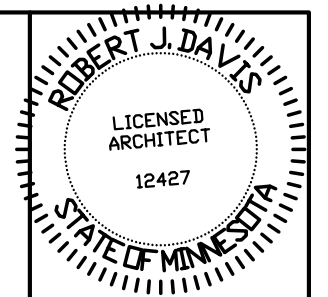
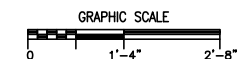
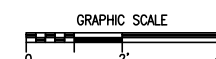
5 RF SCREEN SECTION
SCALE: 1/4" = 1'-0"



6 RF SCREEN SECTION
SCALE: 1/4" = 1'-0"



7 RF SCREEN DETAIL
SCALE: 1 1/2" = 1'-0"



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the State of Minnesota. ROBERT J. DAVIS, Reg. No. 12427

Signed: *Robert J. Davis*
Date: 12-28-17

DESIGN 1
9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

verizon
10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

PROJECT
20151187518
LOCATION CODE: 380007

**MINC
STRAWBERRY**

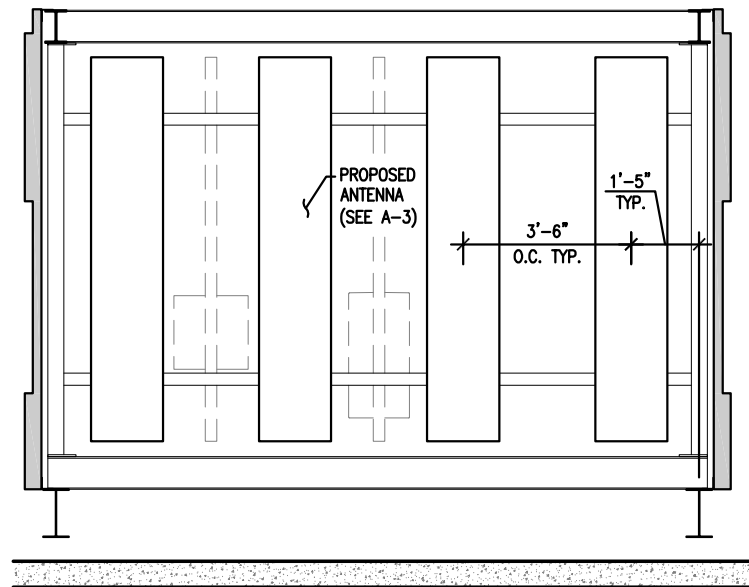
1000 SUPERIOR BLVD
WAYZATA, MN 55391

SHEET CONTENTS:
RF SCREEN PLAN
RF SCREEN ELEVATIONS
RF SCREEN DETAILS

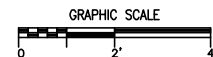
DRAWN BY:	DJS
DATE:	04-07-15
CHECKED BY:	MJS
REV. A	06-10-16
REV. B	07-26-16
REV. C	12-16-16
REV. D	01-09-17
REV. E	12-28-17

A-6

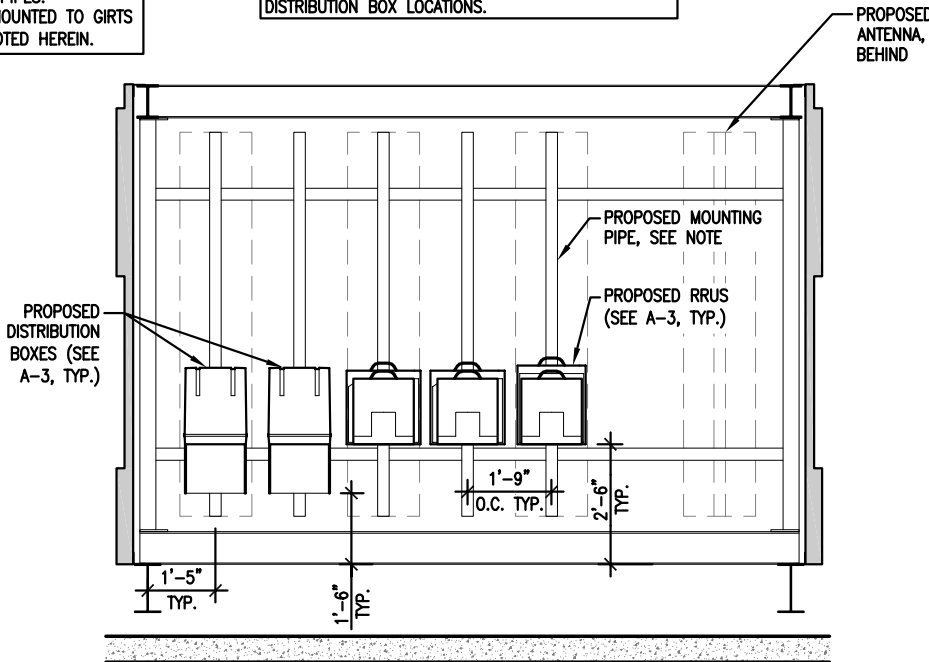
NOTE:
CONTRACTOR SHALL PROVIDE 2-1/2" SCHEDULE
40 MOUNTING PIPES FOR THE FOLLOWING:
8 - 8'-0" LONG ANTENNA PIPES.
10 - 8'-0" LONG EQUIPMENT PIPES.
ALL MOUNTING PIPES SHALL BE MOUNTED TO GIRTS
PER 1/4" AT THE DIMENSIONS NOTED HEREIN.



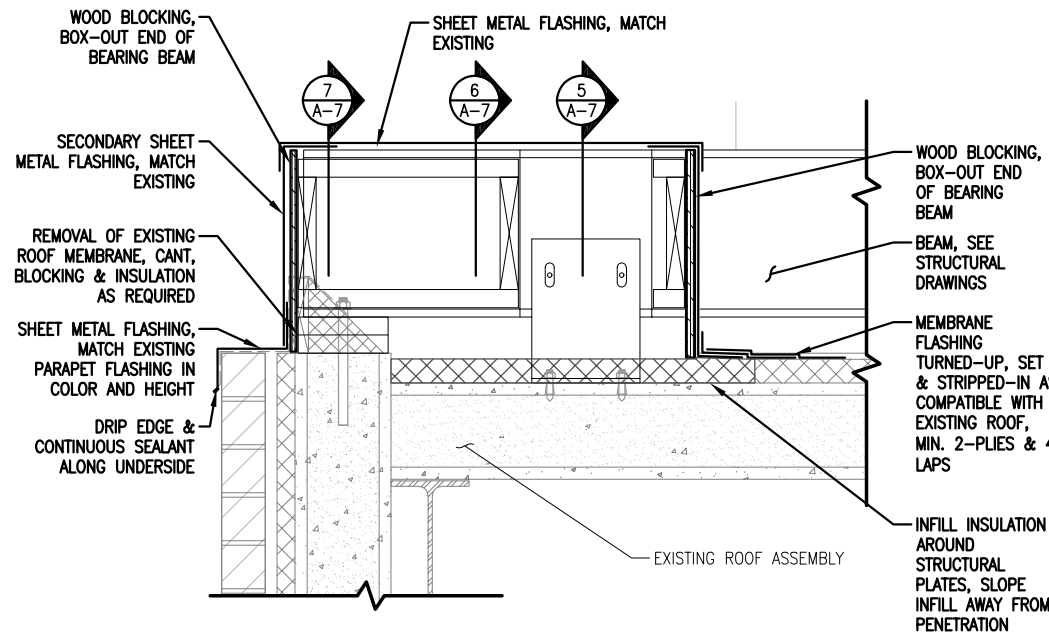
1 FRONT FACE OF SLED
ANTENNA ELEVATION
SCALE: 1/4" = 1'-0"



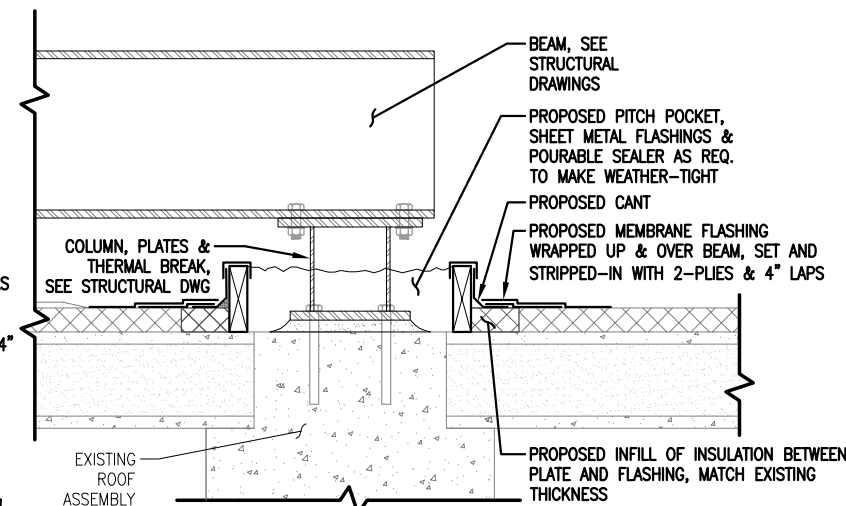
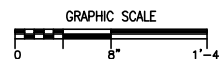
NOTE: X-SECTOR EQUIPMENT WILL BE AS SHOWN ON
2/A-7. Y-SECTOR WILL HAVE MIRRORED RRUS AND
DISTRIBUTION BOX LOCATIONS.



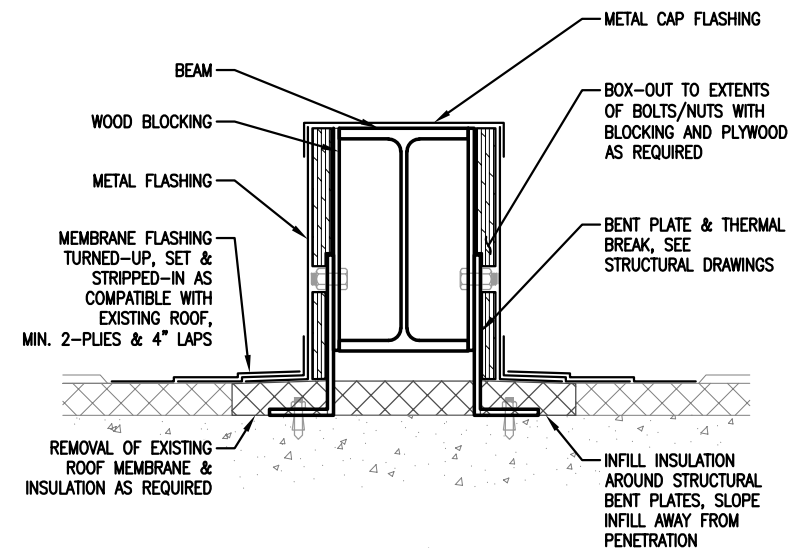
2 BACK FACE OF SLED
RRU ELEVATION
SCALE: 1/4" = 1'-0"



3 PENETRATION DETAIL
SCALE: 3/4" = 1'-0"

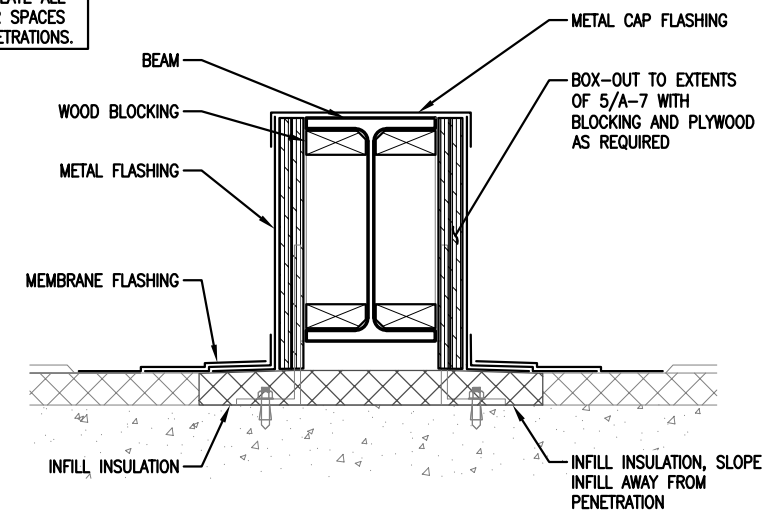


4 PENETRATION DETAIL
SCALE: 1" = 1'-0"

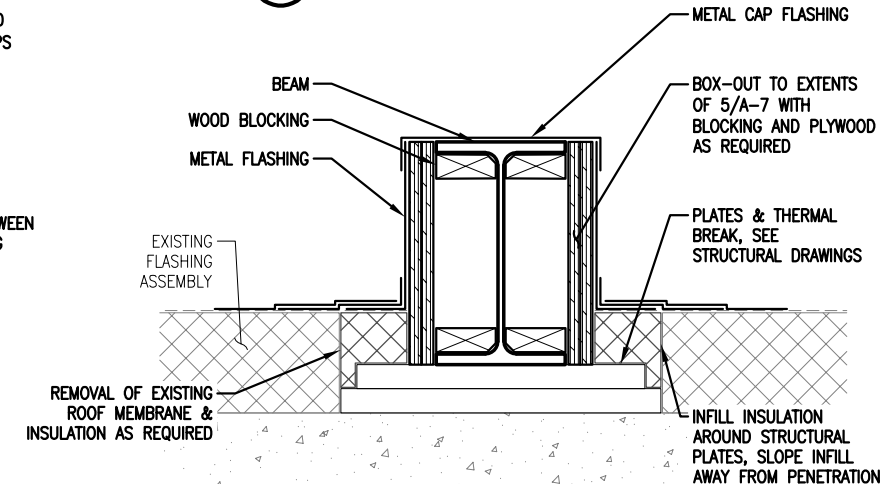


5 PENETRATION DETAIL
SCALE: 1" = 1'-0"

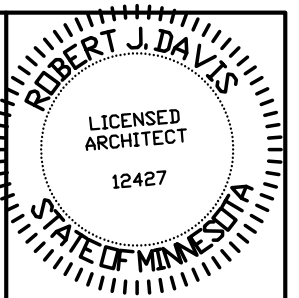
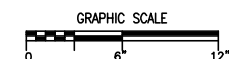
NOTE: CONTRACTOR
TO INSULATE ALL
INTERIOR SPACES
OF PENETRATIONS.



6 PENETRATION DETAIL
SCALE: 1" = 1'-0"



7 PENETRATION DETAIL
SCALE: 1" = 1'-0"



I hereby certify that this plan,
specification or report was
prepared by me or under my direct
supervision and that I am a duly
registered Architect under
the laws of the State of Minnesota.
ROBERT J. DAVIS, Reg. No. 12427

Signed: *Robert J. Davis*
Date: 12-28-17

DESIGN 1
9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

verizon
10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

PROJECT
20151187518
LOCATION CODE: 380007

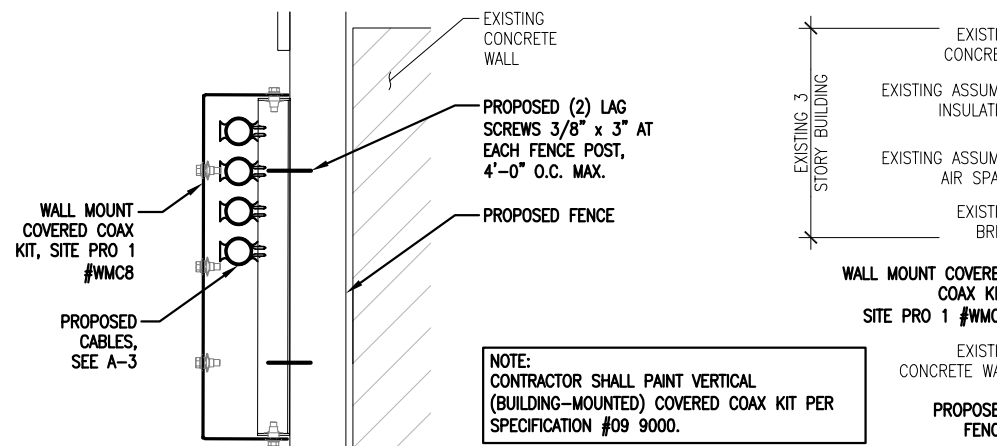
**MINC
STRAWBERRY**

1000 SUPERIOR BLVD
WAYZATA, MN 55391

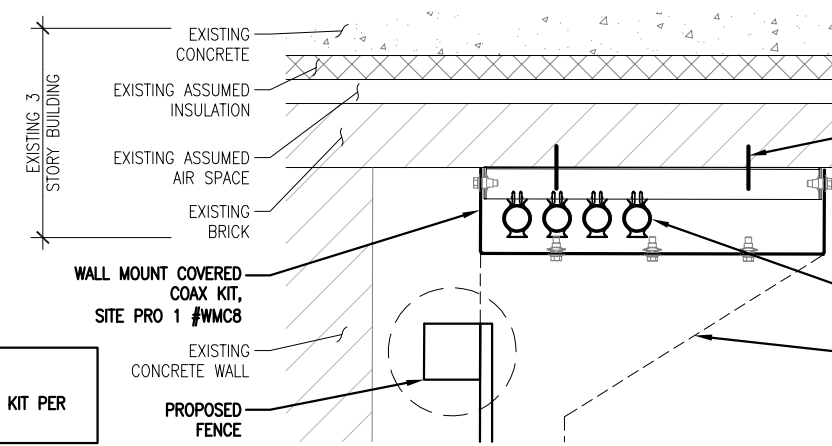
SHEET CONTENTS:
ANTENNA ELEVATION
RRU ELEVATION
PENETRATION DETAILS

DRAWN BY:	DJS
DATE:	04-07-15
CHECKED BY:	MJS
REV. A	06-10-16
REV. B	07-26-16
REV. C	12-16-16
REV. D	01-09-17
REV. E	12-28-17

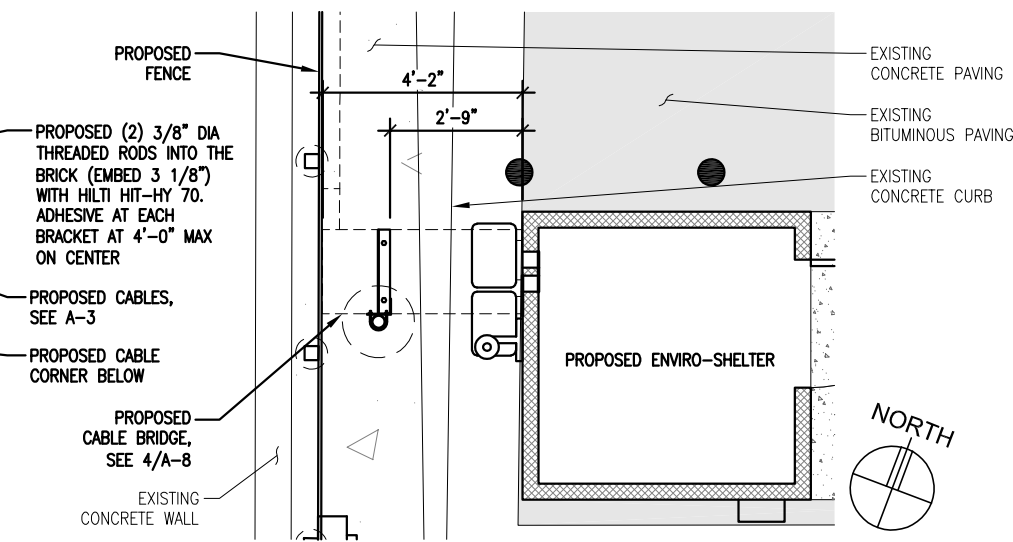
A-7



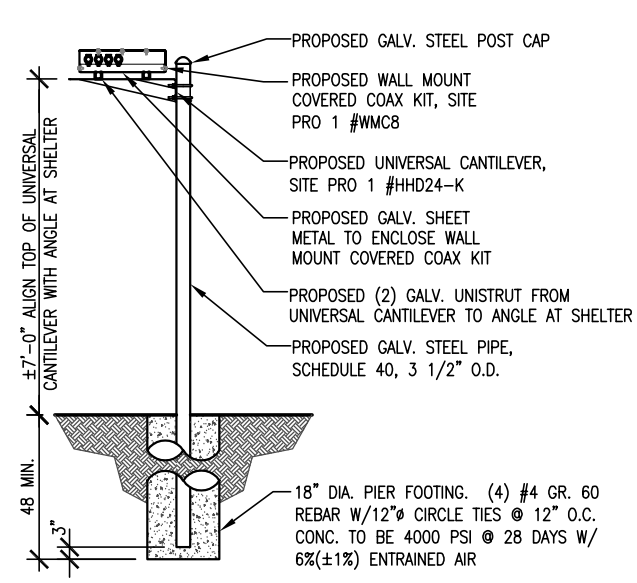
1 HORIZONTAL CABLE RUN
SCALE: 1" = 1'-0"



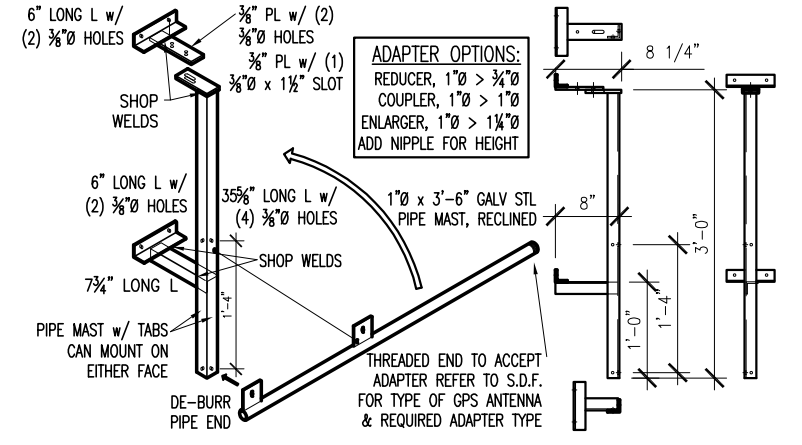
2 VERTICAL CABLE RUN
SCALE: 1" = 1'-0"



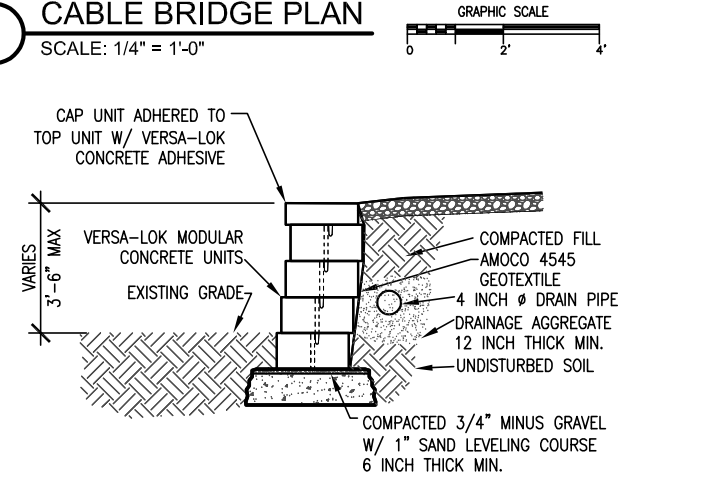
3 CABLE BRIDGE PLAN
SCALE: 1/4" = 1'-0"



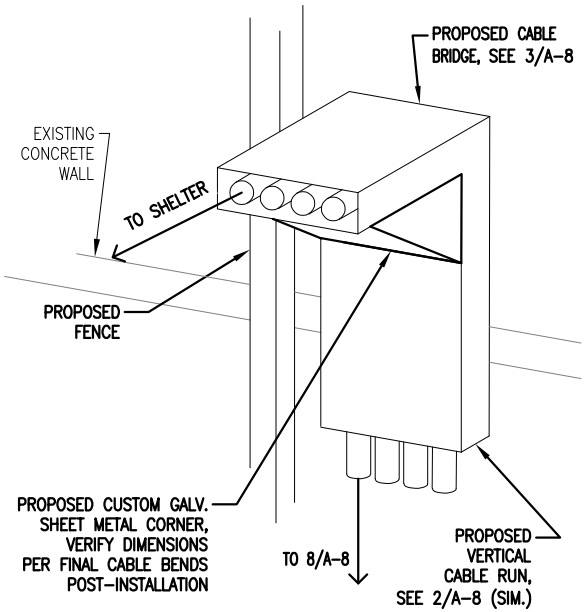
4 CABLE BRIDGE SECTION
SCALE: 1/4" = 1'-0"



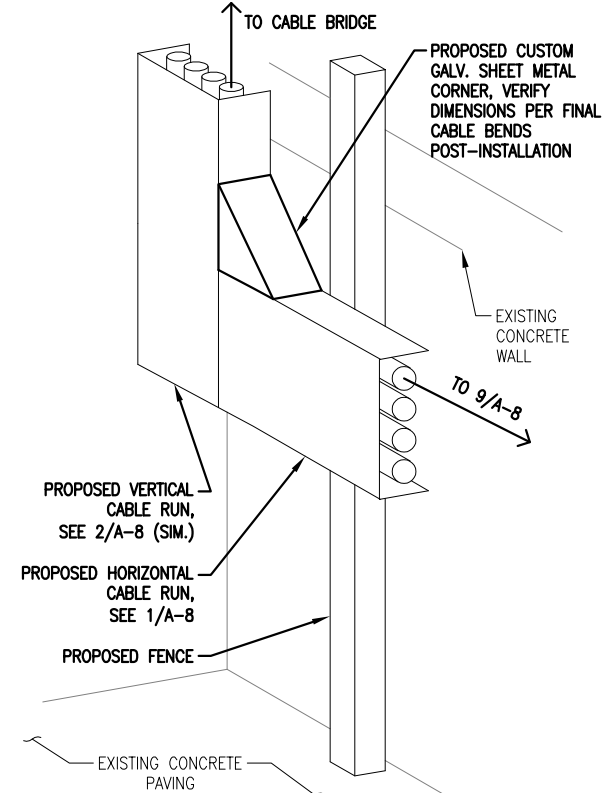
5 GPS MOUNTING DETAIL
SCALE: 1/2" = 1'-0"



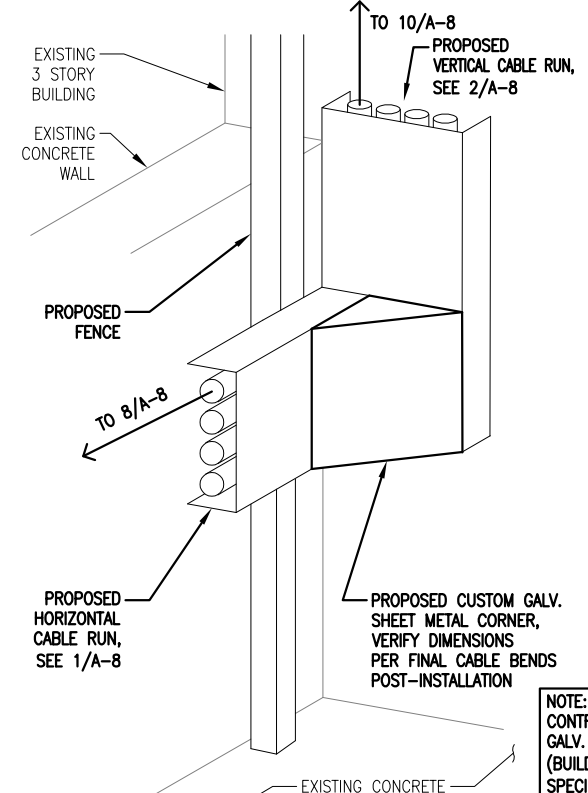
6 RETAINING WALL DETAIL
SCALE: 3/8" = 1'-0"



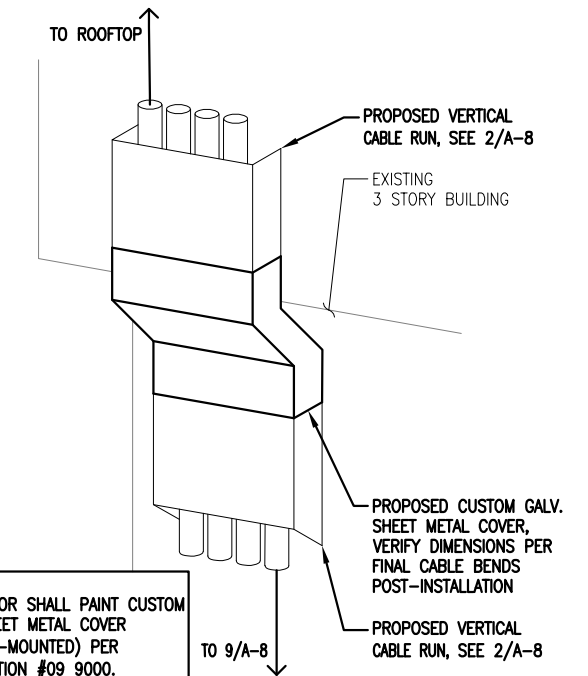
7 CABLE CORNER ISOMETRIC
SCALE: NONE



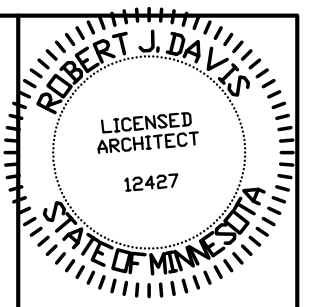
8 CABLE CORNER ISOMETRIC
SCALE: NONE



9 CABLE CORNER ISOMETRIC
SCALE: NONE



10 CABLE COVER ISOMETRIC
SCALE: NONE



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the State of Minnesota. ROBERT J. DAVIS, Reg. No. 12427

Signed: *Robert J. Davis*
Date: 12-28-17

DESIGN 1
9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

verizon
10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

PROJECT
20151187518
LOCATION CODE: 380007

MINC
STRAWBERRY

1000 SUPERIOR BLVD
WAYZATA, MN 55391

SHEET CONTENTS:
MISCELLANEOUS DETAILS

DRAWN BY:	DJS
DATE:	04-07-15
CHECKED BY:	MJS
REV. A	06-10-16
REV. B	07-26-16
REV. C	12-16-16
REV. D	01-09-17
REV. E	12-28-17



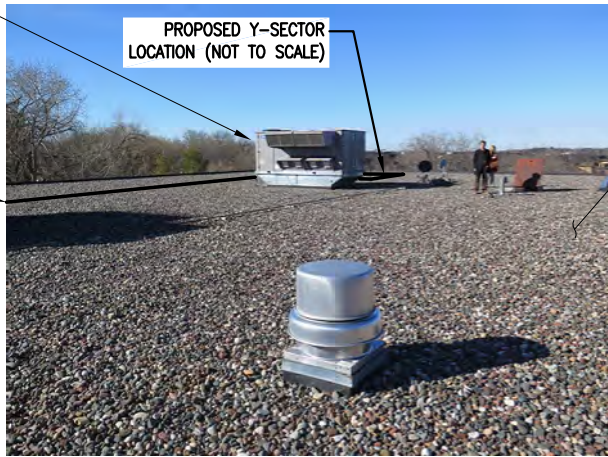
ROOFTOP ACCESS

1 ROOF LEVEL PHOTO
SCALE: NONE



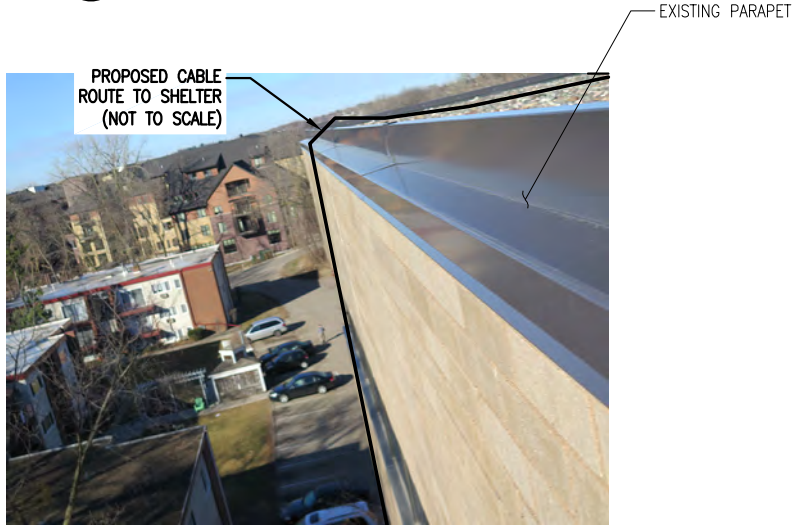
SOUTHEAST CORNER

2 ROOF LEVEL PHOTO
SCALE: NONE



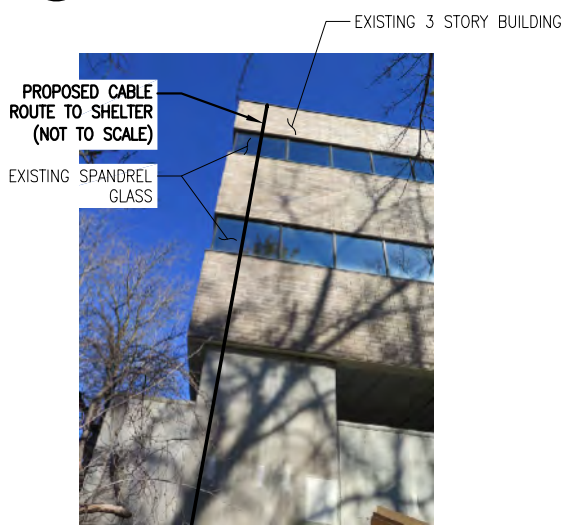
SOUTHWEST CORNER

3 ROOF LEVEL PHOTO
SCALE: NONE



SOUTHWEST CORNER

4 ROOF LEVEL PHOTO
SCALE: NONE



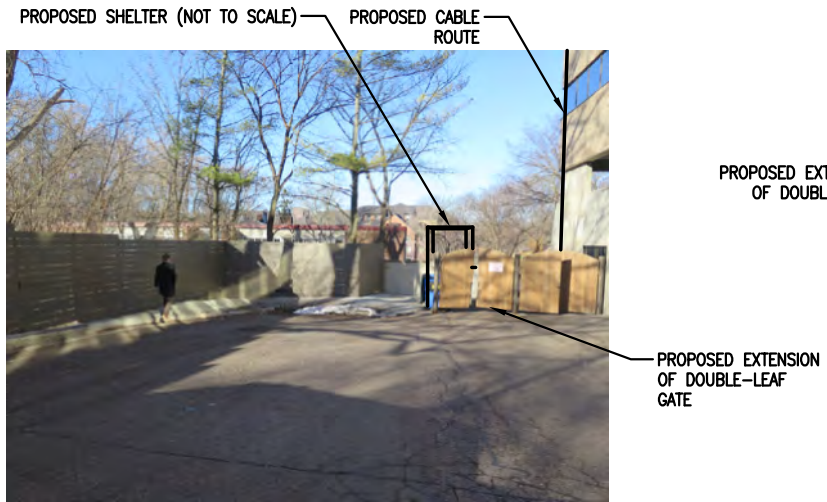
SOUTHWEST CORNER

5 GRADE LEVEL PHOTO
SCALE: NONE



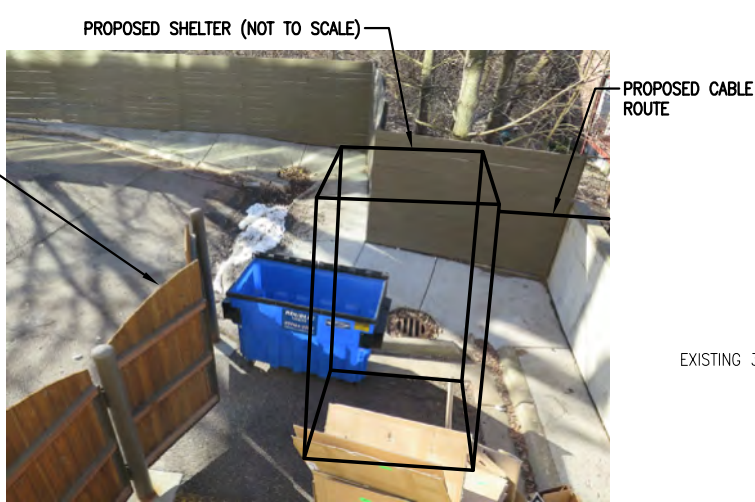
SOUTHEAST CORNER

6 GRADE LEVEL PHOTO
SCALE: NONE



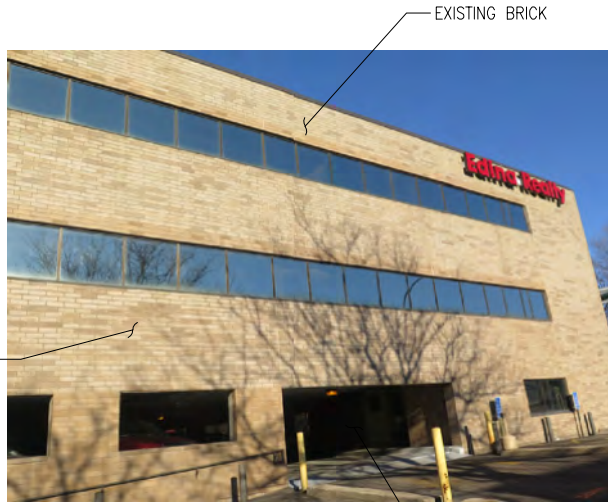
SOUTH OF BUILDING, FACING WEST

7 GRADE LEVEL PHOTO
SCALE: NONE



FACING SOUTH FROM BUILDING

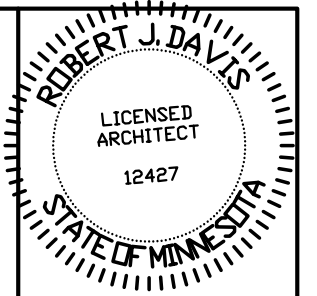
8 GRADE LEVEL PHOTO
SCALE: NONE



EAST END

EXISTING VEHICULAR ACCESS (ENTRANCE)

9 GRADE LEVEL PHOTO
SCALE: NONE



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the State of Minnesota. ROBERT J. DAVIS, Reg. No. 12427

Signed: *Robert J. Davis*
Date: 12-28-17

DESIGN1
9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

verizon
10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

PROJECT
20151187518
LOCATION CODE: 380007

**MINC
STRAWBERRY**

1000 SUPERIOR BLVD
WAYZATA, MN 55391

SHEET CONTENTS:
MISCELLANEOUS PHOTOS

DRAWN BY:	DJS
DATE:	04-07-15
CHECKED BY:	MJS
REV. A	06-10-16
REV. B	07-26-16
REV. C	12-16-16
REV. D	01-09-17
REV. E	12-28-17

A-9

GENERAL CONDITIONS 00 0001 PERMITS Construction Permit shall be acquired by, or in the name of, Verizon Wireless, to be hereinafter referred to as the OWNER. Other permits shall be acquired by the Contractor. 00 0002 SURVEY FEES Survey shall be furnished by the Architect. Layout Staking shall be coordinated with the Surveyor per "Request For Quote", (RFQ). 01 0010 INSURANCE & BONDS Contractor is to furnish Insurance certificates for themselves and subcontractors. Contractor will provide any required Bonding. Contractor agrees to warranty the project for (1) one year after completion. 01 0400 SUPERVISION & COORDINATION Contractor shall provide supervision throughout the Project, coordinating the work of the Subcontractors, and delivery & installation of Owner–furnished items. Contractor’s responsibilities include arranging & conducting of Underground Utilities Locates. Contractor shall comply with municipal, county, state and/or federal codes, including OSHA. 01 0600 TESTING Contractor is responsible for providing Agencies with sufficient notice to arrange for Test Samples (i.e.: Concrete Cylinders), and for Special Inspections. 01 2000 MEETINGS Contractor shall make themselves aware of, and attend, meetings with the Owner and/or Architect. Contractor is to attend a Pre–Construction Meeting of all parties involved, prior to the start of construction. 01 5100 TEMPORARY UTILITIES Contractor shall maintain the job site in a clean and orderly fashion, providing temporary sanitary facilities, waste disposal, and security (fence area or trailer module). 01 5300 EQUIPMENT RENTAL Contractor shall furnish equipment necessary to expedite work. 01 5900 FIELD OFFICES & SHEDS Contractor shall provide security (fence area or trailer module) for tools and materials that remain overnight on site. 01 7000 CLEAN UP & CLOSE OUT Contractor shall clean up the Site to the satisfaction of Owner. Contractor shall complete the items listed on the Owner’s Punch List, and shall sign and return the List to the Owner. Contractor shall maintain a set of drawings during the job, on which changes shall be noted in red ink. A full set of redlined drawings (As–Builts) are to be given to the Architect at Job completion and submit "construction work complete memo" to Construction Engineer. 01 8000 TRUCKS & MILEAGE Contractor shall provide transportation for their own personnel. 01 8300 TRAVEL TIME & PER DIEM Contractor shall provide room and board for their own personnel, and reasonable time for traveling to & from job site. 01 9200 TAXES Contractor shall pay sales and/or use tax on materials and taxable services. SITework 02 1000 SITE PREPARATION & DEMOLITION Contractor is to mobilize within 7 calendar days of the Owner issuing a 'START' document. Contractor will immediately report to Architect if any environmental considerations arise. Demolition shall be as indicated on the Drawings and includes concrete & bituminous removal to complete the Scope of Work. Tree removal shall include stumps, complete disposal of vegetative matter & stump voids backfilled/compacted with adequate soils. Excess material to be disposed of in accordance with RFQ. 02 2000 EARTHWORK & EXCAVATION Excavation material shall be used for surface grading as necessary; excess to be stockpiled on site. Excess material to be disposed of in accordance with RFQ. For dewatering excavated areas, contractor shall utilize sock or sediment filter for filtering of water discharge. 02 5000 PAVING & SURFACING Contractor shall replace all bituminous paving, concrete curb and concrete paving disturbed during the Scope of Work and retain existing grading of paving elements to existing storm sewers. Contractor shall protect existing paving elements (parking lots, sidewalks, etc.) that are not in the Scope of Work. Damage resulting from disregard of this Article shall be compensated by the Responsible Party and at a cost to be determined by the Lessor, Architect, and Owner. 02 7800 POWER TO SITE Contractor shall coordinate the electrical service to the shelter with the Utility Provider. Conduits shall include pull strings. Underground conduits shall be 3" gray duct, Cable to be 3/0 THWN CU. Trenches shall be backfilled in a timely fashion, using a compactor, and including detectable ribbons at 3" and 15" above conduit. Service shall be as per drawings. Service type shall be "General Time–Of–Day" if available, and meter base shall be approved by utility provider. 02 7900 TELCO TO SITE Contractor shall provide 3" orange duct with 'large sweep' elbows & pull string for TELCO service as noted on plans. Cable to be fiber optic lines, source and provider T.B.D. Trenches shall be as in 02 7800. 02 8000 SITE IMPROVEMENTS Areas as indicated on the Drawings shall receive polyethylene geotextile, 200 mesh woven, topped with 3" deep 3/4" to 1–1/2" clean rock (no fines), raked smooth. 02 8001 FENCE & GATE Contractor shall provide materials and labor for proposed wood fencing/proposed repairs to existing wood fencing as indicated on the drawings. All fence work shall match existing fence in style, pattern and color. Contractor shall provide materials and labor for proposed gate replacement as indicated on the drawings. Gate replacement shall include new pickets and structure extension, existing gate structure and hinge assembly to remain. All gate work shall match existing gate in materials, style and color. 02 9000 LANDSCAPING Contractor shall provide and plant proposed trees of the type, size and in locations as indicated in the Drawings. Tree planting shall have an excavation minimum 12" larger than ball diameter, ground line to be the same as existed at the nursery, backfilled with top soil and peat moss (9:1 ratio) and staked in two (2) axes. Contractor to restore turf areas damaged by construction by preparing soil and seeding. Tree and grass watering shall be provided by the Contractor to maintain survival of vegetation for one (1) year. Contractor shall protect existing landscape elements that are not in the Scope of Work. Reasonable precautions shall be taken to assure the health of existing trees and shrubbery. If conflicts arise regarding the location of root systems, branch lines, etc., the Architect must be contacted prior to performing Work that may cause damage. Damage resulting from disregard of this Article shall be compensated by the Responsible Party and at a cost to be determined by the Lessor, Architect, and Owner. CONCRETE 03 1000 CONCRETE FORMWORK Concrete forms shall be dimension lumber, modular, or steel. 03 9000 CONCRETE WORK Contractor shall furnish & install concrete as indicated on the Drawings. Concrete shall be 6% ±1% air entrained, and 4,000 psi at 28 days. All reinforcing steel is to be Grade 60 (ASTM 615). Anchor bolts are furnished by Contractor. Contractor shall comply with the Owner’s Standard CONSTRUCTION SPECIFICATIONS MINIMUM CONCRETE STANDARDS. MASONRY N/A METALS 05 0000 METALS Contractor will furnish and install miscellaneous architectural metals as indicated on the drawings. Structural metal items shall be as specified in the Structural Drawings. WOOD & PLASTICS 06 1000 WOOD Proposed wood fence/gate shall be as in 02 8001. THERMAL & MOISTURE 07 2000 INSULATION Proposed structural thermal breaks, as indicated in the Drawings, shall be a fiberglass–reinforced laminate composite "Thermal Insulation Material (T.I.M.)" as manufactured by Fabreeka International, Inc. Telephone: (800) 322–7352. E–mail: info@fabreeka.com. Proposed insulation infill, as part of the roof assembly, shall be as in 07 5000. 07 5000 MEMBRANE ROOFING Contractor to verify with building owner the name of the existing roofing manufacturer, coordinate with the roofing contractor to provide required insulation and flashing at all penetrations using roofing manufacturer warranty approved details and materials, if applicable. Existing roofing shall be protected against damage during this work, and any damage that may occur shall be repaired or by replaced by roofing contractor. 07 6000 SHEET METAL Contractor shall furnish and install custom sheet metal fabrications as indicated in the drawings. Metal fabrications shall be a minimum of 16ga galvanized sheet. Proposed flashings, as part of the roof assembly, shall be as in 07 5000. 07 7920 JOINT SEALERS Caulking/Sealing required on all exterior wall penetrations. 100% silicone, Dow Corning 795 Silicone building sealant or equal. DOORS AND HARDWARE 08 0000 DOORS AND HARDWARE By Enviro–Shelter Manufacturer. FINISHES 09 5700 FLOOR COVERING By Enviro–Shelter Manufacturer. 09 9000 PAINTING Contractor shall provide materials and labor for all painting indicated in the architectural documents and shall touch–up construction related scrapes & scratches with appropriate paint. All painting shall exclude identification tags, labels and mounting hardware. Contractor to field verify finish coat colors/sheens and select appropriate swatches corresponding to the colors of the elements described below. Contractor to obtain Lessor and VzW Construction Engineer approvals of all swatches prior to application of paint: - Galvanized Metals, to be prepared to SSPC SP–7 Brush–off Blast Cleaning, shop primed with Tnemec Series 66 Hi–Buil Epoxoline DFT 3.0 – 5.0 mils and finished with Tnemec Series 1075 Endura–Shield DFT 2.0 – 3.0 mils and Total DFT of 5.0 – 8.0 mils. - Bollards – Finish coat shall match existing adjacent gate posts. - Vertical Covered Coax Kit, building–mounted – Finish coat shall match existing flashing on building. - Custom Sheet Metal Cover, building–mounted – Finish coat shall match existing flashing on building. - Wood fence assembly, to be prepared and primed to coating Manufacturer’s specification and finished with appropriate coating. Field verify solid color stain or paint as necessary for aesthetic match. - Fence – Finish coat shall match existing adjacent wood fence. - Wood gate pickets, to be prepared and primed to coating Manufacturer’s specification and finished with appropriate coating, if applicable. Field verify presence of clear coat as necessary for aesthetic match. - Gate – Finish coat shall match existing adjacent gate. SPECIAL CONSTRUCTION 13 1260 CABLE BRIDGE Contractor shall furnish and install per architectural drawings. 13 1400 ANTENNA INSTALL Contractor shall install Owner’s antennas and feed lines. Contractor shall sweep coax lines for continuity per Verizon Wireless standards. 13 3000 ANTENNA CONCEALMENT SCREEN Contractor shall furnish & install Radio Frequency (RF) Transparent Screen Assembly. Screen Assembly shall be a panelized Fiberscreen (TM) system as designed and manufactured by Peabody Engineering Inc. Peabody drawings of the approved screen assembly design (Site/Location #380007) are included in this package for reference. 13 3423 TRANSPORT & ERECT SHELTER Enviro–Building is a panelized system manufactured by Enviro–Buildings Inc. Drawings of the shelter are included in this package for reference. The shelter is to be supplied by Verizon. The shelter shall be ordered in stucco embossed steel, color White. Contractor shall provide crane(s) and/or truck for transporting, setting and erecting the Prefabricated Equipment Shelter per RFQ. Contractor shall install all items shipped loose with the shelter including, but not limited to, the following: Floor, wall and roof/ceiling panels Roofing assembly Floor/base and entry panel assembly Door/hardware HVAC system 13 3613 TRANSPORT AND INSTALLATION/ANTENNA MOUNTS Contractor shall schedule delivery of Owner–furnished Materials, and provide means for unloading and erecting. Contractor shall provide crane(s) and/or truck for setting antenna frames/mounts per RFQ. Contractor to furnish and install antenna mounts. MECHANICAL 15 5000 HVAC Contractor shall furnish, install, test and start one (1) unit as specified in the Electrical Drawings. Control wiring shall be installed in conduit, and connected to lead–lag thermostat, smoke detectors and alarms as shown on drawings. ELECTRIC 16 5000 LIGHTING AND ELECTRICAL Contractor shall perform work as described on the Electrical Plans. Contractor shall provide labor and materials as necessary to complete the work shown on plans. 16 6000 GROUNDING Contractor shall make themselves familiar with and follow the current GROUNDING STANDARDS of VERIZON WIRELESS. Contractor shall perform work as shown on Grounding Plans. Any site–specific grounding issues not covered by the GROUNDING STANDARD are to be addressed by the Contractor to the Owner. OWNER–FURNISHED EQUIPMENT & FEES: ENVIRO–BUILDING (PREFABRICATED PANELIZED SYSTEM) COAX/CABLES ANTENNAS AND DOWNTILT BRACKETS ANTENNA EQUIPMENT GPS BUILDING PERMIT FEE MATERIALS TESTING FEES SPECIAL INSPECTIONS FEES RF BARRIERS & SIGNAGE CONTRACTOR–FURNISHED EQUIPMENT: POWER TO SITE TELCO TO SITE SHELTER FOUNDATION PAD ANTENNA FRAMING ASSEMBLY RF SCREEN ASSEMBLY ANTENNA MOUNTING DEVICES/HARDWARE CONNECTORS, BOOTS, RELATED HARDWARE GPS MOUNTING ASSEMBLY GROUNDING MATERIALS CABLE MOUNTING DEVICES ROOFTOP/WALL–MOUNT COAX KITS SIGNAGE WOOD FENCING TREES & LANDSCAPING ROCK SCOPE OF WORK: CONTRACTOR SHALL PROVIDE MATERIALS, LABOR, TOOLS, TRANSPORTATION, SUPERVISION, ETC. TO FULLY EXECUTE WORK. WORK REQUIREMENTS ARE DETAILED ON THE DRAWINGS AND SPECIFICATIONS AND SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING ITEMS: ELECTRICAL SERVICE TELEPHONE SERVICE ROUTING OF GROUND, POWER, FIBER AND ALARM ENVIRO–SHELTER, ASSEMBLY & INSTALLATION OF ACCESSORIES SHELTER FOUNDATIONS PAD ANTENNA FRAME/CONCEALMENT ASSEMBLY SET ANTENNAS SITE PREPARATION SITE WORK SITE GROUNDING INSTALL RF BARRIERS & SIGNAGE Contractor to compare drawings against Owner’s "Request for Quote", (RFQ). If discrepancies arise, Contractor shall verify with Owner that the RFQ supersedes the drawings. <tr><td colspan="2"> ROBERT J. DAVIS LICENSED ARCHITECT 12427 STATE OF MINNESOTA I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the State of Minnesota. ROBERT J. DAVIS, Reg. No. 12427 Signed: 12-28-17 Date: DESIGN1 9973 VALLEY VIEW RD. EDEN PRAIRIE, MN 55344 (952) 903-9299 WWW.DESIGN1EP.COM verizon 10801 BUSH LAKE ROAD BLOOMINGTON, MN 55438 (612) 720-0052 PROJECT 20151187518 LOCATION CODE: 380007 MINC STRAWBERRY 1000 SUPERIOR BLVD WAYZATA, MN 55391 SHEET CONTENTS: SPECIFICATIONS DRAWN BY: DJS DATE: 04-07-15 CHECKED BY: MJS REV. A 06-10-16 REV. B 07-26-16 REV. C 12-16-16 REV. D 01-09-17 REV. E 12-28-17 A-10 </td></tr>		ROBERT J. DAVIS LICENSED ARCHITECT 12427 STATE OF MINNESOTA I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the State of Minnesota. ROBERT J. DAVIS, Reg. No. 12427 Signed: 12-28-17 Date: DESIGN1 9973 VALLEY VIEW RD. EDEN PRAIRIE, MN 55344 (952) 903-9299 WWW.DESIGN1EP.COM verizon 10801 BUSH LAKE ROAD BLOOMINGTON, MN 55438 (612) 720-0052 PROJECT 20151187518 LOCATION CODE: 380007 MINC STRAWBERRY 1000 SUPERIOR BLVD WAYZATA, MN 55391 SHEET CONTENTS: SPECIFICATIONS DRAWN BY: DJS DATE: 04-07-15 CHECKED BY: MJS REV. A 06-10-16 REV. B 07-26-16 REV. C 12-16-16 REV. D 01-09-17 REV. E 12-28-17 A-10	
ROBERT J. DAVIS LICENSED ARCHITECT 12427 STATE OF MINNESOTA I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the State of Minnesota. ROBERT J. DAVIS, Reg. No. 12427 Signed: 12-28-17 Date: DESIGN1 9973 VALLEY VIEW RD. EDEN PRAIRIE, MN 55344 (952) 903-9299 WWW.DESIGN1EP.COM verizon 10801 BUSH LAKE ROAD BLOOMINGTON, MN 55438 (612) 720-0052 PROJECT 20151187518 LOCATION CODE: 380007 MINC STRAWBERRY 1000 SUPERIOR BLVD WAYZATA, MN 55391 SHEET CONTENTS: SPECIFICATIONS DRAWN BY: DJS DATE: 04-07-15 CHECKED BY: MJS REV. A 06-10-16 REV. B 07-26-16 REV. C 12-16-16 REV. D 01-09-17 REV. E 12-28-17 A-10			

- GENERAL STRUCTURAL NOTES
1. BUILDING CODES USED FOR DESIGN:

a. MINNESOTA BUILDING CODE, 2015 EDITION. (IBC 2012)

2. DESIGN CRITERIA:

a. WIND LOAD CRITERIA:

BASIC WIND SPEED	(ULTIMATE)	V = 115 MPH (ULT.)
WIND LOAD IMPORTANCE FACTOR I	= 1.0	
WIND LOAD EXPOSURE	C	
WIND TOPOGRAPHIC FACTOR	Kzt = 1.0	
INTERNAL PRESSURE COEFFICIENT	GCPi = 0.18 (ENCLOSED)	

b. SNOW LOAD CRITERIA:

GROUND SNOW LOAD	Pg = 50 PSF
SNOW IMPORTANCE FACTOR	Is = 1.0
SNOW EXPOSURE FACTOR	Ce = 1.0
SLOPED ROOF/FLAT ROOF FACTOR	Cs = 1.0
ROOF THERMAL FACTOR	Ct = 1.0
ROOF SNOW LOAD	Ps = Pg(0.7)(Is)(Ce)(Cs)(Ct) = 35 PSF

3. DESIGN STRESSES:

a. NON-SHRINK GROUT

f_c = 10,000 PSI (@28 DAYS)

b. STRUCTURAL STEEL

i. WIDE FLANGE SHAPES

Fy = 50 KSI ASTM A992

ii. ALL OTHER SHAPES

Fy = 36 KSI ASTM A36

c. STRUCTURAL TUBING

Fy = 46 KSI ASTM A500 GR. B

d. STANDARD STEEL PIPE

Fy = 35 KSI ASTM A53 GR. B

e. PLATES

Fy = 36 KSI ASTM A36

f. BOLTS

Fu = 120 KSI ASTM A325

g. ANCHOR BOLTS

Fy = 36 KSI ASTM F1554 UNO

h. WELD ELECTRODE

Fu = 70 KSI

i. WELDED WIRE FABRIC

ASTM A185

4. CONCRETE:

a. CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301.

b. COMPLY WITH ACI 304 FOR MEASURING, MIXING, TRANSPORTING, AND PLACING CONCRETE.

c. COMPLY WITH ACI 305 FOR HOT WEATHER CONCRETING.

d. COMPLY WITH ACI 306 FOR COLD WEATHER CONCRETING.

e. UNLESS SPECIFIED OTHERWISE, CONCRETE MUST REACH THE FOLLOWING PERCENTAGES OF ITS 28 DAY COMPRESSIVE STRENGTH (f_c) BEFORE FORMS MAY BE REMOVED:

i. WALLS, COLUMNS AND BEAM SIDES

40 PERCENT

ii. JOIST PANS AND BEAM BOTTOMS

70 PERCENT

iii. FLOOR SYSTEMS

80 PERCENT

5. STRUCTURAL STEEL:

a. FABRICATION & ERECTION OF STRUCTURAL STEEL MEMBERS ARE TO BE IN ACCORDANCE WITH A.I.S.C. CODE OF STANDARD PRACTICE.

b. ALL CONNECTIONS SHALL BE BOLTED OR WELDED. EACH CONNECTION SHALL BE ADEQUATE TO SUPPORT ONE HALF THE TOTAL UNIFORM LOAD CAPACITY OF THE BEAM, UNLESS NOTED OTHERWISE ON THE PLANS. BOLTED CONNECTIONS SHALL HAVE A MINIMUM OF TWO BOLTS.

c. ALL WELDING SHALL BE BY QUALIFIED WELDERS AND SHALL CONFORM TO THE STANDARDS OF THE AMERICAN WELDING SOCIETY, D1.1-STRUCTURAL WELDING CODE - STEEL. WELDING OF GALVANIZED PARTS IS NOT PERMITTED.

d. ELECTRODES FOR ALL FIELD AND SHOP WELDING SHALL CONFORM TO MATCHING FILLER METAL REQUIREMENTS OF AWS D1.1.

e. FIELD CONNECTIONS ARE TO BE BOLTED. USE ¾" DIAM. HIGH STRENGTH BOLTS AND NUTS (A325) UNLESS SHOWN OTHERWISE ON PLANS.

f. STEEL COLUMN BASE PLATES SHALL BE SIZE SHOWN ON PLAN WITH (F1554 GRADE 36) ANCHOR BOLTS AND 1" NON-SHRINK GROUT FOR UNIFORM BEARING, UNLESS NOTED OTHERWISE ON THE PLANS.

g. ALL INTERIOR STRUCTURAL STEEL AND MISCELLANEOUS METALS SHALL BE PRIME PAINTED WITH ONE COAT OF TNEMEC #99 PRIMER OR EQUAL. TOUCH UP ALL DISTURBED AREAS AFTER ERECTION.

h. CUTS, HOLES (OPENINGS), ETC. REQUIRED IN STRUCTURAL STEEL MEMBERS FOR THE WORK OF OTHER TRADES SHALL NOT BE ALLOWED, EXCEPT BY WRITTEN PERMISSION FROM THE ENGINEER.

i. ALL EXTERIOR STRUCTURAL STEEL, MISCELLANEOUS METALS, BAR GRATING AND HARDWARE SHALL BE HOT-DIPPED GALVANIZED IN CONFORMANCE WITH ASTM A153 AND ASTM A123.

j. WELDING OF GALVANIZED MATERIALS IS NOT ALLOWED. REMOVE GALVANIZING BEFORE FIELD WELDING. WELDS SHALL BE SPRAYED WITH ZINC RICH PAINT.

k. GROUT UNDER BEAM BEARING PLATES AND COLUMN BASE PLATES SHALL BE "NON-SHRINK" AND SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 10,000 PSI.

l. EXISTING STEEL FRAMING TO BE WELDED TO, SHALL HAVE PAINT, RUST, OIL, AND OTHER CONTAMINANTS REMOVED TO BASE MATERIAL WITHIN 2" OF WELDED AREA.

6. DRILLED ANCHORS:

a. ALL EXPANSION BOLTS SHALL BE HILTI "KWIK-BOLT TZ'S", SIMPSON "WEDGE-ALL" OR RAMSET/REDHEAD "TRUBOLT", UNLESS NOTED OTHERWISE ON THE DRAWINGS.

b. ADHESIVE ANCHORAGE FOR DRILLED REBAR DOWELS SHALL BE HILTI "HIT-HY 200 ADHESIVE" OR SIMPSON "EPOXY-TIE" OR SIMPSON "ACRYLIC-TIE", UNLESS NOTED OTHERWISE ON THE DRAWINGS.

7. CONSTRUCTION PROCEDURE:

a. THE STRUCTURE SHALL BE ADEQUATELY BRACED AND SHORED DURING ERECTION AGAINST WIND AND ERECTION LOADS. STRUCTURAL MEMBERS ARE DESIGNED FOR "IN PLACE" LOADS.

b. COMPLY WITH ALL APPLICABLE CITY, COUNTY, STATE AND FEDERAL LAWS, INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) AND REGULATIONS ADOPTED PURSUANT THERETO.

c. THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE NOTED, THEY DO NOT INDICATE THE MEANS OR METHOD OF CONSTRUCTION. PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKMEN OR OTHER PERSONS DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO, BRACING, SHORING FOR CONSTRUCTION EQUIPMENT, SHORING FOR THE BUILDING, SHORING FOR EARTH BANKS, FORMS, SCAFFOLDING, PLANKING, SAFETY NETS, SUPPORT AND BRACING FOR CRANES AND GIN POLES, ETC.

d. ENGAGE PROPERLY QUALIFIED PERSONS TO DETERMINE WHERE AND HOW TEMPORARY PRECAUTIONARY MEASURES SHALL BE USED AND INSPECT SAME IN THE FIELD. OBSERVATION VISITS TO THE SITE BY ENGINEER'S FIELD REPRESENTATIVE SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.

e. SUPERVISE AND DIRECT THE WORK SO AS TO MAINTAIN SOLE RESPONSIBILITY FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. AS A PART OF THIS RESPONSIBILITY, RETAIN THE SERVICES OF A LICENSED STRUCTURAL ENGINEER TO DESIGN AND SUPERVISE ANY SCAFFOLDING FOR WORKMEN, AND ALL SHORING OF FORMS AND ELEMENTS OF THE CONSTRUCTION.

8. MISCELLANEOUS:

a. PLACEMENT OF ANCHOR BOLT, PIPE SLEEVES, PADS AND OPENINGS FOR EQUIPMENT SHALL BE COORDINATED BETWEEN THE GENERAL CONTRACTOR AND THE OTHER SUBCONTRACTORS.

b. ALL CORE DRILLING SHALL BE DONE UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR. NO REINFORCING SHALL BE CUT. VERIFY LOCATION OF REINFORCING BEFORE CORE DRILLING. THERE SHALL NOT BE ANY CORE DRILLING THROUGH BEAMS OR COLUMNS. MAXIMUM CORE HOLE THROUGH SLABS SHALL BE PIPE DIAMETER PLUS 1".

9. COORDINATION WITH ARCHITECTURAL DRAWINGS:

a. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS. WHERE DISCREPANCIES OCCUR, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION.

10. NEW WORK IN CONJUNCTION WITH EXISTING CONSTRUCTION:

a. THE CONTRACTOR SHALL VERIFY, BY FIELD CHECK, ALL SIZES, DIMENSIONS, ELEVATIONS, LOCATIONS, ETC. OF ELEMENTS OF THE EXISTING CONSTRUCTION WHICH ARE RELATIVE TO THE NEW CONSTRUCTION.

b. ALL DIMENSIONS INVOLVING NEW WORK TYING INTO OR GOVERNED BY EXISTING CONSTRUCTION SHALL BE FIELD CHECKED BY THE CONTRACTOR AND FURNISHED TO THE SUBCONTRACTOR PRIOR TO FABRICATION OF ANY WORK. THE VERIFIED DIMENSIONS SHALL APPEAR AND BE NOTED AS SUCH ON THE FIRST SHOP DRAWING SUBMITTED.

c. THE ENGINEER HAS MADE ASSUMPTIONS CONCERNING THE SOUNDNESS OF THE EXISTING BUILDINGS AND THESE ASSUMPTIONS ARE THAT THIS BUILDING WAS DESIGNED AND CONSTRUCTED IN CONFORMITY WITH GOOD DESIGN AND CONSTRUCTION PRACTICES. THE CONTRACTOR SHALL TAKE EXTRAORDINARY PRECAUTIONS CONCERNING PRESERVATION OF THE BUILDING DURING DEMOLITION AND NEW CONSTRUCTION WORK. FURTHER, HE SHALL AGREE TO ASSUME ALL RESPONSIBILITY FOR THE PRESERVATION OF THIS PROPERTY.

d. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY OF ANY DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS AND ACTUAL FIELD CONDITIONS.

e. ALL HOLES THROUGH EXISTING CONCRETE OR MASONRY CONSTRUCTION SHALL BE CORE DRILLED OR SAW CUT. NEW OPENINGS MUST BE MADE WITH ENGINEER'S APPROVAL.

f. CUTTING OF EXISTING STRUCTURAL STEEL IS PROHIBITED WITHOUT APPROVAL FROM THE ENGINEER.

11. SHOP DRAWINGS:

a. SHOP DRAWINGS, UNLESS OTHERWISE NOTED, SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION.

b. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF THE PROJECT, AND INCLUDE COMPLETE DETAILS, SCHEDULES, PROCEDURES AND DIAGRAMS FOR FABRICATION AND ASSEMBLY OF STRUCTURAL MEMBERS.

c. FABRICATORS SHALL DRAW THEIR OWN ERECTION PLANS. COPYING THE STRUCTURAL PLANS AND USING THEM AS ERECTION DRAWINGS IS NOT ACCEPTABLE.

d. PRIOR TO SUBMITTAL, THE CONTRACTOR SHALL REVIEW THE SHOP DRAWINGS AND MAKE ANY CORRECTIONS REQUIRED. THE CONTRACTOR SHALL STAMP AND SIGN THE DRAWINGS AS EVIDENCE THAT HE HAS REVIEWED THEM.

e. SHOP DRAWINGS SHALL BE FURNISHED FOR ALL STRUCTURAL COMPONENTS.

f. TURN AROUND TIME FOR SHOP DRAWINGS SHALL BE TWO WEEKS FROM DATE RECEIVED IN THE ENGINEER'S OFFICE.

12. SPECIAL INSPECTIONS:

SPECIAL INSPECTIONS SHALL BE PROVIDED IN ACCORDANCE WITH IBC CHAPTER 17. THE SPECIAL INSPECTOR SHALL BE EMPLOYED BY THE OWNER, SHALL BE THOROUGHLY KNOWLEDGEABLE OF IBC SPECIAL INSPECTION REQUIREMENTS AND SHALL DEMONSTRATE COMPETENCE TO THE SATISFACTION OF THE BUILDING OFFICIAL (IBC 1704). THE CONTRACTOR SHALL CONTACT THE SPECIAL INSPECTOR DURING APPROPRIATE PHASES OF CONSTRUCTION SO THAT INSPECTIONS CAN BE MADE IN A TIMELY MANNER. THE SPECIAL INSPECTOR SHALL SUBMIT WRITTEN INSPECTION REPORTS TO THE ENGINEER OF RECORD'S OFFICE, WITHIN 3 WORKING DAYS OF EACH INSPECTION. ANY PROBLEMS SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR. THE FOLLOWING ITEMS WILL REQUIRE SPECIAL INSPECTION:

a. STEEL

i. SPECIAL INSPECTIONS MAY NOT BE REQUIRED FOR WORK DONE IN AN APPROVED FABRICATING SHOP. THE STEEL FABRICATOR MUST BE REGISTERED AND APPROVED BY THE BUILDING OFFICIAL TO PERFORM THE WORK WITHOUT SPECIAL INSPECTIONS. SPECIAL INSPECTION FOR STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE QUALITY ASSURANCE INSPECTION REQUIREMENTS OF AISC 360 (IBC 1705.2.1).

ii. HIGH STRENGTH BOLTING: CONTINUOUS INSPECTIONS ARE REQUIRED FOR SLIP-CRITICAL CONNECTIONS. PERIODIC INSPECTIONS ARE REQUIRED FOR BEARING-TYPE CONNECTIONS.

iii. FIELD WELDING: CONTINUOUS INSPECTIONS ARE REQUIRED FOR COMPLETE AND PARTIAL PENETRATION GROOVE WELDS, MULTI-PASS FILLET WELDS AND SINGLE-PASS FILLET WELDS GREATER THAN 5/16". PERIODIC INSPECTIONS ARE REQUIRED FOR FLOOR AND ROOF DECK WELDS AND SINGLE-PASS FILLET WELDS SMALLER THAN OR EQUAL TO 5/16". CORRECT WELD FILLER MATERIAL SHALL BE VERIFIED IN ALL CASES.

iv. STEEL ERECTION: PERIODIC INSPECTIONS SHALL BE MADE TO VERIFY COMPLIANCE WITH THE DESIGN DRAWINGS.

v. MATERIALS: THE STEEL MANUFACTURERS CERTIFIED MILL TEST REPORTS SHALL BE SUBMITTED TO THE SPECIAL INSPECTOR OR TO THE ENGINEER OF RECORD.

b. EXPANSION ANCHORS/SLEEVE ANCHORS:

i. CONTINUOUS SPECIAL INSPECTIONS SHALL BE PROVIDED DURING INSTALLATION OF ALL EXPANSION ANCHORS AND SLEEVE ANCHORS TO ENSURE PROPER INSTALLATION PROCEDURES, EMBEDMENT DEPTHS, ETC.

Registration Information :
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Engineer, under the laws of the State of Minnesota.

Signature: 
Name: BRYANT LOEHR
Date: 12/28/17 Reg. No.: 49036

DESIGN1

9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

VERIZON WIRELESS

10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

PROJECT
20151187518
LOCATION CODE: 380007

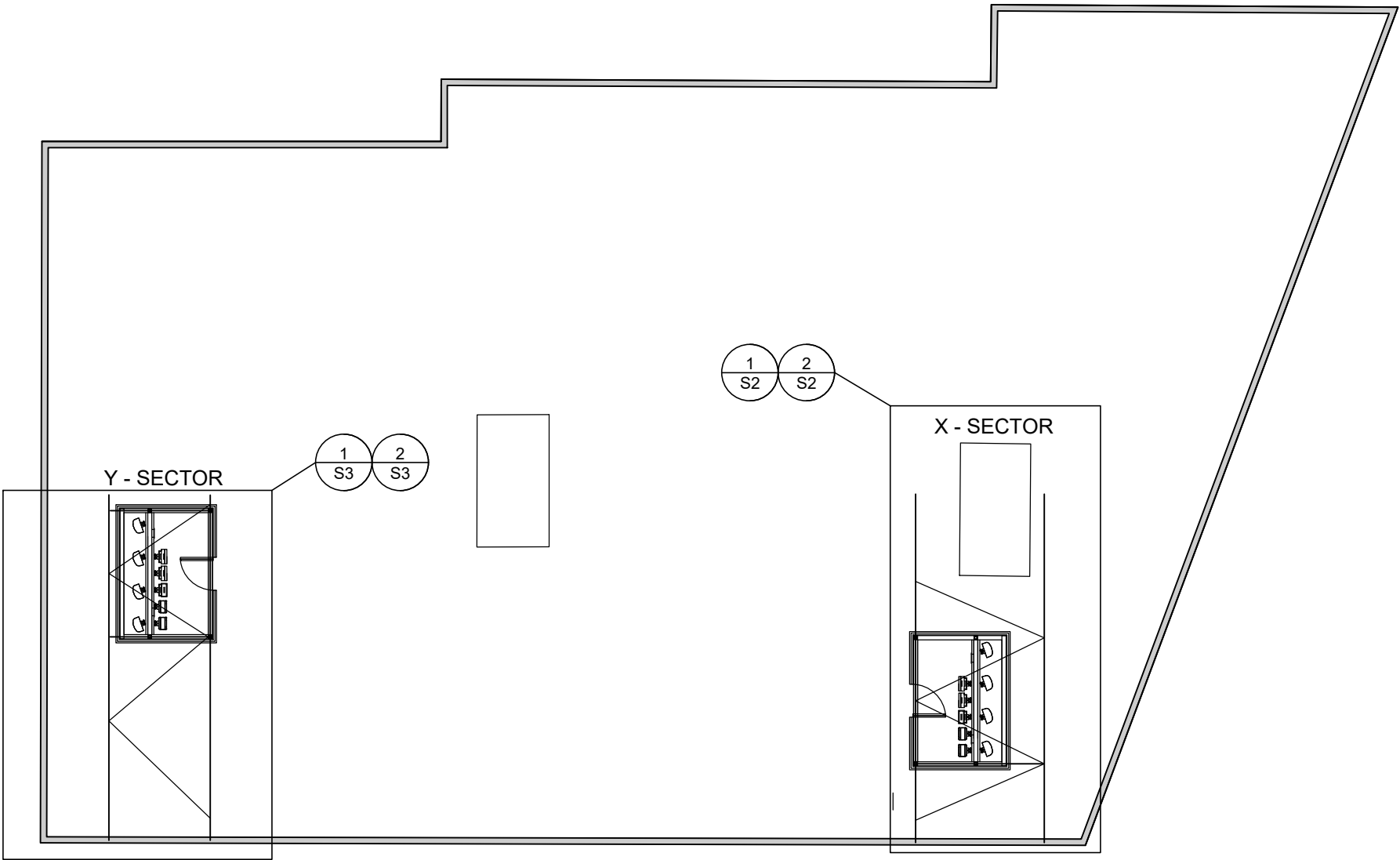
MINC
STRAWBERRY

1000 SUPERIOR BLVD
WAYZATA, MN 55391

SHEET CONTENTS:
GENERAL STRUCTURAL NOTES

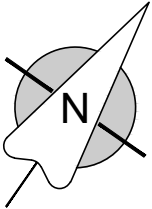
STRUCTURAL #161069	
DRAWN BY:	CL
DATE:	06-30-16
CHECKED BY:	BL
REV. A	06-30-16
REV. B	7-26-16
REV. E	12-28-17

S0



1
S1

ROOF PLAN
1/16"=1'-0"



HERZOG
ENGINEERING LLC

530 North 3rd Street, Suite 230
Minneapolis, MN 55401
(612) 844-1234

Registration Information :
I hereby certify that this plan,
specification or report was prepared
by me or under my direct
supervision and that I am a duly
Licensed Engineer, under the laws
of the State of Minnesota.

Signature:

Name: BRYANT LOEHR

Date: 12/28/17 Reg. No.: 49036

DESIGN
1

9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

VERIZON
WIRELESS

10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

PROJECT
20151187518

LOCATION CODE: 380007

MINC
STRAWBERRY

1000 SUPERIOR BLVD
WAYZATA, MN 55391

SHEET CONTENTS:
GENERAL STRUCTURAL NOTES

STRUCTURAL #161069

DRAWN BY: CL

DATE: 06-30-16

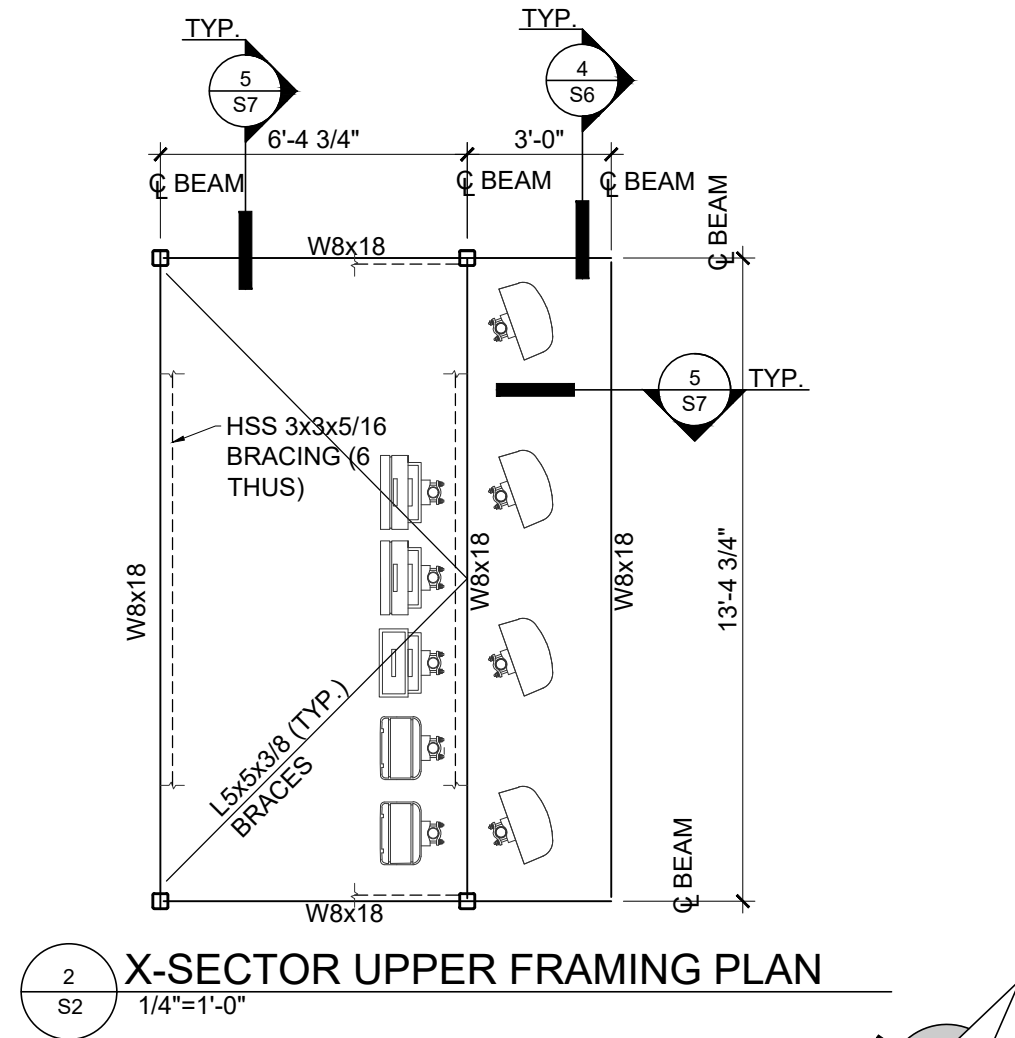
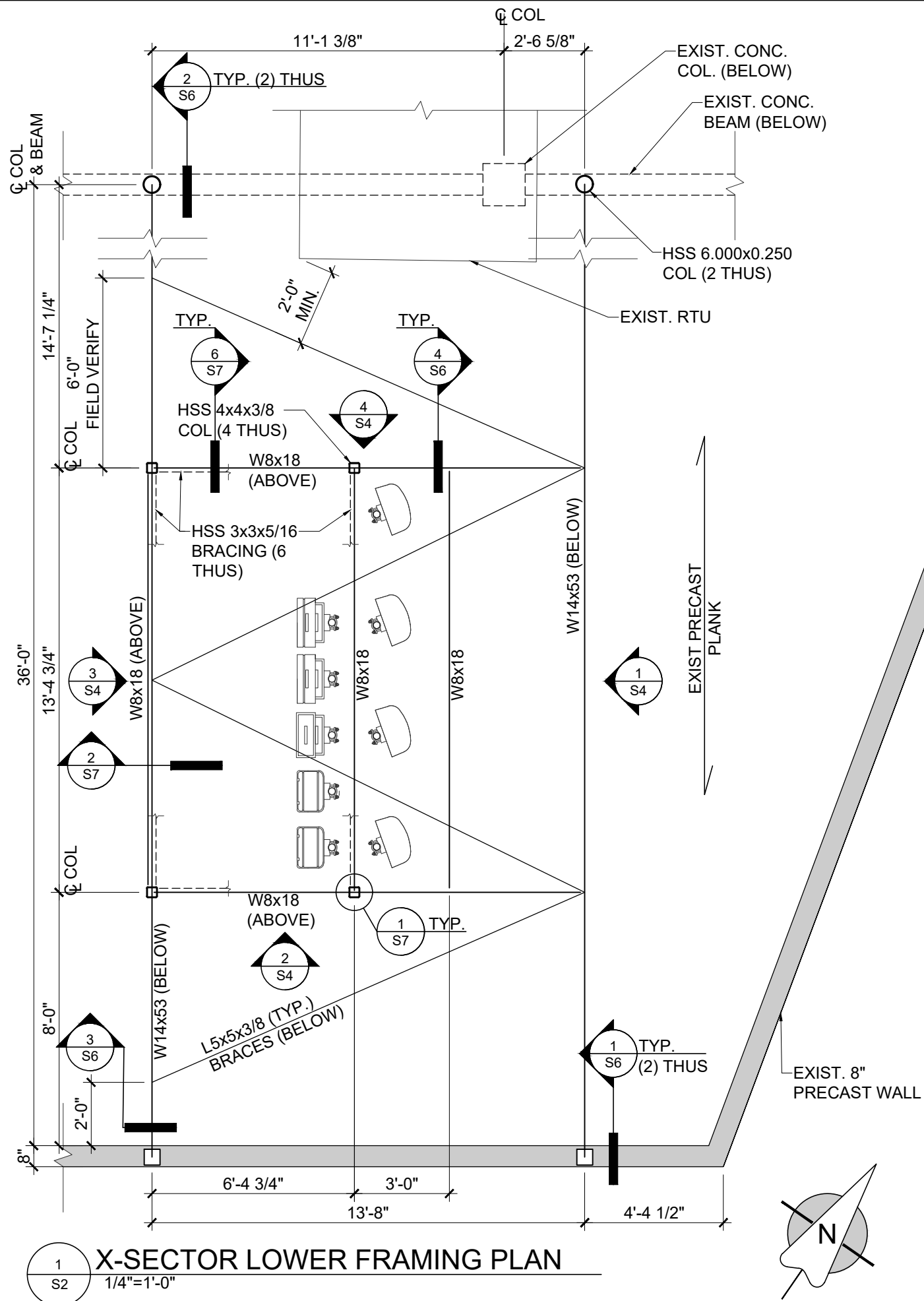
CHECKED BY: BL

REV. A 06-30-16

REV. B 7-26-16

REV. E 12-28-17

S1



Registration Information :
I hereby certify that this plan,
specification or report was prepared
by me or under my direct
supervision and that I am a duly
Licensed Engineer, under the laws
of the State of Minnesota.

Signature: _____
Name: BRYANT LOEHR
Date: 12/28/17 Reg. No.: 49036

DESIGN1

9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

VERIZON
WIRELESS

10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

PROJECT
20151187518
LOCATION CODE: 380007

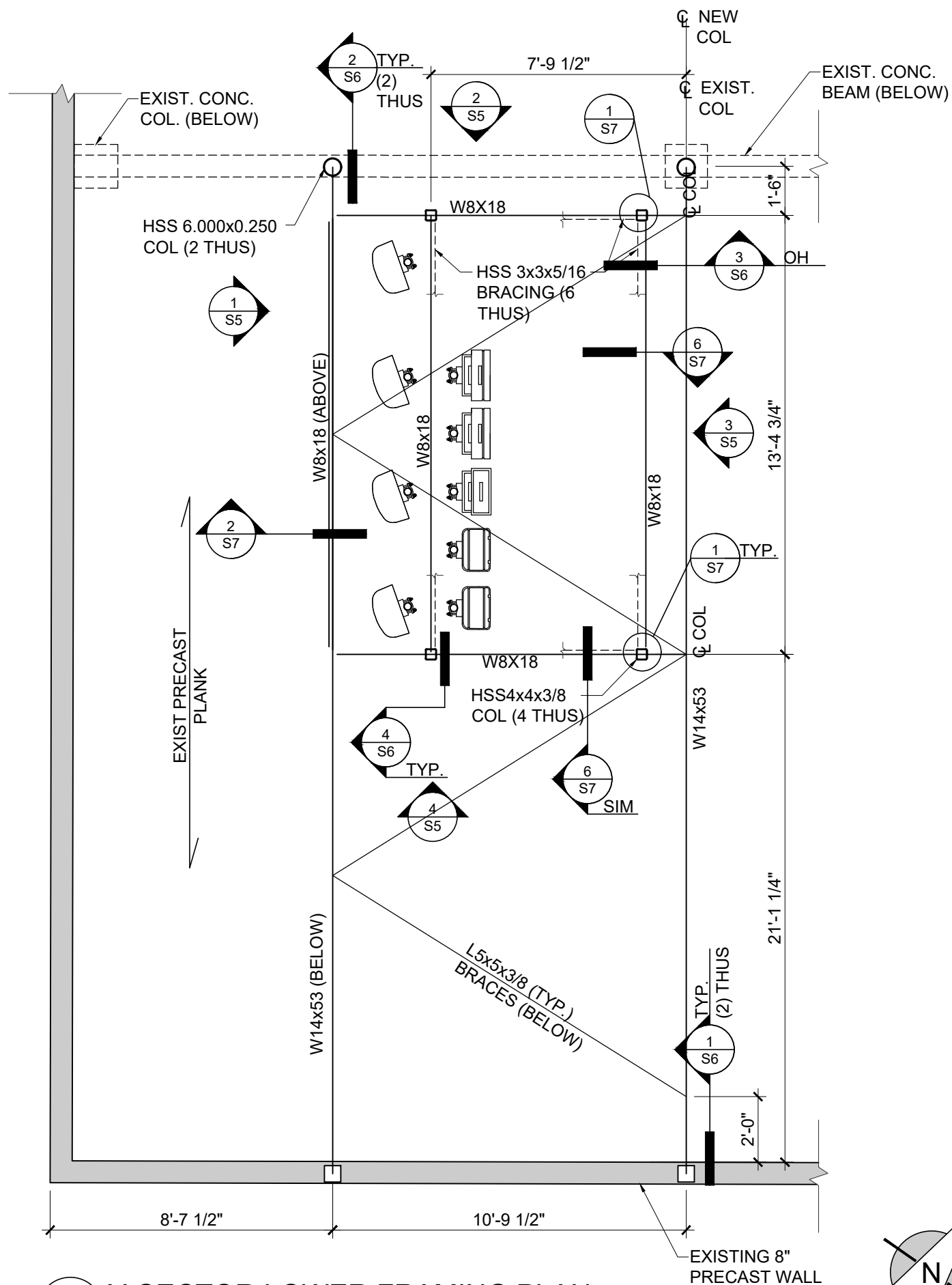
MINC
STRAWBERRY

1000 SUPERIOR BLVD
WAYZATA, MN 55391

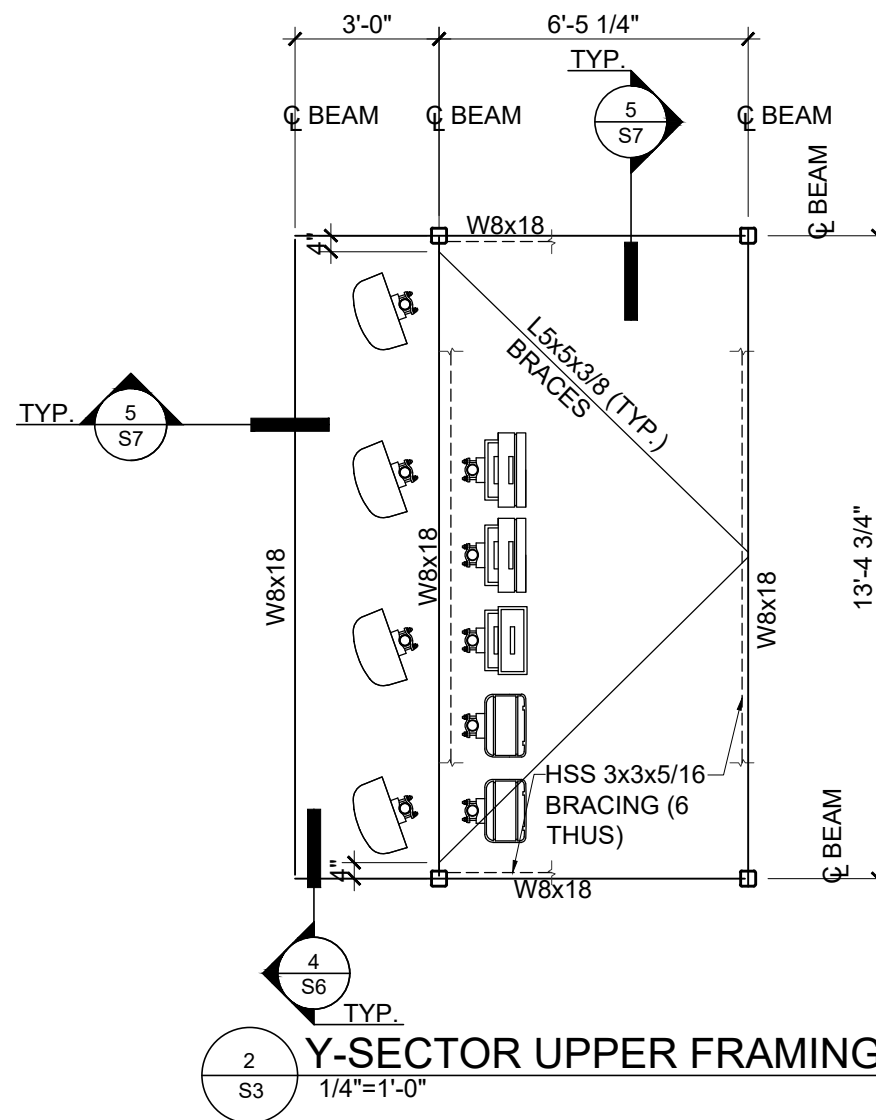
SHEET CONTENTS:
X-SECTOR FRAMING PLANS

STRUCTURAL #161069

DRAWN BY:	CL
DATE:	06-30-16
CHECKED BY:	BL
REV. A	06-30-16
REV. B	7-26-16
REV. E	12-28-17



1
S3
Y-SECTOR LOWER FRAMING PLAN
1/4"=1'-0"



2
S3
Y-SECTOR UPPER FRAMING PLAN
1/4"=1'-0"

Registration Information :
I hereby certify that this plan,
specification or report was prepared
by me or under my direct
supervision and that I am a duly
Licensed Engineer, under the laws
of the State of Minnesota.

Signature: _____
Name: BRYANT LOEHR
Date: 12/28/17 Reg. No.: 49036

DESIGN1
9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

VERIZON
WIRELESS
10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

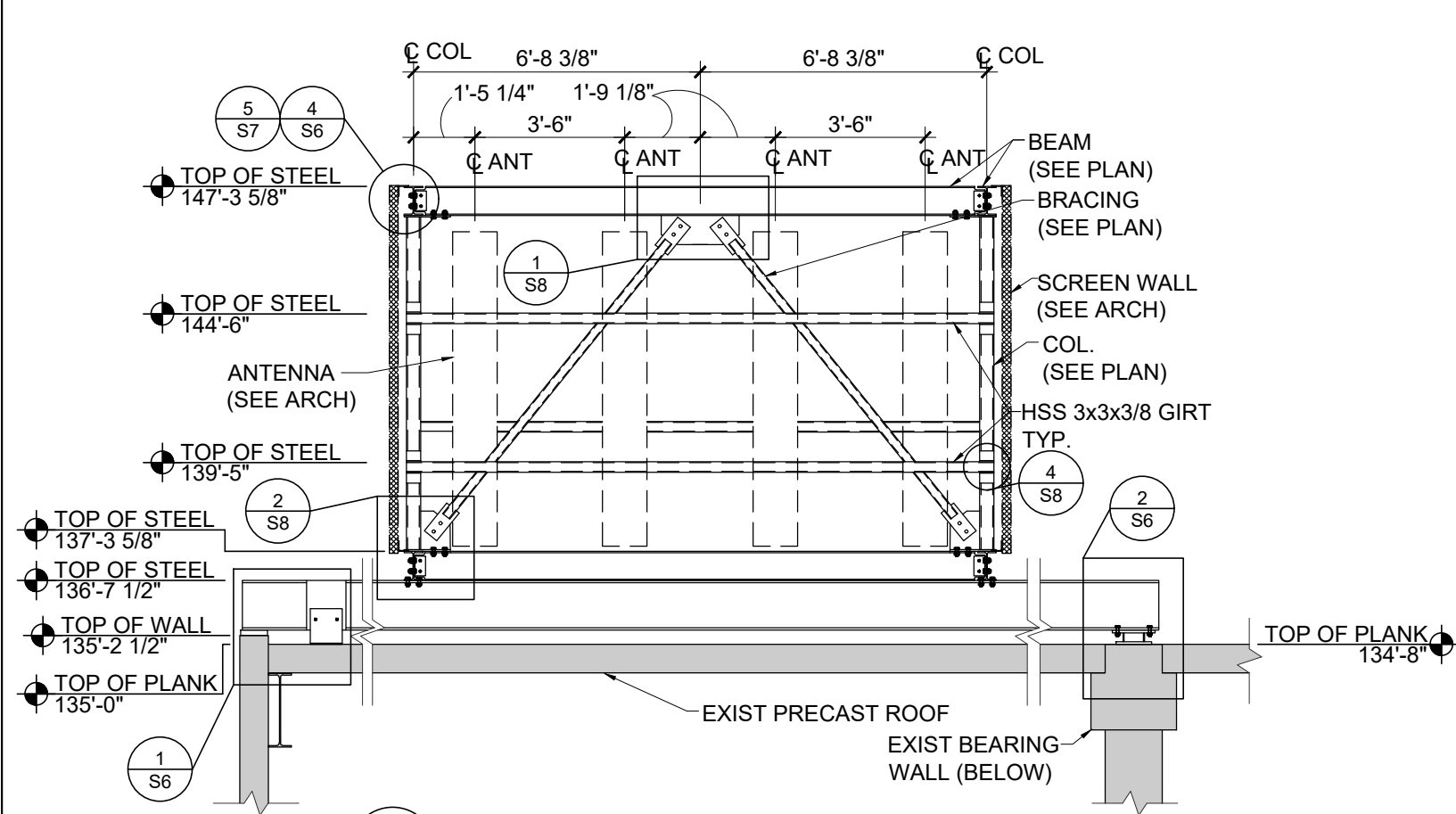
PROJECT
20151187518
LOCATION CODE: 380007

MINC
STRAWBERRY

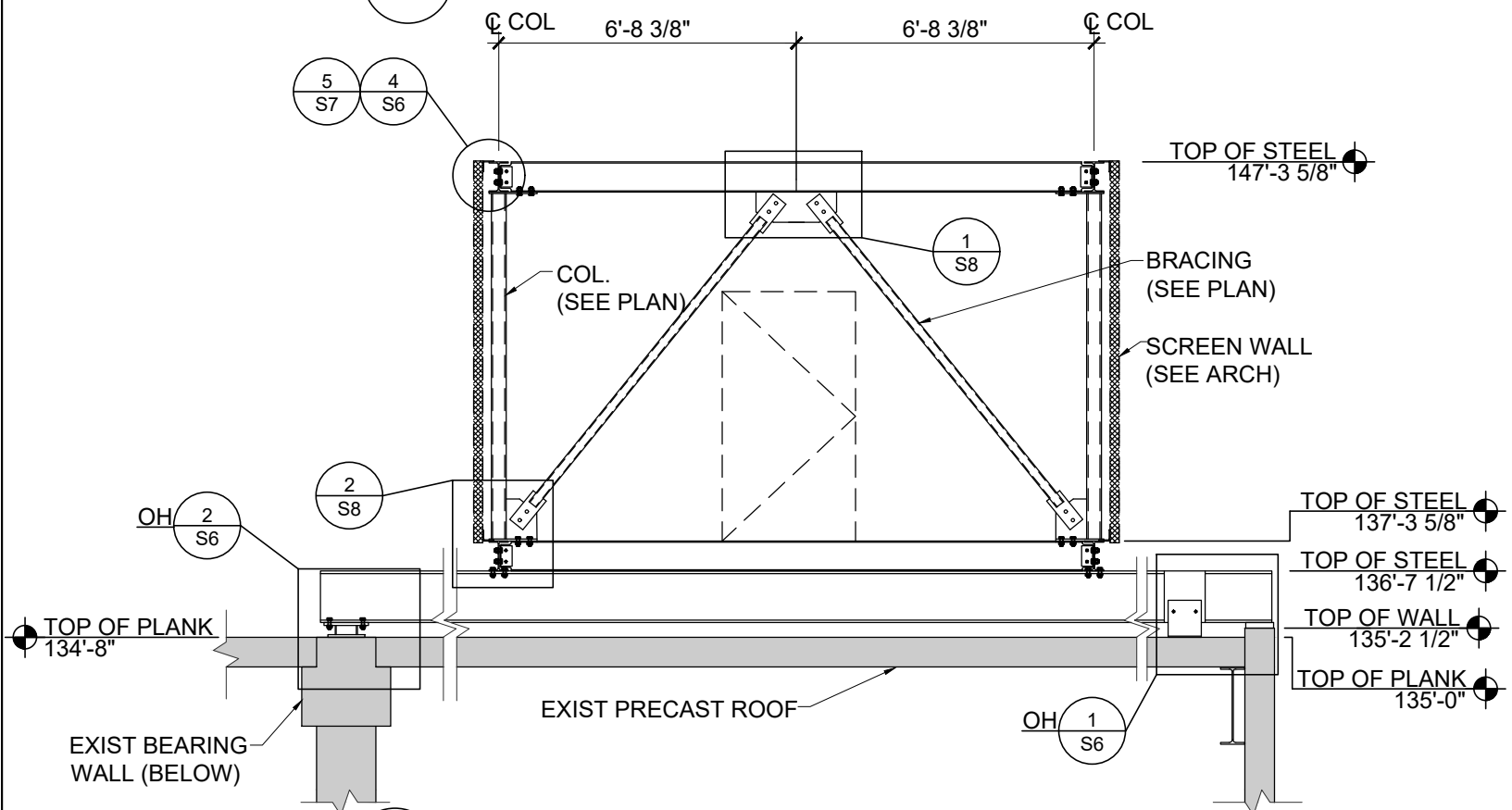
1000 SUPERIOR BLVD
WAYZATA, MN 55391

SHEET CONTENTS:
Y-SECTOR FRAMING PLANS

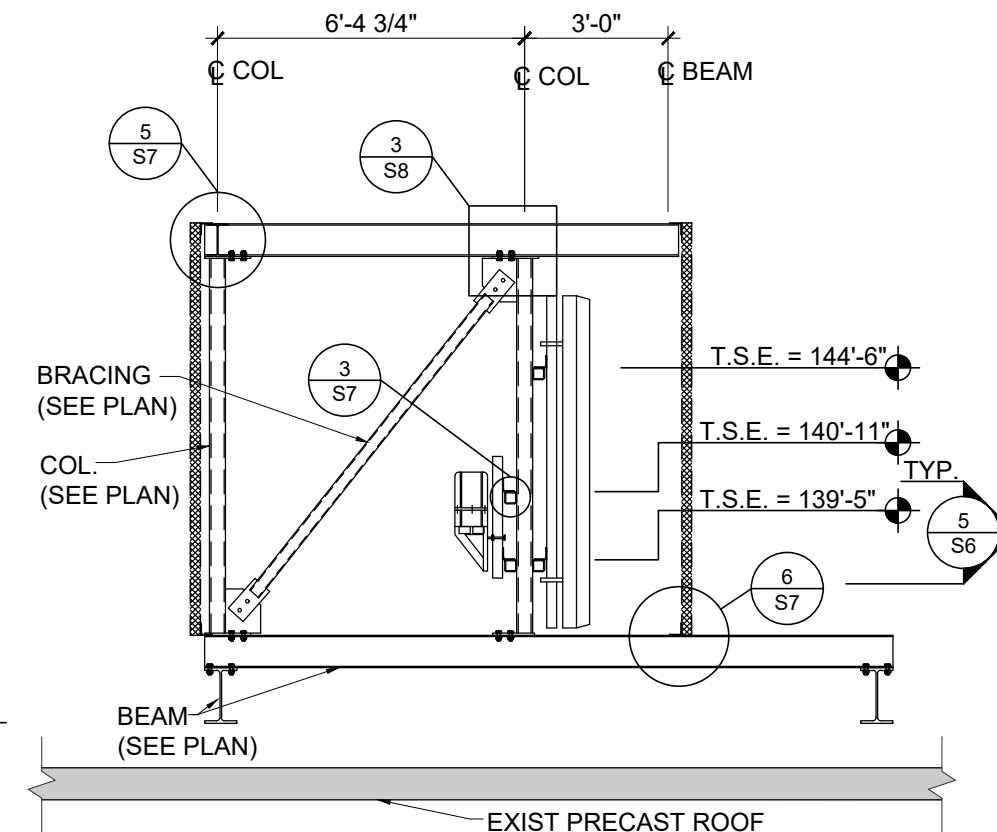
STRUCTURAL #161069
DRAWN BY: CL
DATE: 06-30-16
CHECKED BY: BL
REV. A 06-30-16
REV. B 7-26-16
REV. E 12-28-17



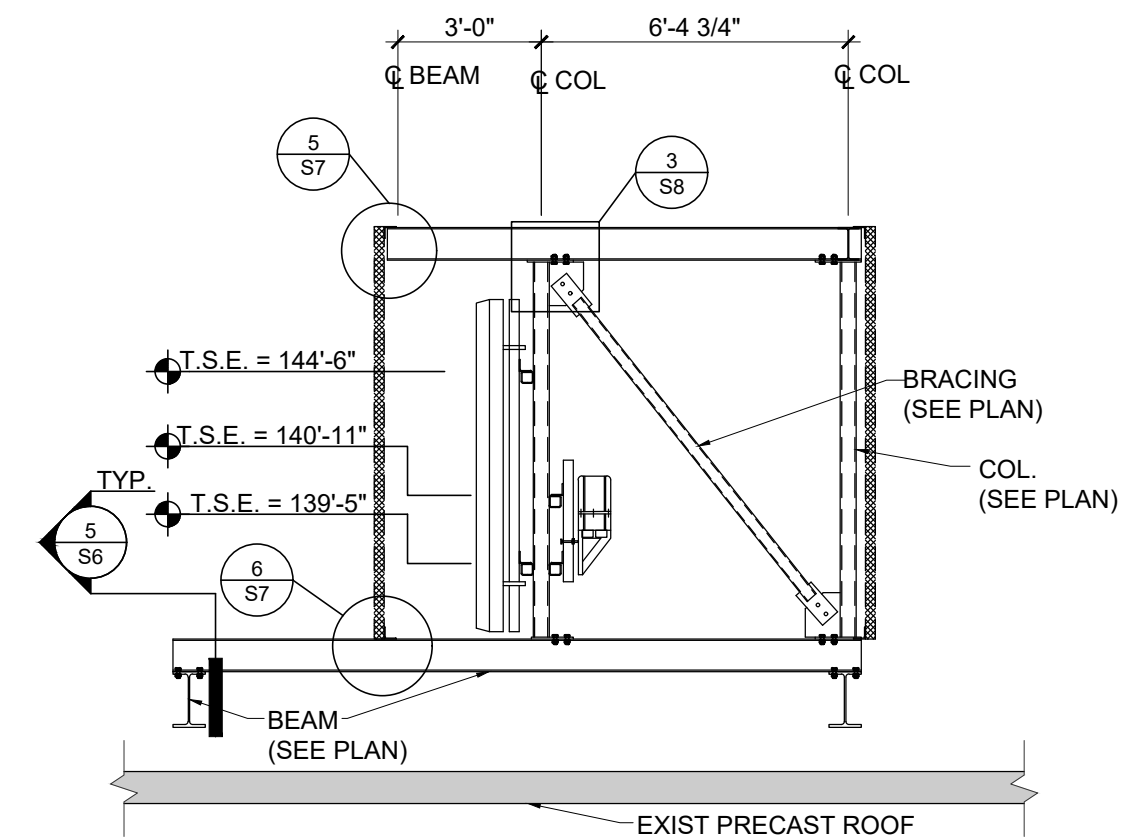
1 X-SECTOR EAST ELEVATION
NO SCALE



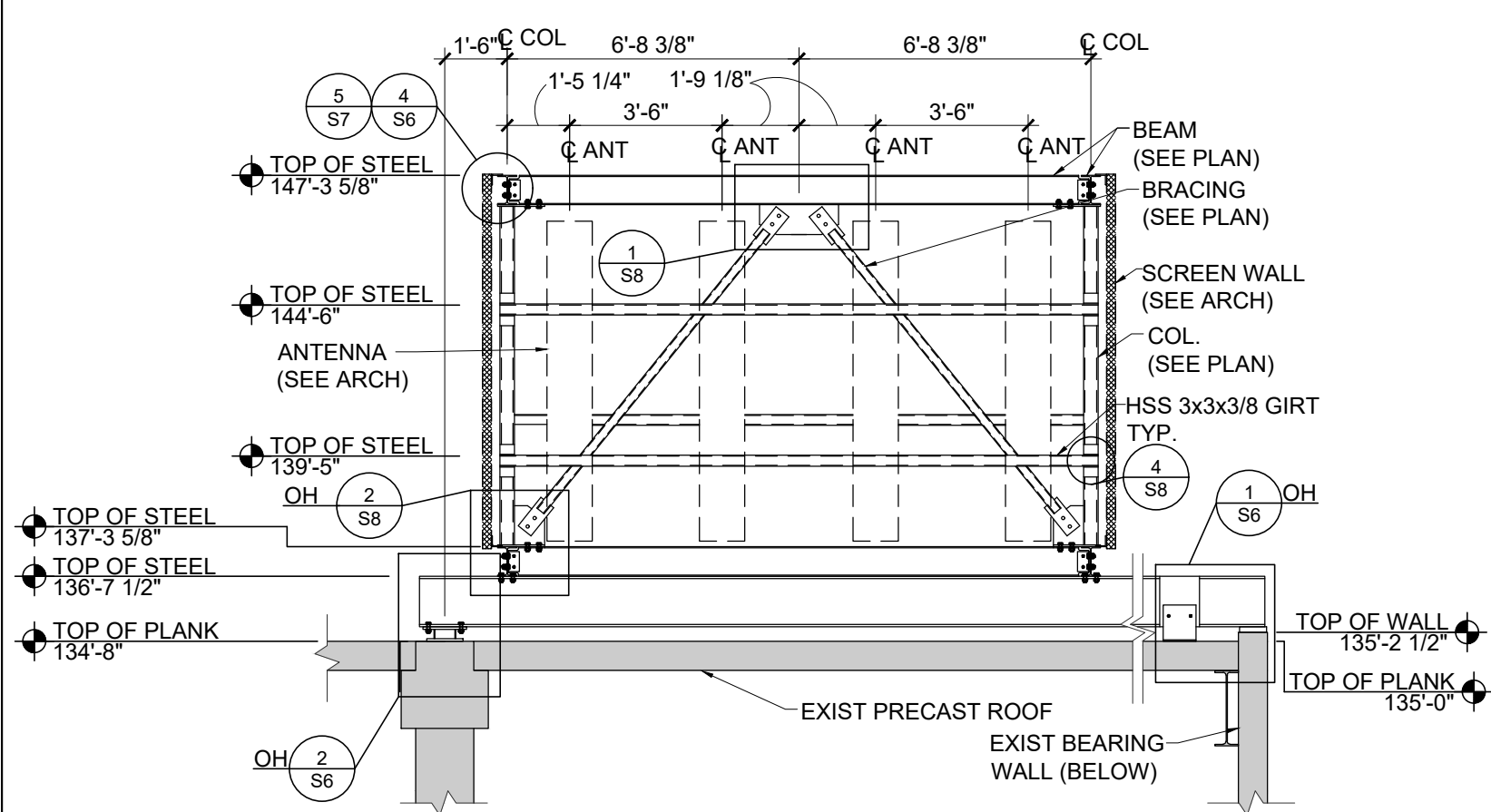
3 X-SECTOR WEST ELEVATION
NO SCALE



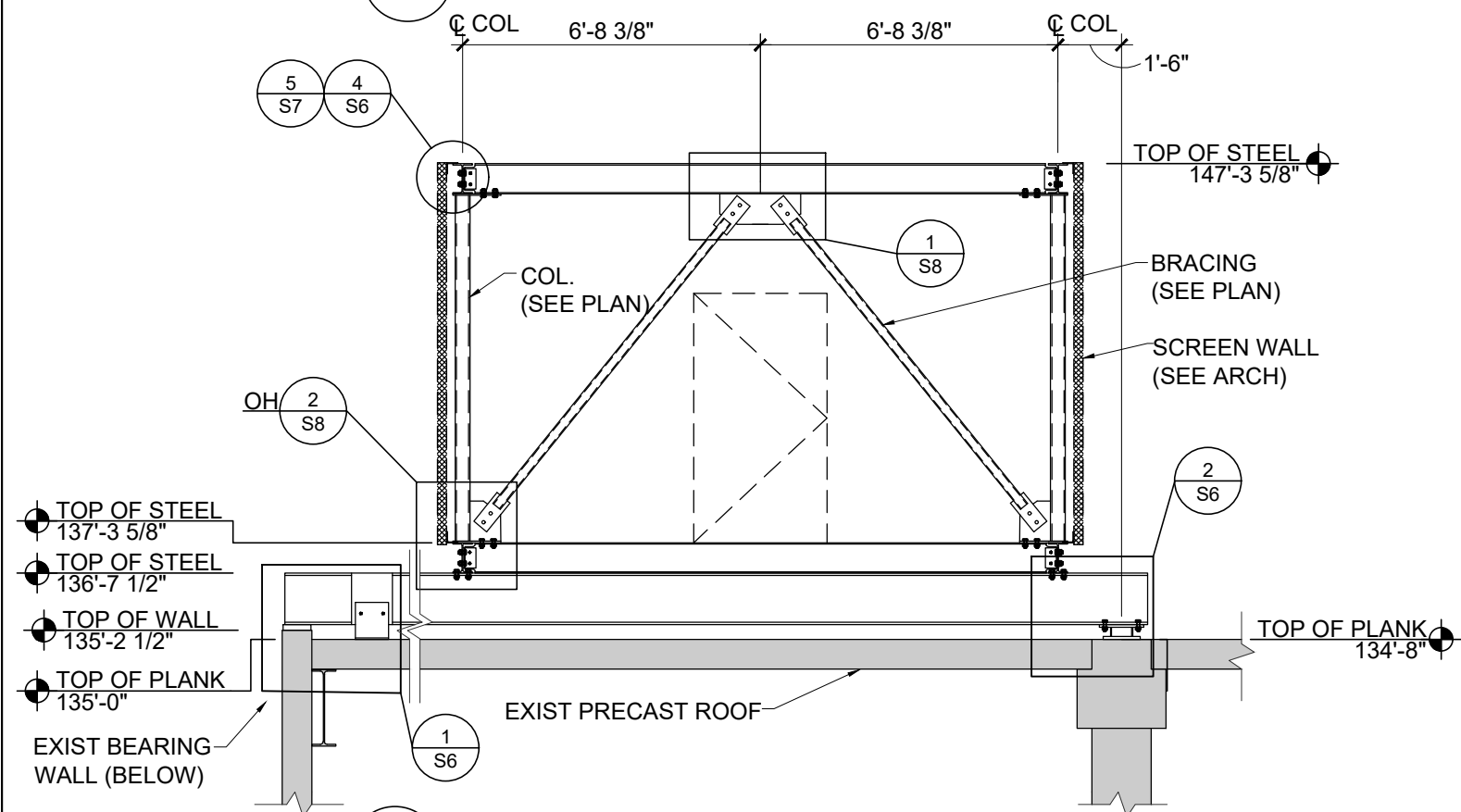
2 X-SECTOR SOUTH ELEVATION
NO SCALE



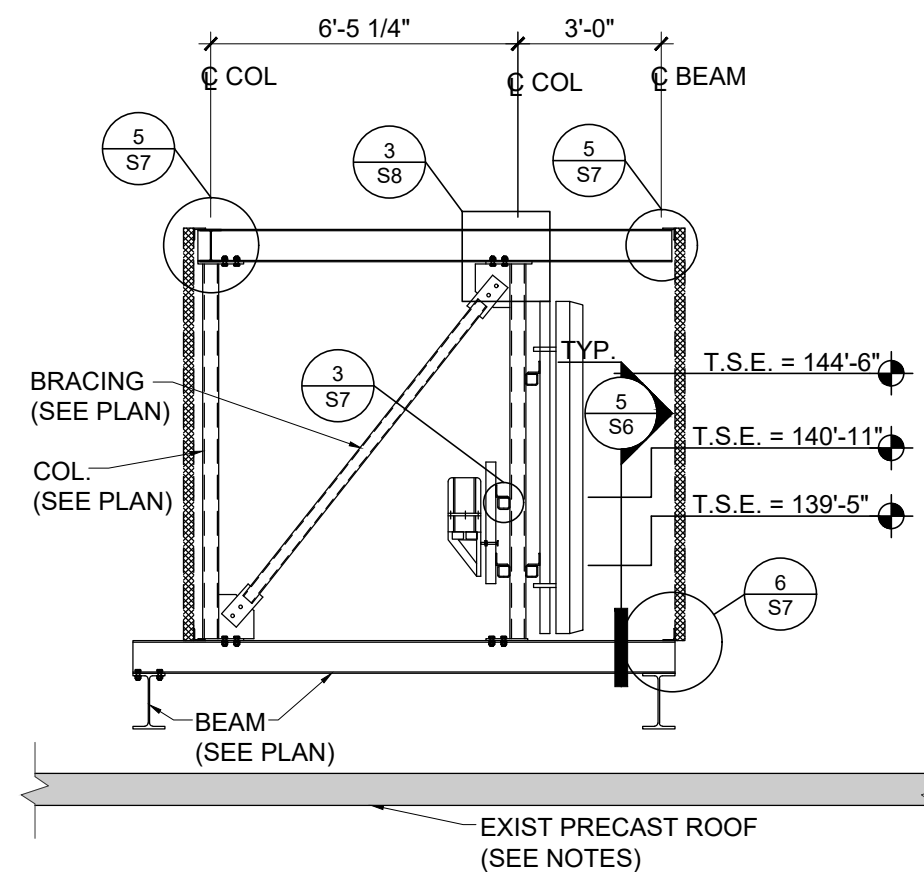
4 X-SECTOR NORTH ELEVATION
NO SCALE



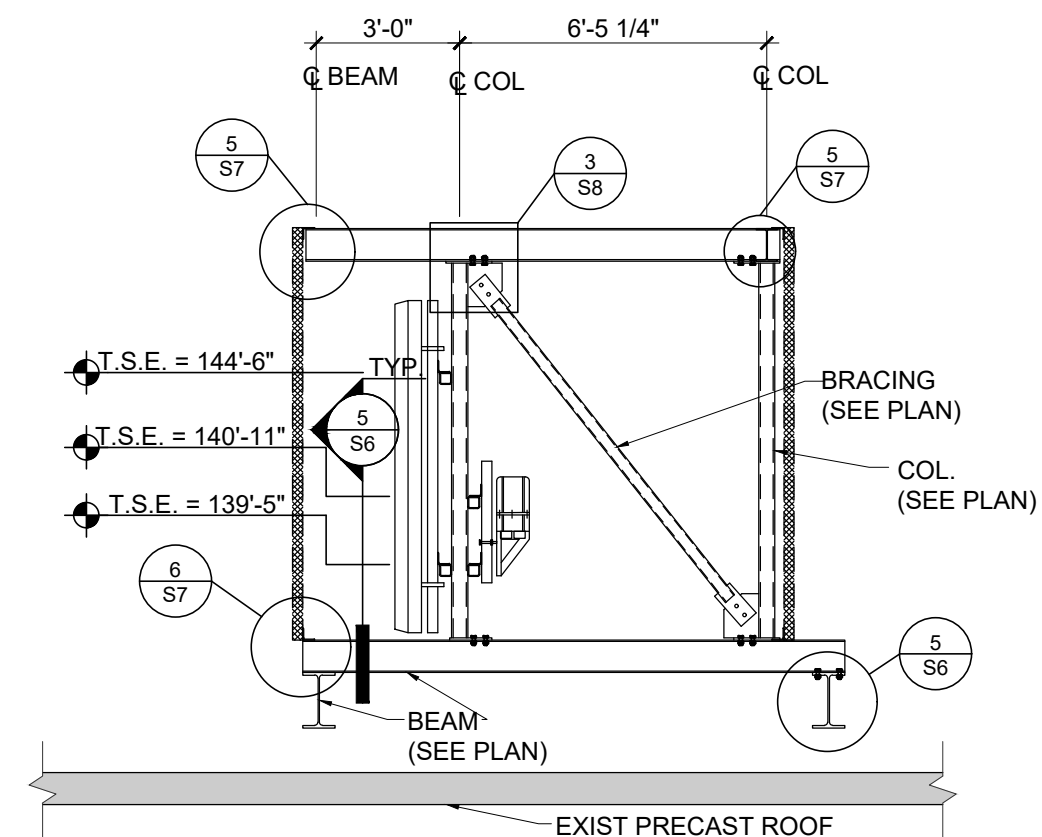
1 Y-SECTOR WEST ELEVATION
NO SCALE



3 Y-SECTOR EAST ELEVATION
NO SCALE



2 Y-SECTOR NORTH ELEVATION
NO SCALE



4 Y-SECTOR SOUTH ELEVATION
NO SCALE

Registration Information :
I hereby certify that this plan,
specification or report was prepared
by me or under my direct
supervision and that I am a duly
Licensed Engineer, under the laws
of the State of Minnesota.

Signature: _____
Name: BRYANT LOEHR
Date: 12/28/17 Reg. No.: 49036

DESIGN
1
9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

VERIZON
WIRELESS
10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

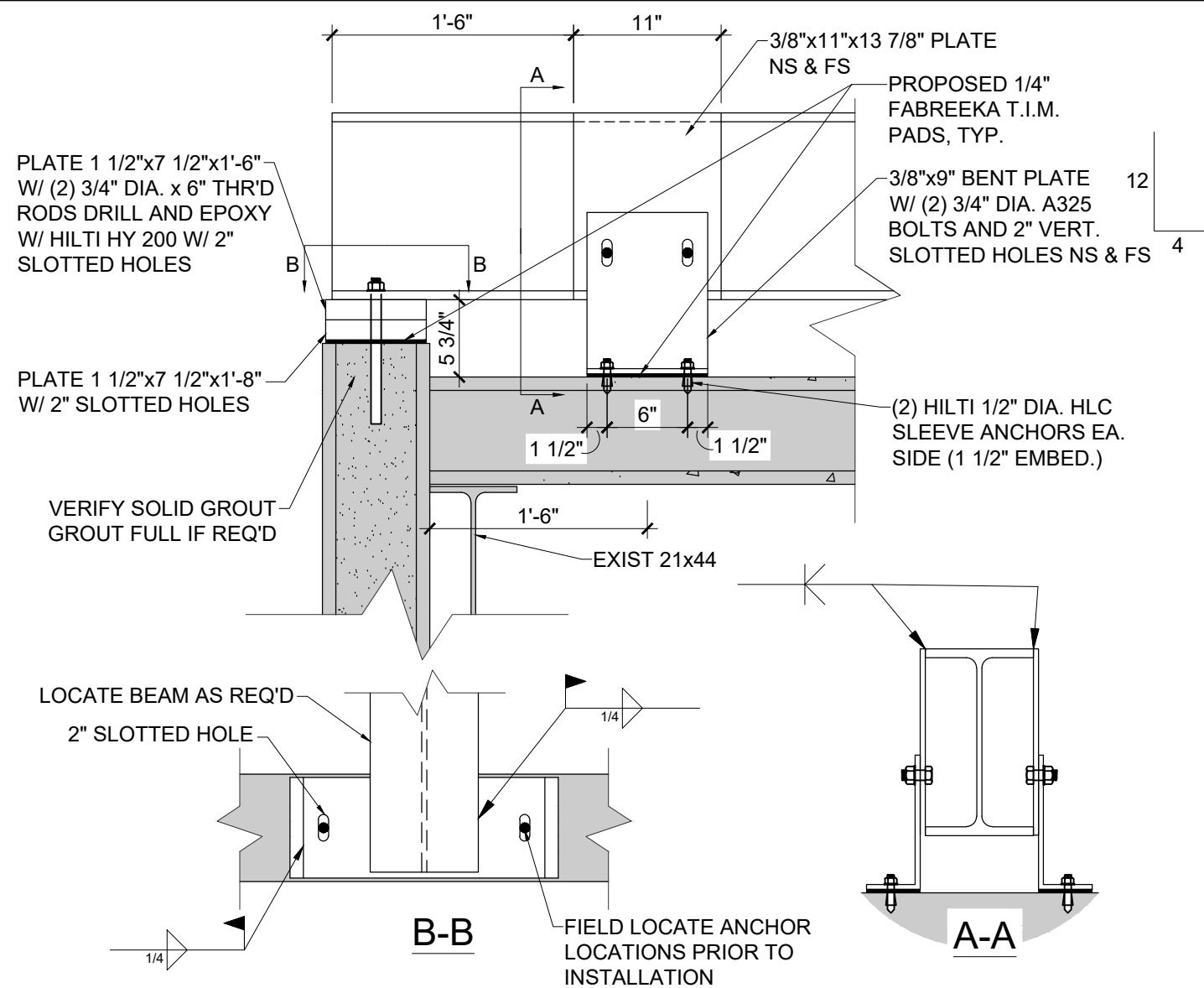
PROJECT
20151187518
LOCATION CODE: 380007

MINC
STRAWBERRY

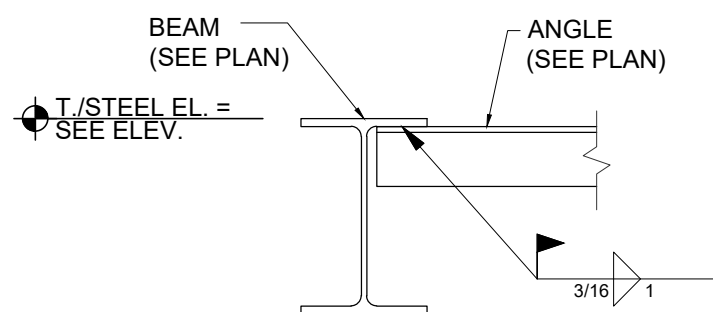
1000 SUPERIOR BLVD
WAYZATA, MN 55391

SHEET CONTENTS:
Y-SECTOR ELEVATIONS

STRUCTURAL #161069
DRAWN BY: CL
DATE: 06-30-16
CHECKED BY: BL
REV. A 06-30-16
REV. B 7-26-16
REV. E 12-28-17

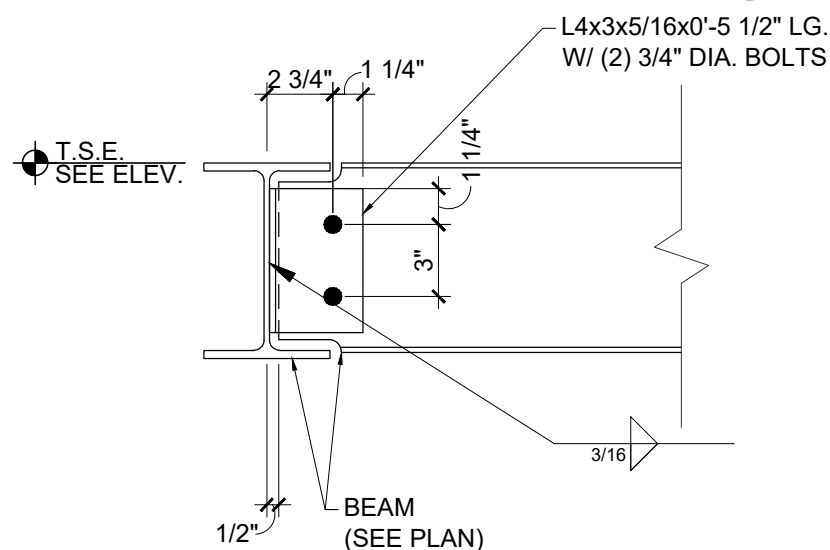


1 **DETAIL**
S6 NO SCALE



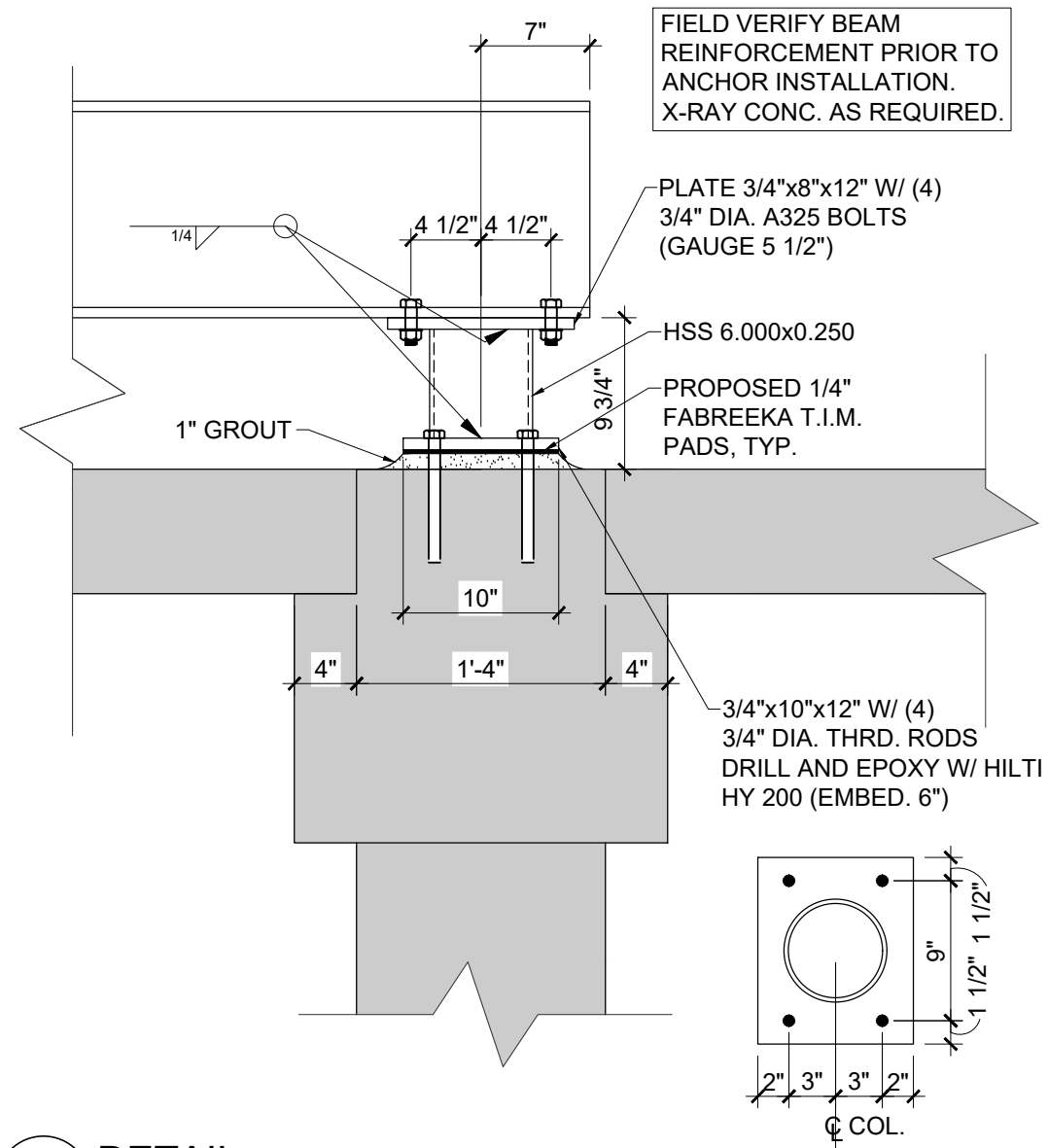
3
S6

DETAIL
NO SCALE



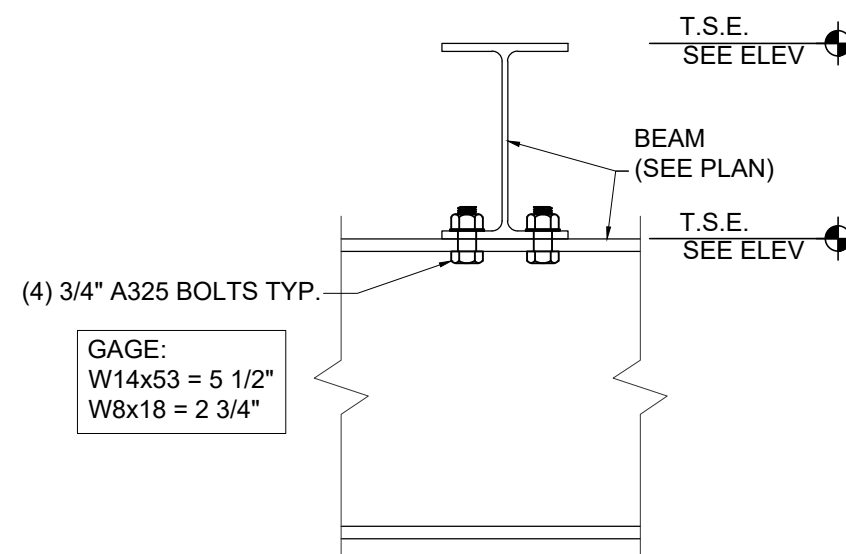
4
S6

DETAIL
NO SCALE



2
S6

DETAIL
NO SCALE



5
S6

DETAIL
NO SCALE



Registration Information :
I hereby certify that this plan,
specification or report was prepared
by me or under my direct
supervision and that I am a duly
Licensed Engineer, under the laws
of the State of Minnesota.

Signature: _____
Name: BRYANT LOEHR
Date: 12/28/17 Reg. No.: 49036



9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

**VERIZON
WIRELESS**
10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

PROJECT
20151187518
LOCATION CODE: 380007

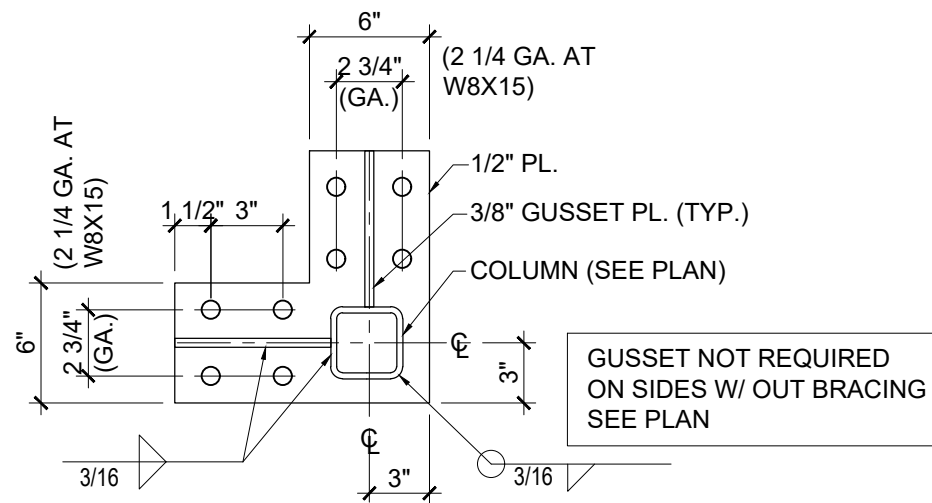
**MINC
STRAWBERRY**

1000 SUPERIOR BLVD
WAYZATA, MN 55391

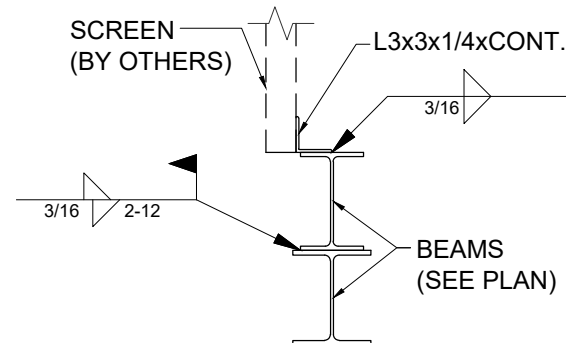
SHEET CONTENTS:
DETAILS

STRUCTURAL #161069	
DRAWN BY:	CL
DATE:	06-30-16
CHECKED BY:	BL
REV. A	06-30-16
REV. B	7-26-16
REV. E	12-28-17

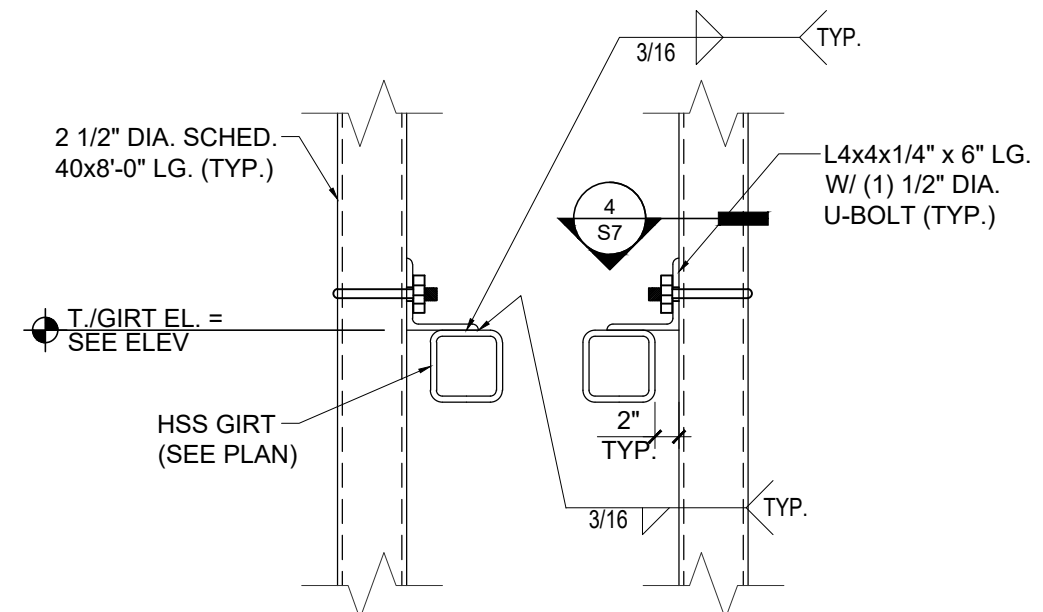
S6



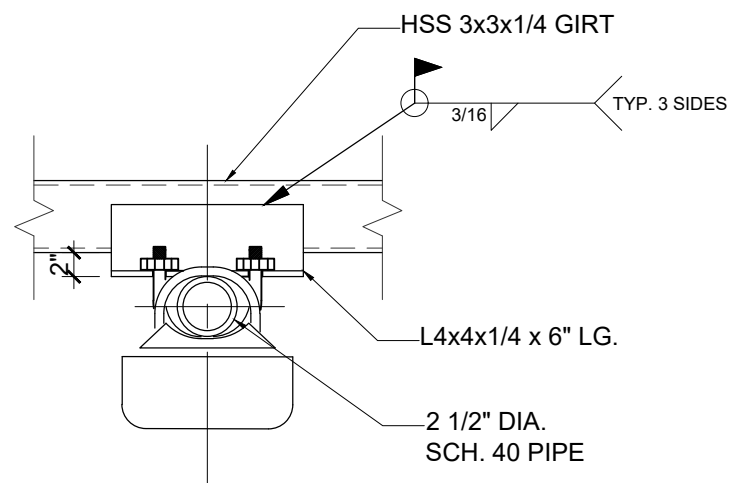
1
S7
DETAIL
NO SCALE



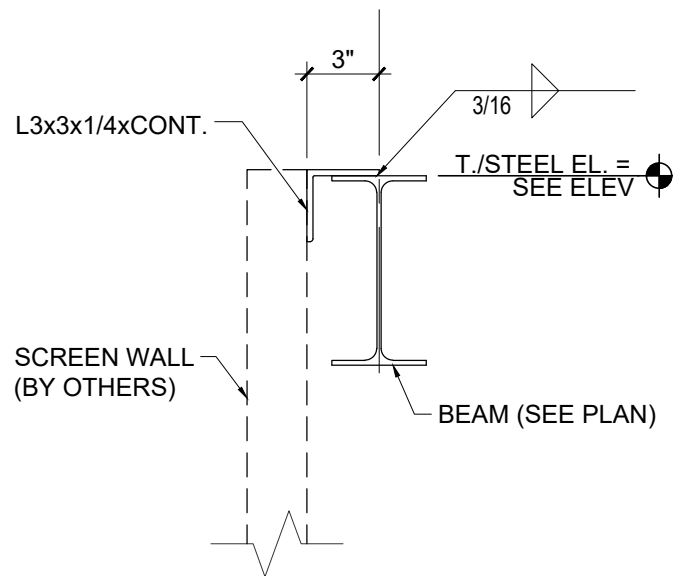
2
S7
DETAIL
NO SCALE



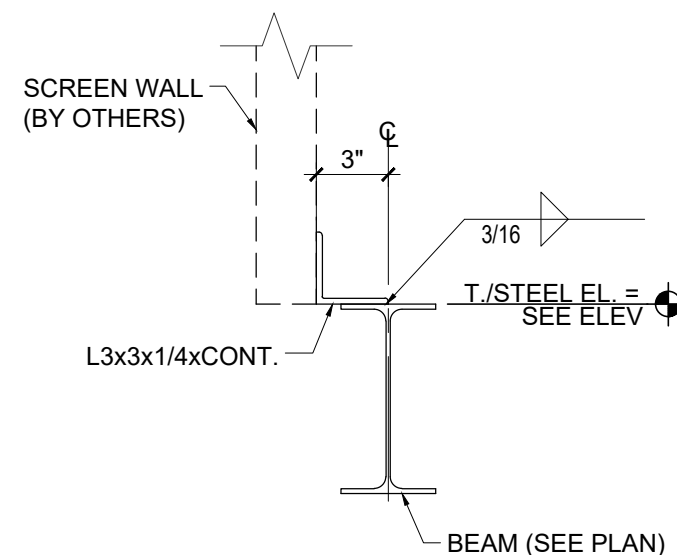
3
S7
DETAIL
NO SCALE



4
S7
DETAIL
NO SCALE



5
S7
DETAIL
NO SCALE



6
S7
DETAIL
NO SCALE



Registration Information :
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Engineer, under the laws of the State of Minnesota.

Signature:
Name: BRYANT LOEHR
Date: 12/28/17 Reg. No.: 49036

DESIGN 1
9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

VERIZON WIRELESS
10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

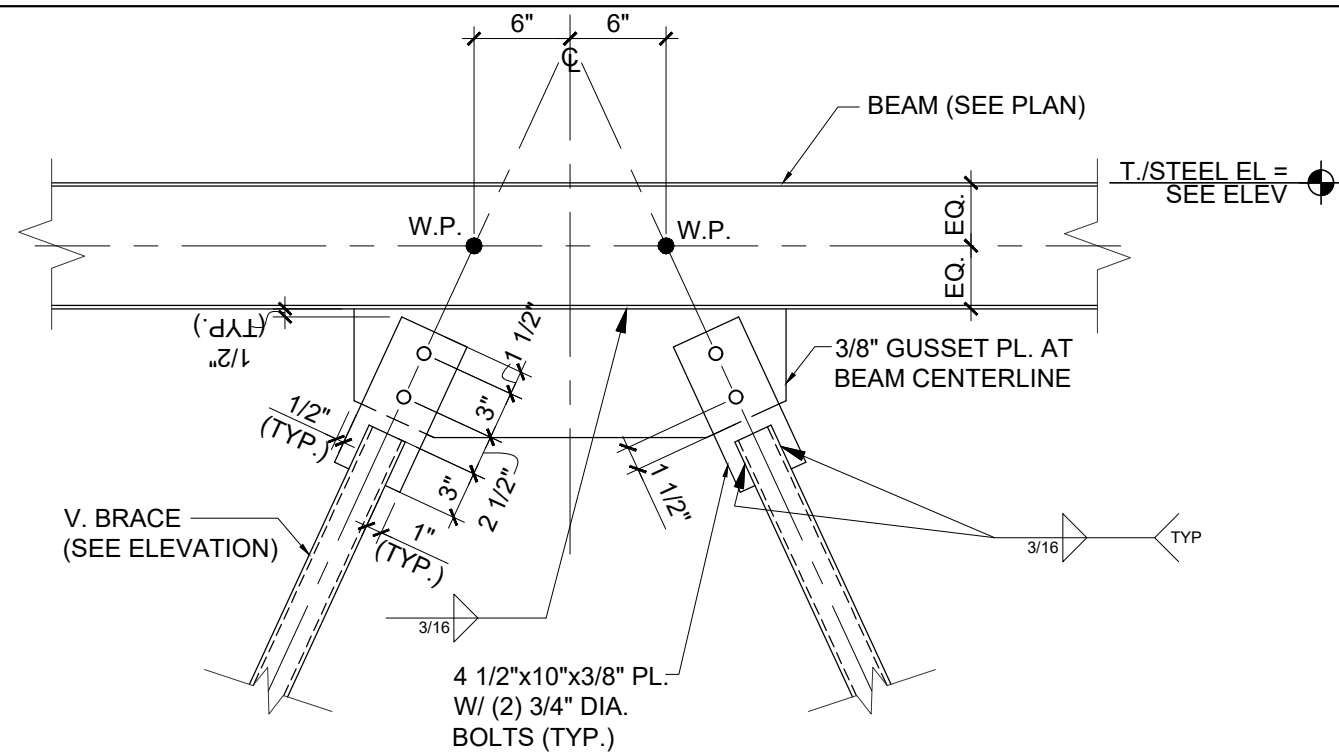
PROJECT
20151187518
LOCATION CODE: 380007

MINC STRAWBERRY

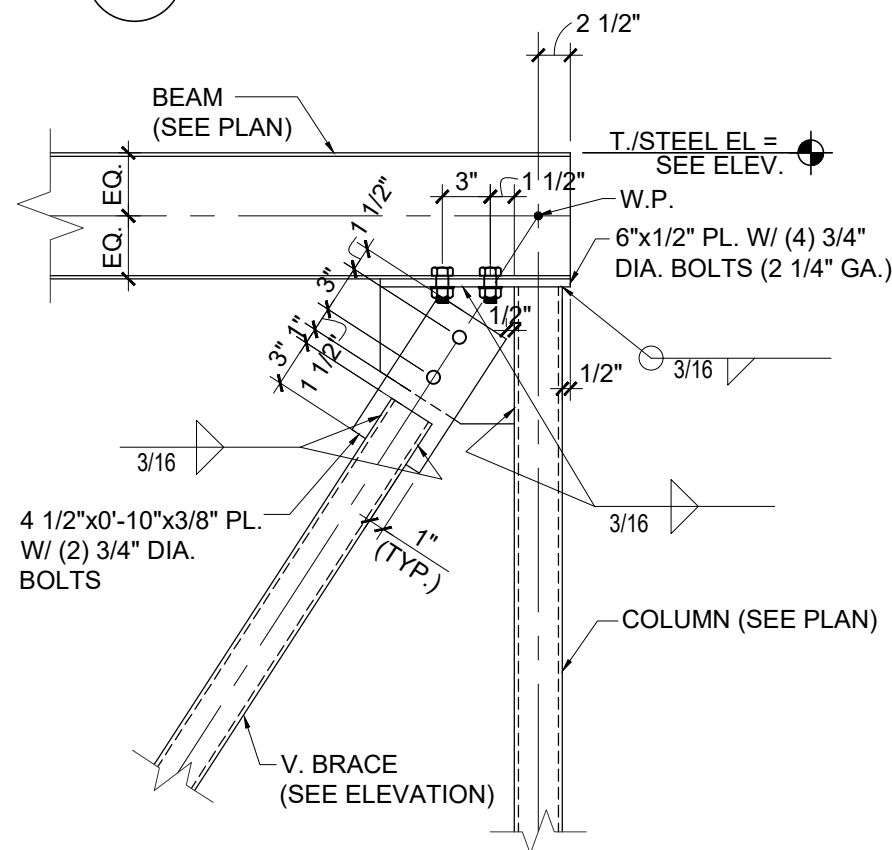
1000 SUPERIOR BLVD
WAYZATA, MN 55391

SHEET CONTENTS:
DETAILS

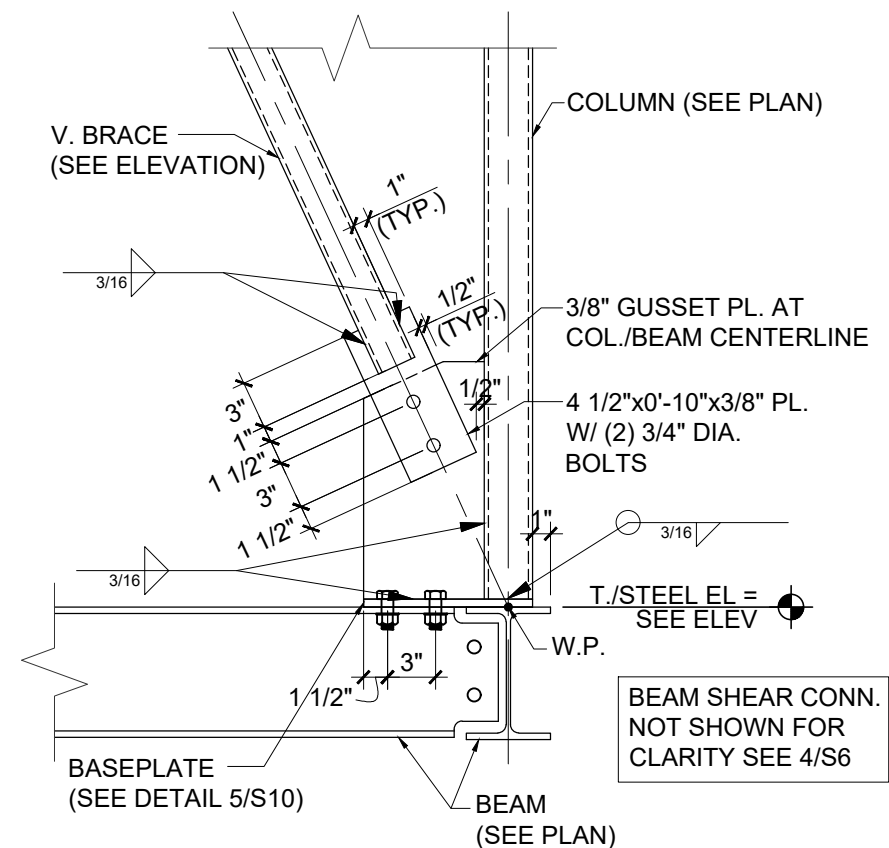
STRUCTURAL #161069
DRAWN BY: CL
DATE: 06-30-16
CHECKED BY: BL
REV. A 06-30-16
REV. B 7-26-16
REV. E 12-28-17



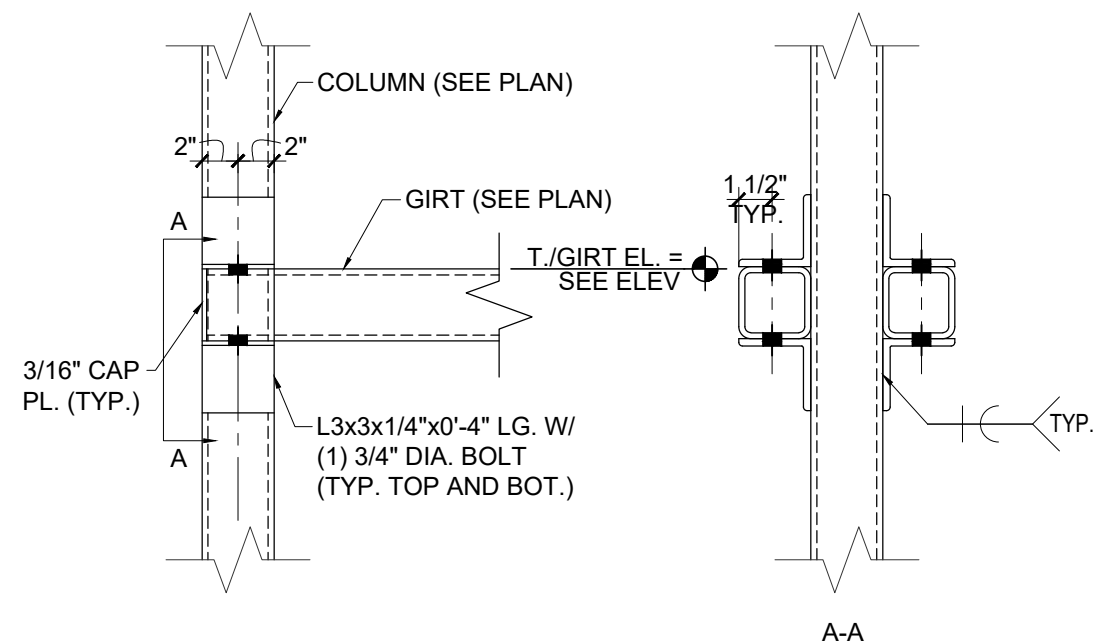
1
S8
DETAIL
NO SCALE



3
S8
DETAIL
NO SCALE



2
S8
DETAIL
NO SCALE



4
S8
DETAIL
NO SCALE



Customer: DESIGN 1

Site Type: FIBERSCREEN™ ENCLOSURE

Site Name: MINC STRAWBERRY

Site Number: LOC.# 380007

Site Address: 1000 SUPERIOR BLVD.
WAYZATA, MN 55391



Customer: DESIGN 1

Carrier / Site # VERIZON LOC.# 380007

Project Name: MINC STRAWBERRY

Material: FIBERSCREEN™

Finish: 2-D BRICK

Rev:		
B	12/21/17	REMOVED WINDOWS PER CITY REQUEST - RFR
A	06/22/16	INITIAL DRAWINGS - MTC
REV.	DATE	DESCRIPTION

Stamp:

Sheet Title / Description: TITLE SHEET

Scale: 1:2 Sheet # 1 OF 5

Drawn By: RFR Drawn Date: 12/21/17

Tolerance: Fractions ± 1/4" Angles ± 1°

Last Saved: Thursday, December 21, 2017 1:55:10 PM

PROPRIETARY AND CONFIDENTIAL - THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF PEABODY ENGINEERING. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF PEABODY ENGINEERING IS PROHIBITED.

GENERAL NOTES:

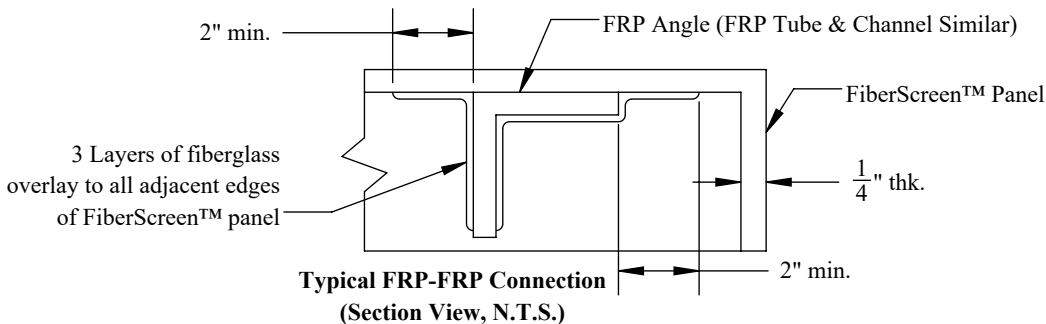
- Structural Design is based on the 2013 Edition of the California Building Code.
- The contractor shall verify dimensions, conditions and elevations before starting work. The engineer shall be notified immediately if any discrepancies are found.
- The typical notes and details shall apply in all cases unless specifically detailed elsewhere. Where no detail is shown, the construction shall be shown for other similar work and as required by the building code.
- These calculations are limited to the structural members shown in these calculations only. The connection of the members shown in these calculations to the existing structure shall be by others.
- The contractor shall be responsible for compliance with local construction safety orders. Approval of shop drawings by the architect or structural engineer shall not be construed as accepting this responsibility.
- All structural members shall be adequately shored and braced during erection and until full lateral and vertical support is provided by adjoining members.
- Any modifications to Peabody Engineering's products must be made with the express written consent of an authorized Peabody Engineering representative and in accordance to Peabody Engineering's guidelines. Unauthorized modifications will result in the warranty of our products being void.
- ANY PAINT USED ON OUR PRODUCTS MUST BE OF A NON-METALLIC, 100% ACRYLIC, WATER BASED PAINT.

FIBERGLASS REINFORCED PLASTIC (FRP):

- All structural shapes shall be Strongwell series 500 or 525 or equivalent, unless noted otherwise in plans, produced using the pultrusion process.
- All cut edges and holes shall be sealed with a resin compatible with the resin matrix used in the structural shape.
- The fabricator and contractor shall exercise precautions necessary to protect the fiberglass pultruded structural shapes from abuse to prevent breakage, nicks, gouges, etc. during fabrication, handling and installation.
- Structural shapes shall be fabricated and assembled as indicated on the design drawings.
- FRP STUDS AND NUTS SHALL BE TIGHTENED TO SNUG TIGHT AND TURNED AN ADDITIONAL 1/2 TURN AND LOCKED WITH EPOXY.

STRUCTURAL STEEL:

- All structural steel angles and plates shall be per ASTM A36.
- All structural steel tubes shall be per ASTM A500 grade B.
- All anchor bolts shall be per ASTM A307, u.n.o. Steel to steel connection bolts shall be per ASTM A325N, u.n.o.
- All welding shall be performed with E70XX low hydrogen electrodes in an approved fabrication shop.



Project Team:

Mark Peabody
Chief Executive Officer
Mark.P@4Peabody.com

Karen Pittman
Telecom Department Manager
Karen.P@4Peabody.com

Cameron Malchow
Telecom Project Manager
Cameron.M@4Peabody.com

Richard Ruiz
CAD Design & Applications Engineer
Richard.R@4Peabody.com

Signature Page

The following pages contain important information about the project Peabody Engineering will fabricate. Peabody Engineering produces custom-made products and our fabrication details may vary from traditional methods and the drawings that were originally provided to us for this project.

Please carefully review the details on the following pages and confirm they are what you require. We strongly suggest, you field verify all of the dimensions and details on these drawings as presented. Confirm that all relevant details are accurately presented. These drawings supersede any and all previous drawings.

By signing below, I take full responsibility that all the dimensions and details provided on each page has been confirmed as presented herein. There are NO EXCEPTIONS taken. I certify that this set of drawings can be used to fabricate the project. If changes are required, check the box below, mark the changes required on each page and return for review.

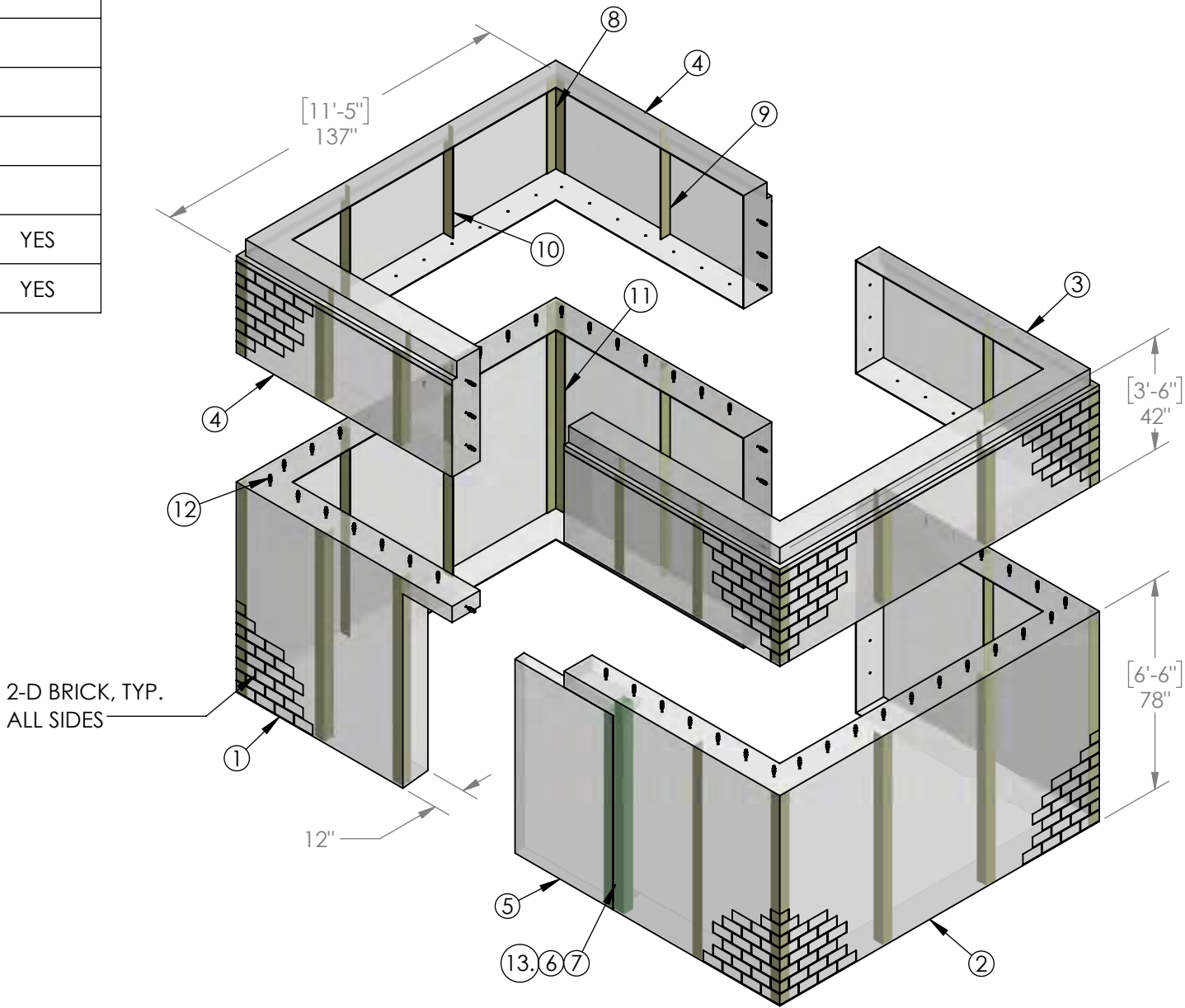
☐ Redlines - Please revise per redlines as noted and return for review.

Printed Name	Company & Title	Date	Signature
--------------	-----------------	------	-----------

Design Notes:

- PRIMER S.A. (ALL) - 1800 SQ. FT.
- PAINTED S.A. (VIEWABLE) - 800 SQ. FT.
- APPROXIMATE WEIGHT: 2000 LBS
- QTY: (1) UNITS
- TEXTURE: 2-D BRICK
- FINISH: PAINTED

SCOPE OF WORK				
ITEM NO.	DESCRIPTION	QTY.	LENGTH	SL
1	FIBERSCREEN™ PANEL - 1	1		
2	FIBERSCREEN™ PANEL - 2	1		
3	FIBERSCREEN™ PANEL - 3	1		
4	FIBERSCREEN™ PANEL - 4	1		
5	FIBERSCREEN™ ACCESS DOOR (HINGED, INWARD)	1		YES
6	4 x 4 x 1/4 FRP TUBE	1	71 1/2"	
7	4 x 4 x 1/4 FRP TUBE	1	77 1/2"	
8	4 x 4 x 1/4 FRP ANGLE	4	35 1/2"	
9	4 x 4 x 1/4 FRP ANGLE	6	41 1/2"	
10	4 x 4 x 1/4 FRP ANGLE	4	41 1/2"	
11	4 x 4 x 1/4 FRP ANGLE	13	77 1/2"	
12	Ø 1/2" x 3" FRP BOLT ASSY	61	3"	YES
13	PIANO HINGE, SS	1	5 FT.	YES



NOTE:

- TOP RECESSED TRIM - 2" DEEP x 6" TALL
- 2" BAND BELOW TOP RECESSED TRIM, SMOOTH (NO BRICKS)



13435 Estelle St.
Corona, Ca. 92879
P: (951) 734.7711 F: (951) 734.4111

Customer:

DESIGN 1

Carrier / Site #

VERIZON LOC.# 380007

Project Name:

MINC STRAWBERRY

Material: **FIBERSCREEN™**

Finish: **2-D BRICK**

Rev:

B	12/21/17	REMOVED WINDOWS PER CITY REQUEST - RFR
A	06/22/16	INITIAL DRAWINGS - MTC
REV.	DATE	DESCRIPTION

Stamp:

Sheet Title / Description:

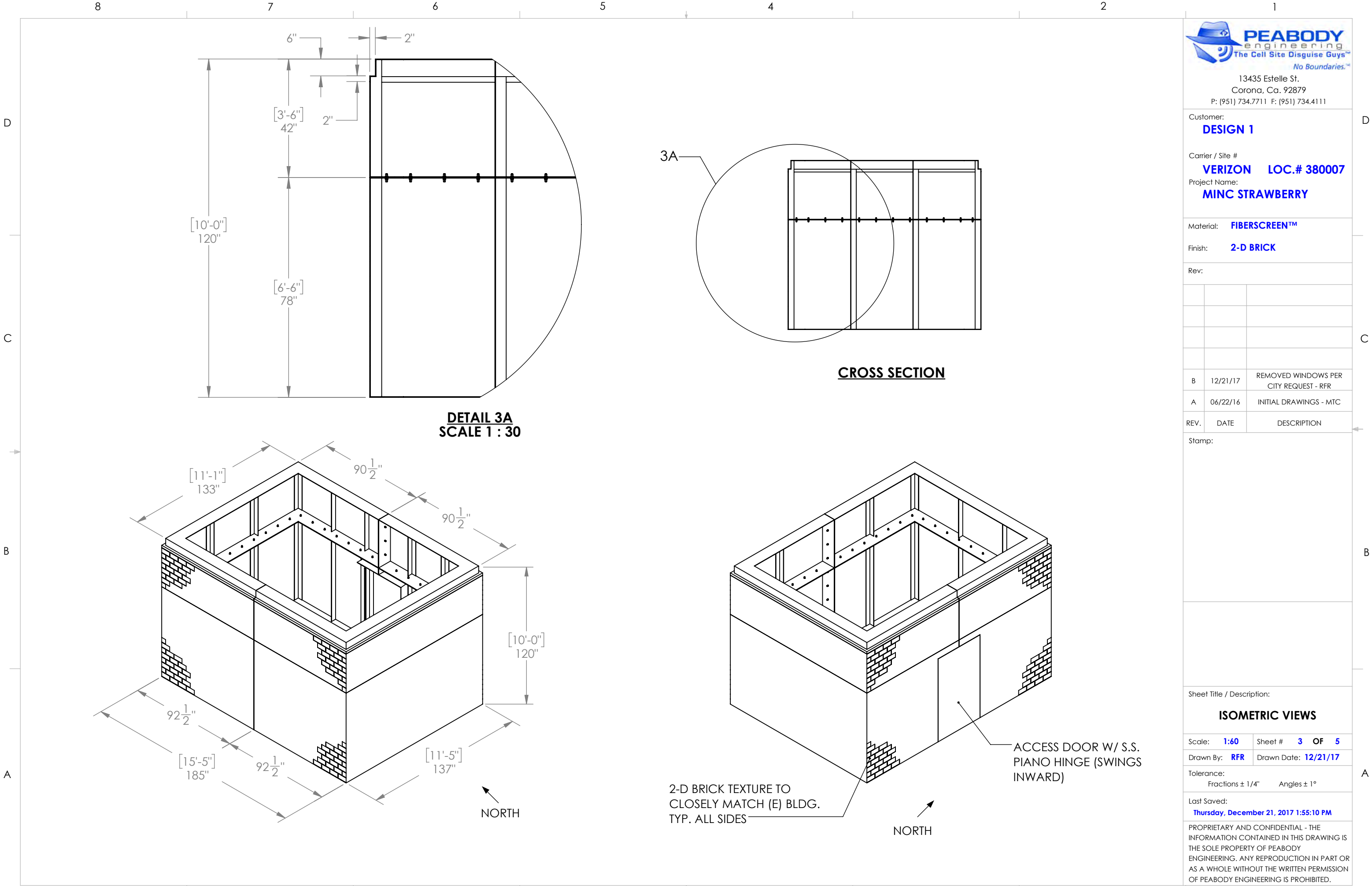
SCOPE OF WORK

Scale: 1:48	Sheet # 2 OF 5
Drawn By: RFR	Drawn Date: 12/21/17

Tolerance:
Fractions ± 1/4" Angles ± 1°

Last Saved:
Thursday, December 21, 2017 1:55:10 PM

PROPRIETARY AND CONFIDENTIAL - THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF PEABODY ENGINEERING. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF PEABODY ENGINEERING IS PROHIBITED.





13435 Estelle St.
Corona, Ca. 92879
P: (951) 734.7711 F: (951) 734.4111

Customer:

DESIGN 1

Carrier / Site #

VERIZON LOC.# 380007

Project Name:

MINC STRAWBERRY

Material: **FIBERSCREEN™**

Finish: **2-D BRICK**

Rev:

REV.	DATE	DESCRIPTION
B	12/21/17	REMOVED WINDOWS PER CITY REQUEST - RFR
A	06/22/16	INITIAL DRAWINGS - MTC

Stamp:

REV.	DATE	DESCRIPTION
B	12/21/17	REMOVED WINDOWS PER CITY REQUEST - RFR
A	06/22/16	INITIAL DRAWINGS - MTC

Sheet Title / Description:

ISOMETRIC VIEWS

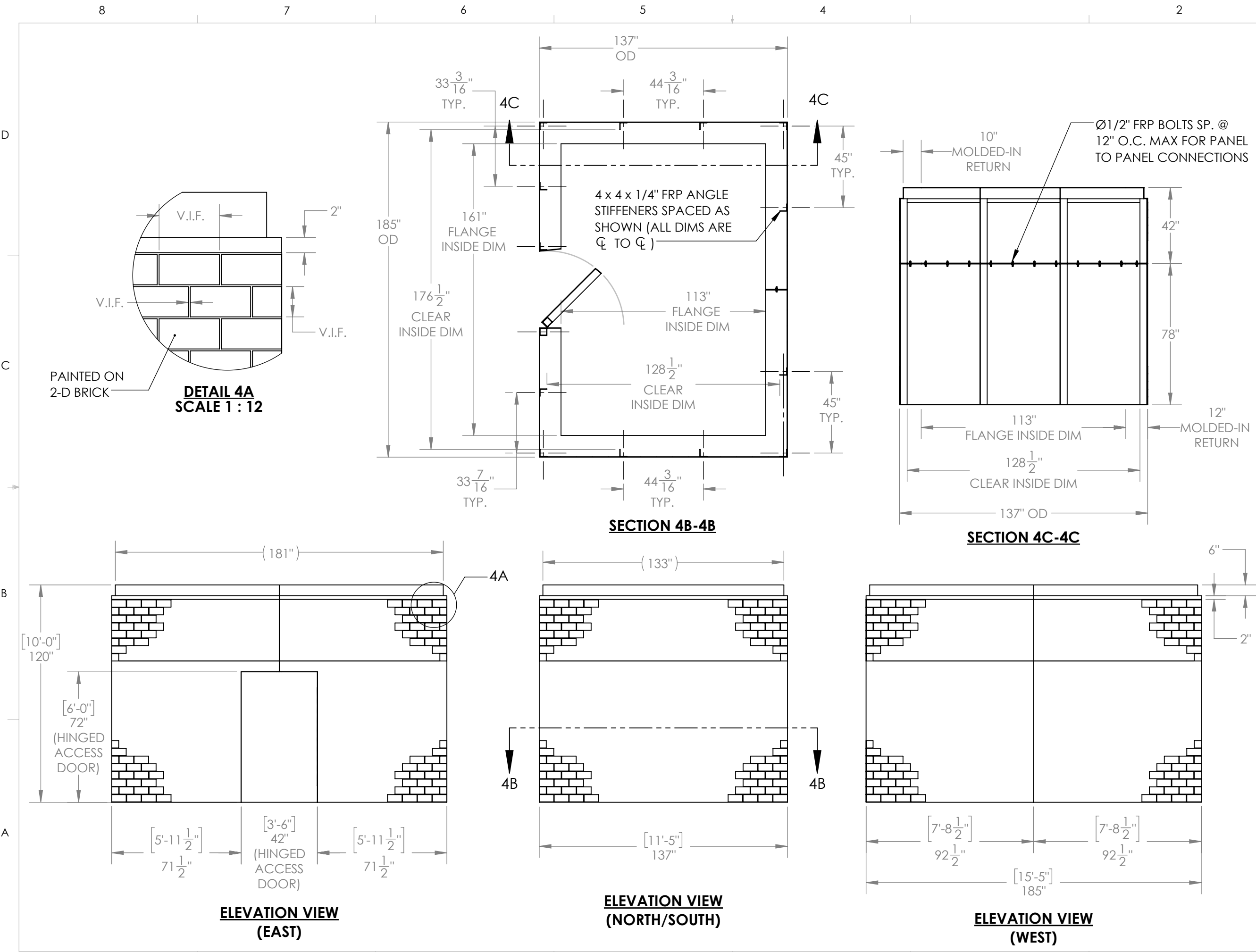
Scale: **1:60** Sheet # **3 OF 5**

Drawn By: **RFR** Drawn Date: **12/21/17**

Tolerance:
Fractions ± 1/4" Angles ± 1°

Last Saved:
Thursday, December 21, 2017 1:55:10 PM

PROPRIETARY AND CONFIDENTIAL - THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF PEABODY ENGINEERING. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF PEABODY ENGINEERING IS PROHIBITED.





PEABODY
engineering
The Cell Site Disguise Guys™
No Boundaries.™

13435 Estelle St.
Corona, Ca. 92879
P: (951) 734.7711 F: (951) 734.4111

Customer:
DESIGN 1

Carrier / Site #
VERIZON LOC.# 380007

Project Name:
MINC STRAWBERRY

Material: **FIBERSCREEN™**

Finish: **2-D BRICK**

Rev:

REV.	DATE	DESCRIPTION
B	12/21/17	REMOVED WINDOWS PER CITY REQUEST - RFR
A	06/22/16	INITIAL DRAWINGS - MTC

Stamp:

Sheet Title / Description:
ELEVATION VIEWS

Scale: 1:50	Sheet # 4 OF 5
Drawn By: RFR	Drawn Date: 12/21/17

Tolerance:
Fractions ± 1/4" Angles ± 1°

Last Saved:
Thursday, December 21, 2017 1:55:10 PM

PROPRIETARY AND CONFIDENTIAL - THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF PEABODY ENGINEERING. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF PEABODY ENGINEERING IS PROHIBITED.



13435 Estelle St.
Corona, Ca. 92879
P: (951) 734.7711 F: (951) 734.4111

Customer:
DESIGN 1

Carrier / Site #
VERIZON LOC.# 380007

Project Name:
MINC STRAWBERRY

Material: **FIBERSCREEN™**

Finish: **2-D BRICK**

Rev:

REV.	DATE	DESCRIPTION
B	12/21/17	REMOVED WINDOWS PER CITY REQUEST - RFR
A	06/22/16	INITIAL DRAWINGS - MTC

Stamp:

Sheet Title / Description:

INSTALLATION DETAILS

Scale: **1:48** Sheet # **5 OF 5**

Drawn By: **RFR** Drawn Date: **12/21/17**

Tolerance:
Fractions ± 1/4" Angles ± 1°

Last Saved:
Thursday, December 21, 2017 1:55:10 PM

PROPRIETARY AND CONFIDENTIAL - THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF PEABODY ENGINEERING. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF PEABODY ENGINEERING IS PROHIBITED.

8

7

6

5

4

2

1

D

D

C

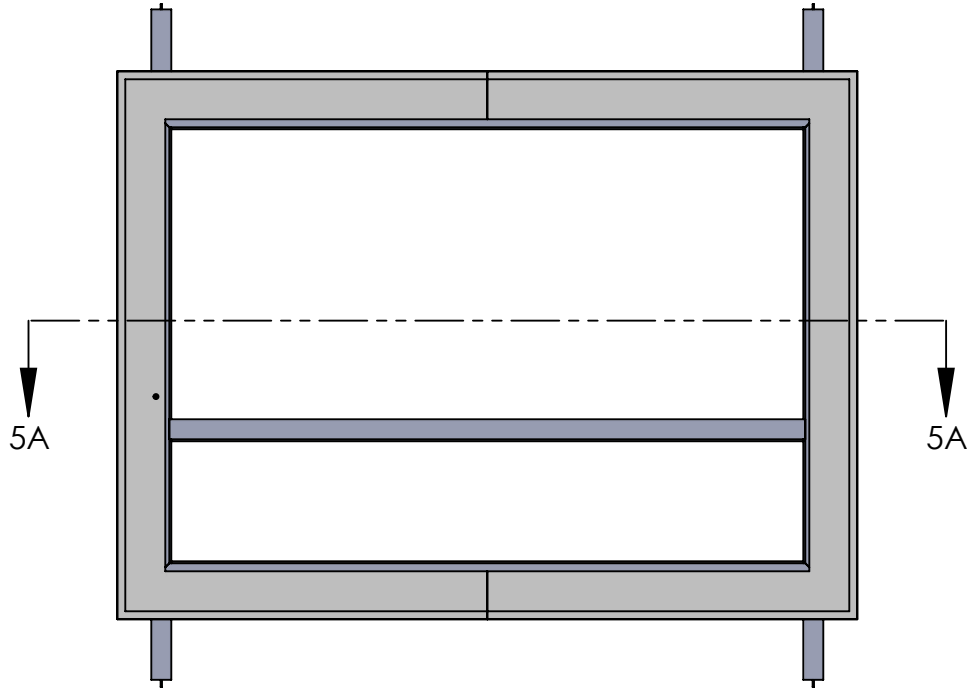
C

B

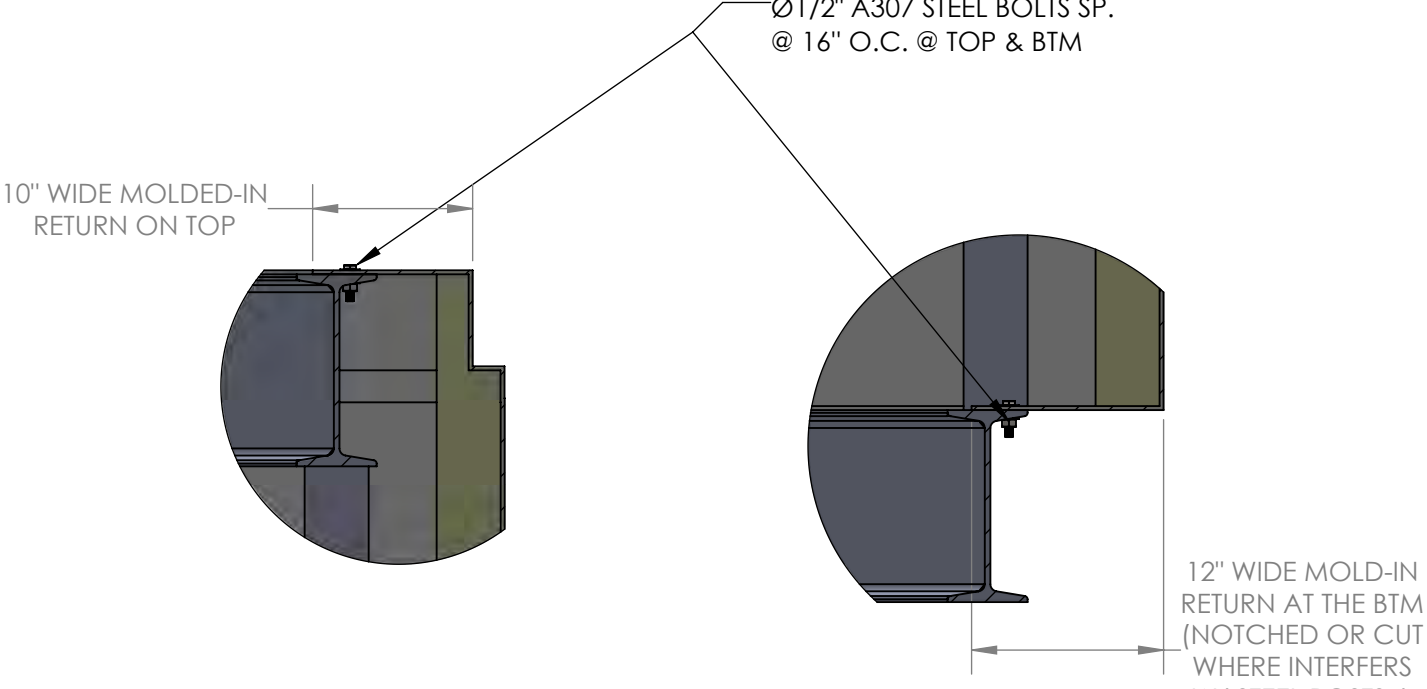
B

A

A

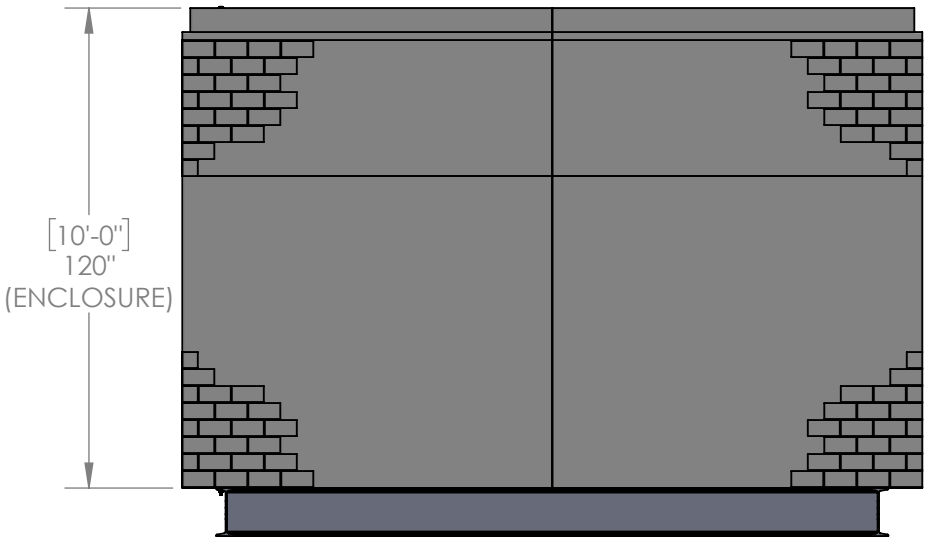


PLAN VIEW

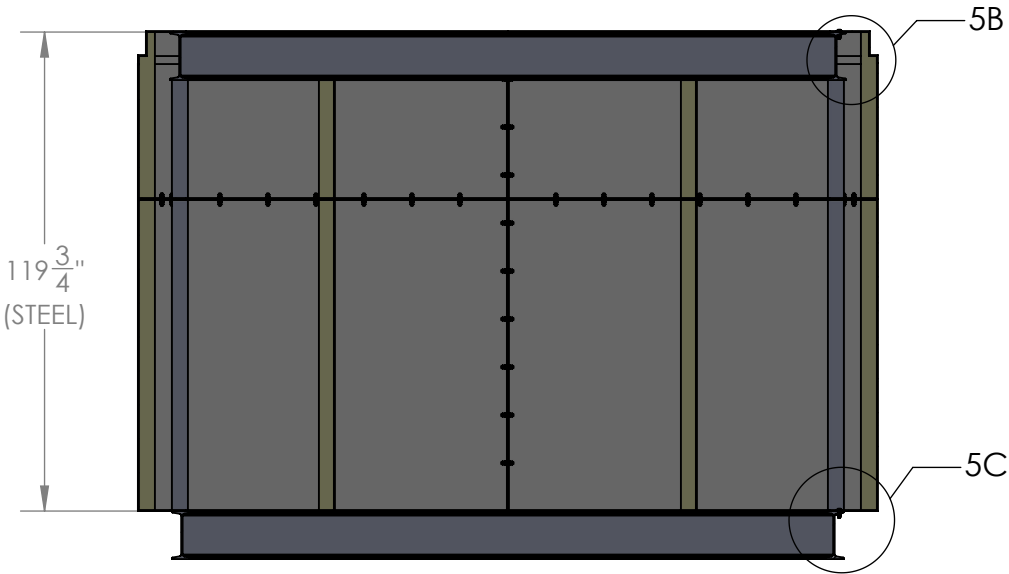


**DETAIL 5B
SCALE 1 : 12**

**DETAIL 5C
SCALE 1 : 12**



ELEVATION VIEW



SECTION 5A-5A

CODE STUDY SUMMARY - 2012 INTERNATIONAL BUILDING CODE

NOTE– this code study is related to the floor, ceiling, walls, and roof structure, mechanical, and electrical equipment and furnishings illustrated as part of the building in the design drawings provided by Enviro Buildings, Inc. and unless otherwise noted excludes foundations, sitework, and other contiguous design and construction by others

TOPIC	CODE REFERENCE	DESCRIPTION OF CODE COMPLIANCE
OccupancySection	304	Group B – "Telephone Exchanges" and "Electronic Data Processing" use as telecommunications equipment enclosure
Construction TypeTable	503	Type II–B as allowed up to 23,000 SF and 4 stories for this building’s area as indicated in the drawings.
Bldg Element Fire Resistance Ratings	Table 601	All structural frame, interior and exterior bearing walls, interior and exterior non–bearing walls, floor, and roof construction may be of non–rated construction subject to Construction type II–B limitations and fire separation distance constraints.
Fire Separation Distance	Table 602	For fire separation distances greater than or equal to 10’, this Group B occupancy, type II–B construction requires no rated fire separations. Fire separations of 1 hour rated construction are required for separations less than 10’ but greater than 5’. For separations less than 5’, appropriate based fire separation is required in accordance with Chapter 3.
Exterior Wall Openings	Table 704.8	Unprotected wall openings are not limited unless the building fire separation distance is less than 5’. Wall openings are prohibited where separation is under 5’.
Interior Wall & Ceiling Finish	Table 803.5	Materials are required to be of Class A, B, or C flame spread index.
Automatic Sprinkler System	Section 903	Sprinklers are not required in B occupancy buildings compliant with height and area limitations of Table 503.
Fire Alarm & Detection	System907.2.2	Manual fire alarm systems are required in Group B occupancies with 500 or more occupants. Occupancy of this building is no more than WxL/100, or 4. Thus, no fire alarm and/or detection system is required.
Egress	1008.1.1	The minimum clear width of a required exit door shall be not less than 32 inches with a minimum height of 80”
Exit Signs	1011.1	No exit signs are required in buildings requiring only one exit.
Egress Illumination	1006.1, 1006.2, 1006.3	Interior and exterior egress illumination to a level not less than 1 footcandle at the floor level is required at each required egress door. Emergency power is required for egress lighting only for buildings required to have two or more exits.
Number of Required Exits	Section 1015	B occupancies with fewer than 49 occupants require only one exit.
Accessibility	1103.2.9	This building and all other spaces frequented only by personnel for maintenance, repair or monitoring of equipment are not required to be accessible.
Ventilation	1203.1	Natural or mechanical ventilation is required in accordance with the International Mechanical Code. Underfloor ventilation is required in buildings
Underfloor Ventilation	1203.3.2	Where warranted by climatic conditions or when an approved ground vapor retarder, perimeter wall insulation, and environmental conditioning is provided below the building floor in accordance with the International Energy Conservation Code, no under–floor ventilation is required. This work is outside the scope of the design and construction by Enviro Buildings, Inc.
Temperature Control	1204.1	Interior spaces, such as this structure, where the primary purpose is not associated with human comfort, are not required to be provided with with space heating systems otherwise required to maintain 68°F at a point 3’ above the floor.
Artificial Light	1205.3	Artificial lighting to a level of 10 footcandles average over each room at a height of 30 inches above the floor is required.
Interior Space Dimensions	Section 1208	Habitable spaces (other than kitchens) shall not be less than 7’ in any direction with a ceiling height not less than 7’6” (or furred ceiling less than 7’)
Exterior Walls	1405.2	Approved corrosion resistant steel protection on exterior walls shall be not less than 0.0149 inches thick in accordance with Table 1405.2
Roof Assemblies	Section 1505	In accordance with Table 1505.1 this type II–B construction requires a Class C roof assembly as rated by an approved testing agency.
Structural Design	Chapter16	Preconstruction load tests have been performed by PFS Corporation as documented in their Test Report #96–41 dated 11.25.96. From this data structural calculations have been completed for the combination of dead, live, and seismic loads on the assembled structure with the recommended foundation attachment to verify performance under the environmental conditions at the site of final assembly. Copies of the load test and calculations are available from Enviro Buildings, Inc. in conjunction with integrated building, site, and foundation design ordered by the building owner or authorized agent.
Soils and Foundations	Chapter 18	Soils and foundation engineering is excluded from the design engineering provided by Enviro Buildings, Inc. except as separately authorized or indicated in the drawings.
Foam Plastic Insulation	2603.3, 2603.4.1.3	As tested by U.L. the flame spread index of 20 or less and smoke–developed index of 300 or less were achieved for foam plastic insulation board incorporated in the metal faced composite panel where flame spread of 75 or less and smoke–developed index of 450 or less are required. For this one storey non–sprinklered building under 400 SF, the same foam plastic insulation is allowed in thicknesses not exceeding 4” when the insulation is covered with a corrosion resistant steel with a minimum base metal thickness of 0.016 inch. The provided metal facing thickness is .0217”

INDEX OF SHEETS

SHEET#	DESCRIPTION
A.0	Data Sheet
A.1	Structural Detail
A.2	Structural Detail

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

JAMES A. LICHTY, ARCHITECT
8010 STATE LINE ROAD, LEAWOOD, KS 66208

CERTIFICATION OF THE DESIGN REPRESENTED IN THE ACCOMPANYING DOCUMENTS IS ONLY FOR THE WORK ILLUSTRATED AND DOES NOT EXTEND OF BUILDING COMPONENTS, SYSTEMS, SITE IMPROVEMENTS AND/OR SITE UTILITIES NOT SPECIFICALLY SHOWN.

Verizon Wireless
10801 Bush Lake Road
Bloomington MN 55438

 **ENVIRO**
BUILDINGS

325 PAYSON AVE. QUINCY, IL 62301
TEL 217-222-5453
TEL 800-728-5454
FAX 217-228-2424

PROJECT NUMBER:

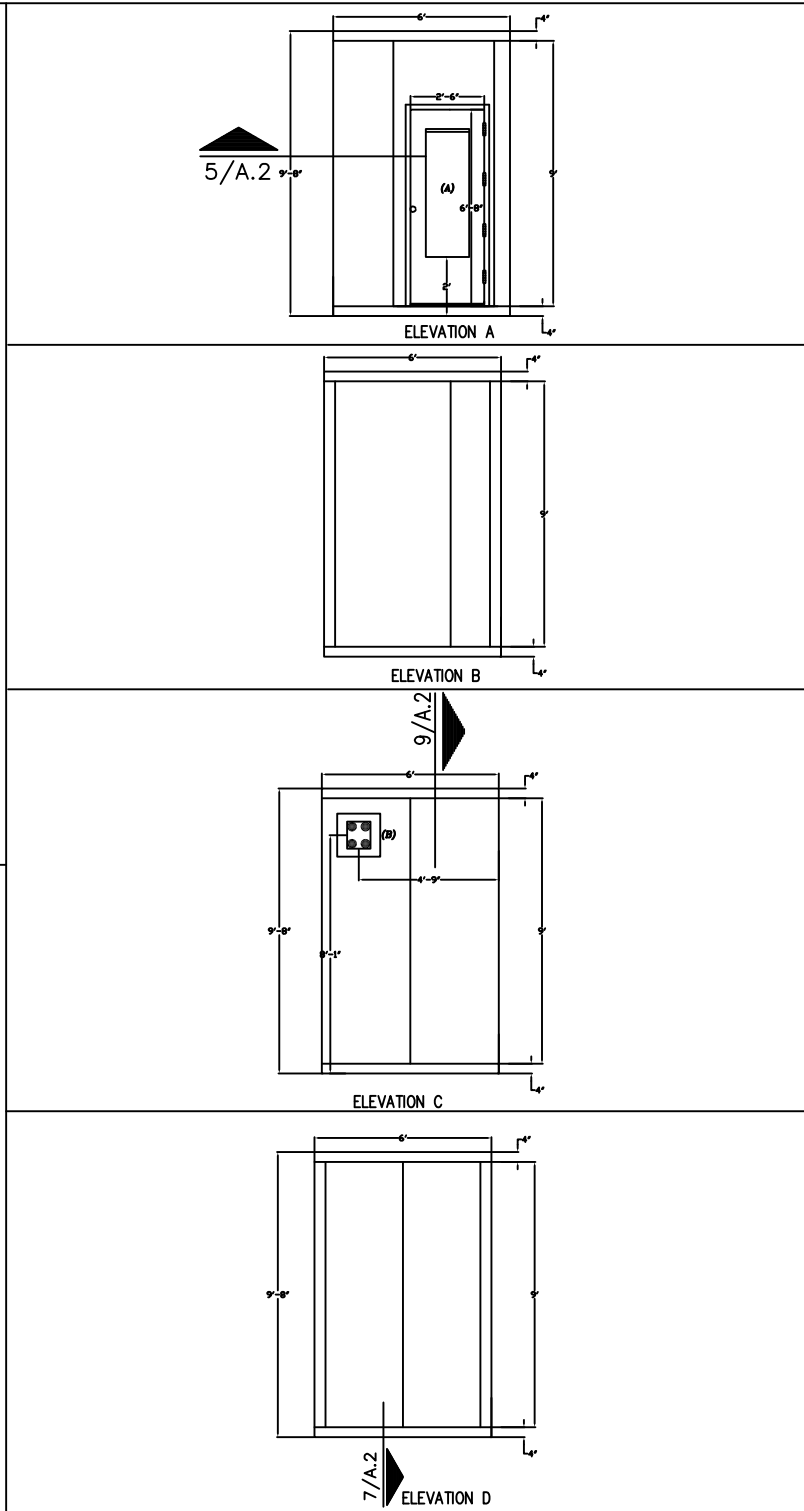
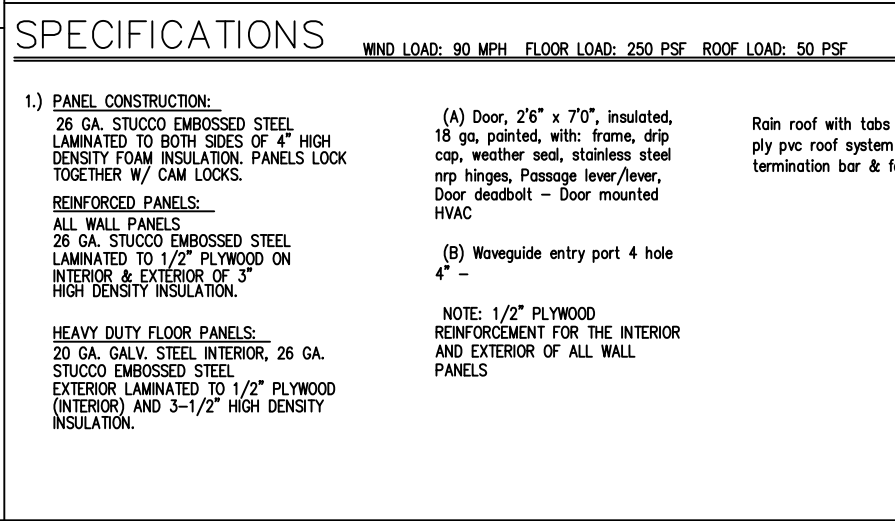
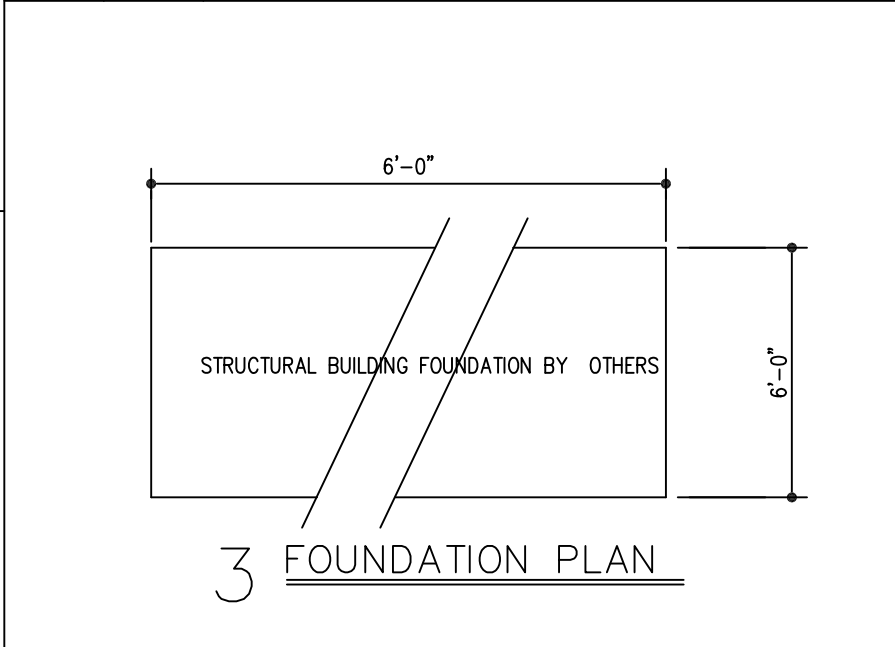
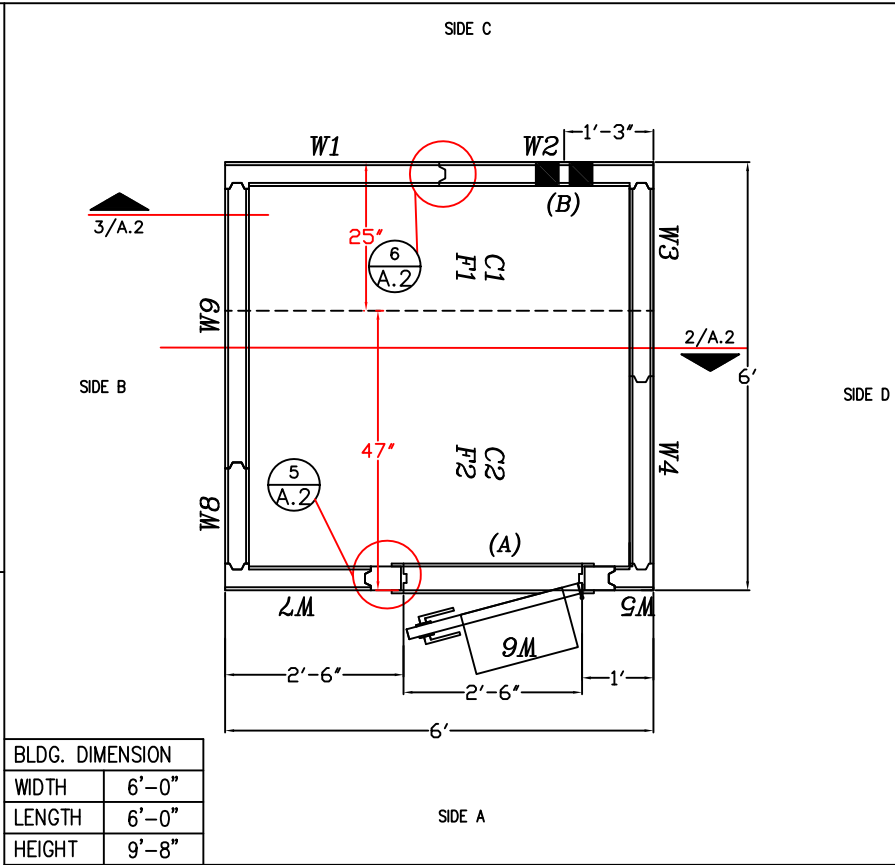
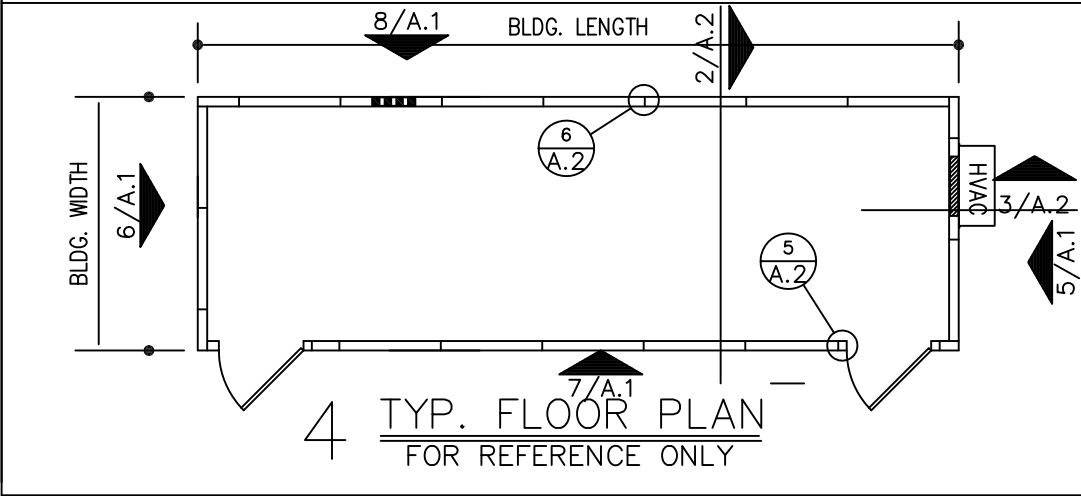
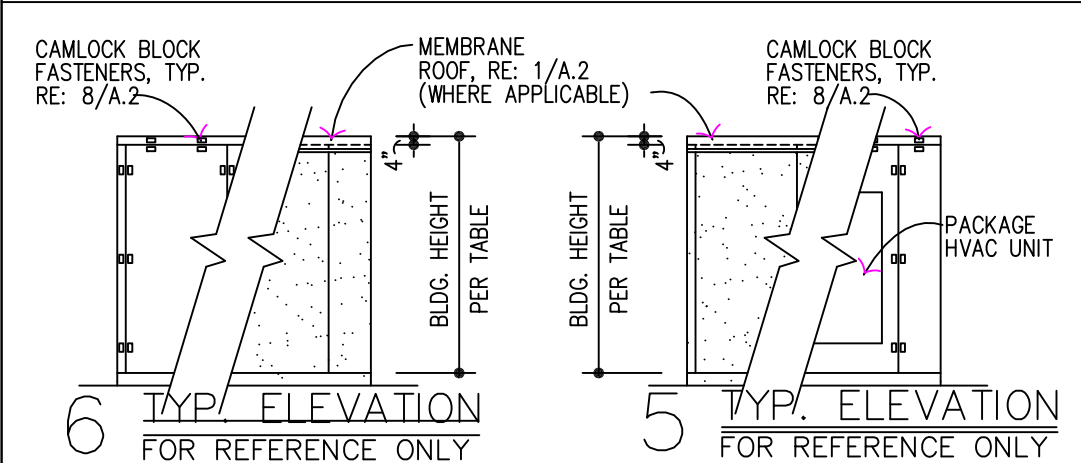
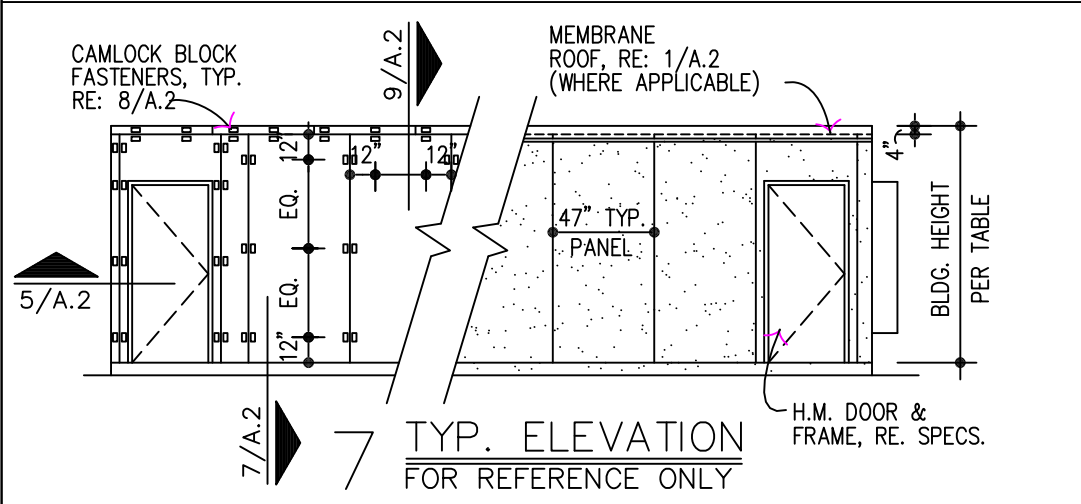
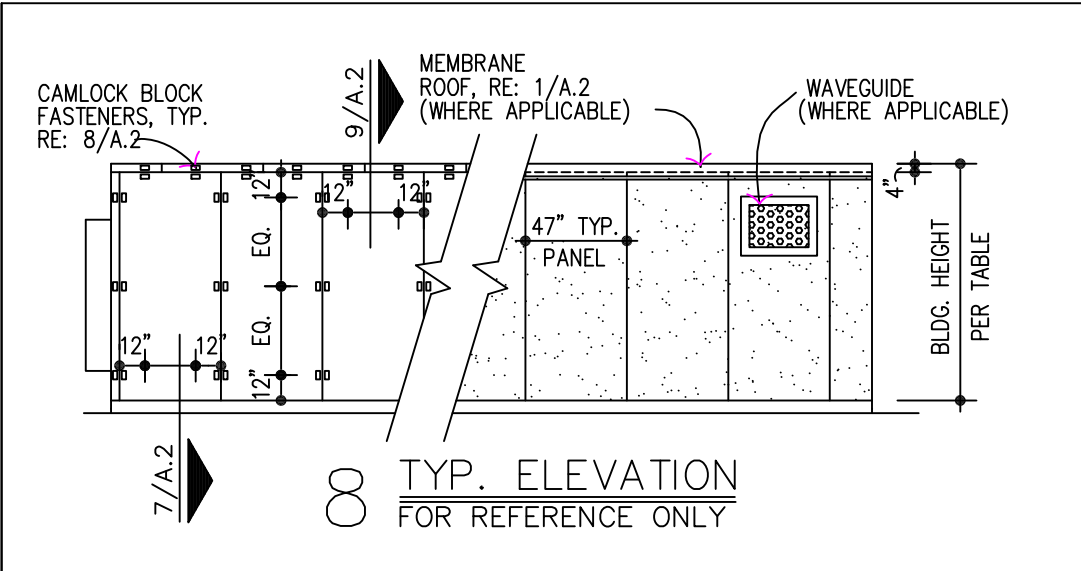
P.O. NUMBER:

ISSUANCE DATE:

QUOTE #
JOB #
DATE 6/9/2016
DRAWN SR

PROJECT VERIZON WIRELESS
SITE NAME MINC STRAWBERRY
LOCATION

CODE SUMMARY						
	1996 BOCA	1999 SBC	2001 CBC	2012 IBC	2007 OHIO BC	2007 FBC
CONST. TYPE	TYPE 5–B	VI–UNPROT.	TYPE II–N	TYPEII–B	TYPEII–B	TYPEII–B
OCCUPANCY	B	B	B	B	B	B
OCC. LOAD	1	1	1	1	1	1
ALLOWABLE AREA	7,200 S.F.	9,000 S.F.	8,000 S.F.	23,000 S.F.	23,000 S.F.	23,000 S.F.
ACTUAL AREA	36 S.F.	36 S.F.	36 S.F.	36 S.F.	36 S.F.	36 S.F.
SEISMIC ZONE	E	E	E	E	E	E
MIN. HORIZ. DISTANCE SEPARATION	10 FEET	3 FEET	20 FEET	10 FEET	10 FEET	10 FEET



I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

JAMES A. LICHTY, ARCHITECT
8010 STATE LINE ROAD, LEAWOOD, KS 66208

CERTIFICATION OF THE DESIGN REPRESENTED IN THE ACCOMPANYING DOCUMENTS IS ONLY FOR THE WORK ILLUSTRATED AND DOES NOT EXTEND OF BUILDING COMPONENTS, SYSTEMS, SITE IMPROVEMENTS AND/OR SITE UTILITIES NOT SPECIFICALLY SHOWN.

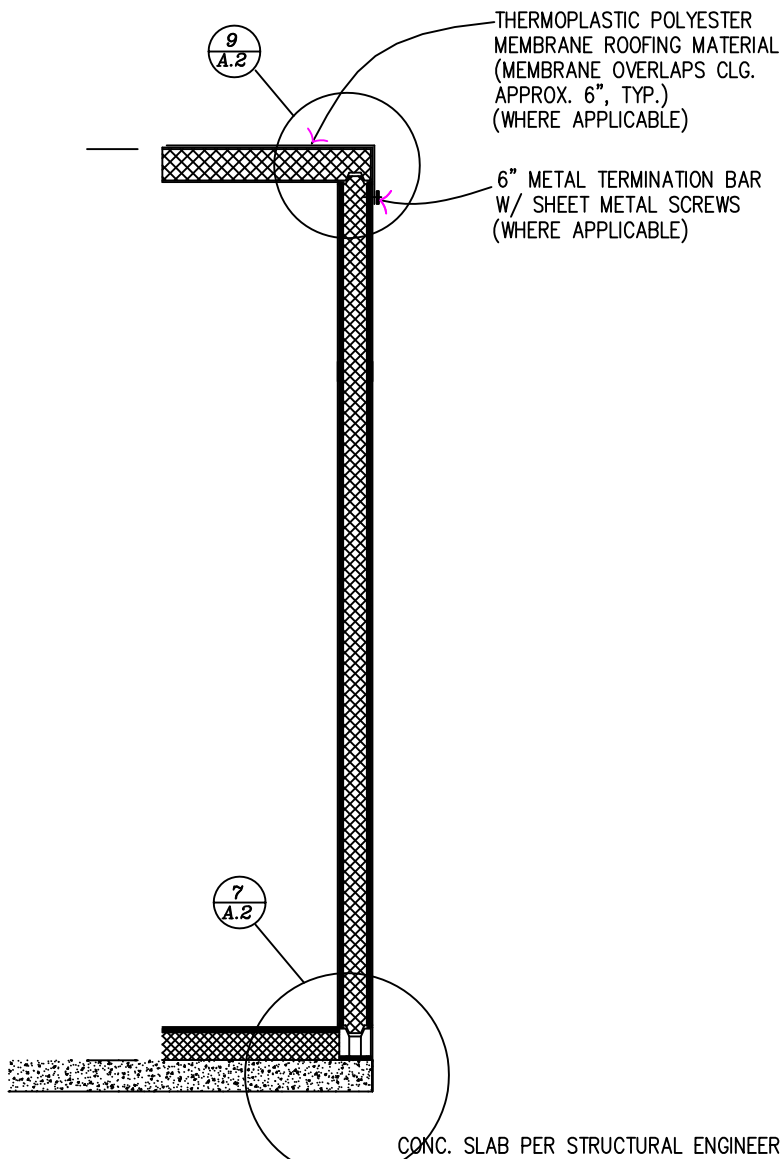
Verizon Wireless
10801 Bush Lake Road
Bloomington MN 55438

ENVIRO BUILDINGS
325 PAYSON AVE. QUINCY, IL 62301
TEL 217-222-5453
TEL 800-728-5454
FAX 217-228-2424

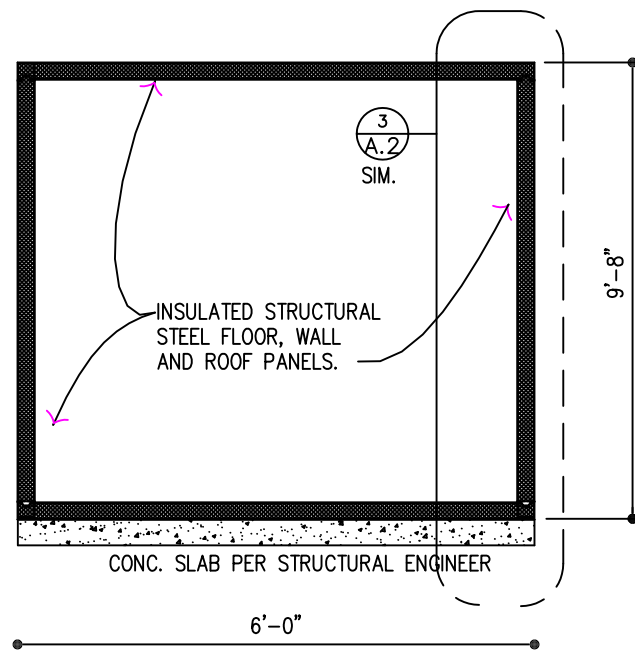
PROJECT NUMBER: P.O. NUMBER:

ISSUANCE DATE:

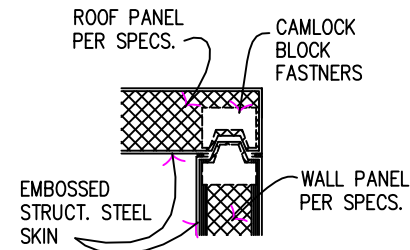
QUOTE # JOB # DATE 7/21/2016 DRAWN SR PROJECT VERIZON WIRELESS SITE NAME MNC STRAWBERRY LOCATION



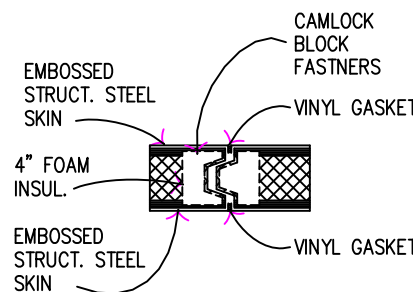
3 TYPICAL WALL SECTION



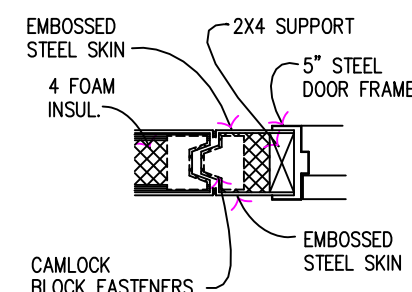
2 TYP. BUILDING SECTION



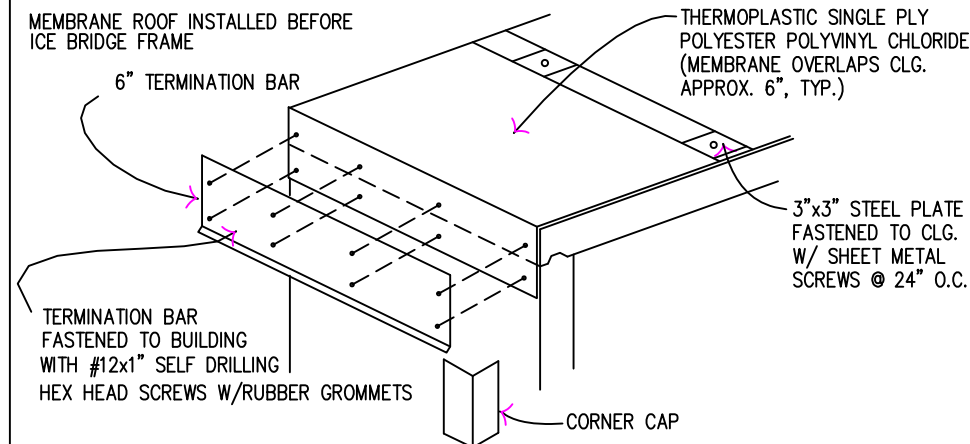
9 TYP. WALL/ROOF DTL.



6 TYP. WALL JOINT DTL.

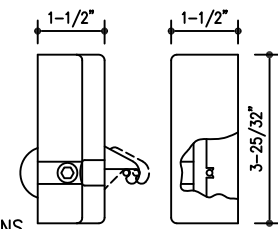


5 TYP. DR. JAMB SECT.



1 MEMBRANE ROOF (WHERE APPLICABLE)

- BLOCK FASTENERS
1. KASON MODEL #1152 OR SIMILAR
 2. HIGH IMPACT POLYSTYRENE
 3. ZINC PLATED STEEL HOOK & PIN
 4. HIGH PRESSURE DIE-CAST
 5. LOAD OF 330 LBS CAUSED 1/4" GAP BETWEEN PANELS
 6. LOAD OF 375 LBS CAUSED THE HOOK TO PULL THROUGH THE SKINS



8 TYP. CAMLOCK BLOCK FASTENERS RE. 5/A.2, 6/A.2, 7/A.2

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

JAMES A. LICHTY, ARCHITECT
8010 STATE LINE ROAD, LEAWOOD, KS 66208

CERTIFICATION OF THE DESIGN REPRESENTED IN THE ACCOMPANYING DOCUMENTS IS ONLY FOR THE WORK ILLUSTRATED AND DOES NOT EXTEND OF BUILDING COMPONENTS, SYSTEMS, SITE IMPROVEMENTS AND/OR SITE UTILITIES NOT SPECIFICALLY SHOWN.

Verizon Wireless
10801 Bush Lake Road
Bloomington MN 55438

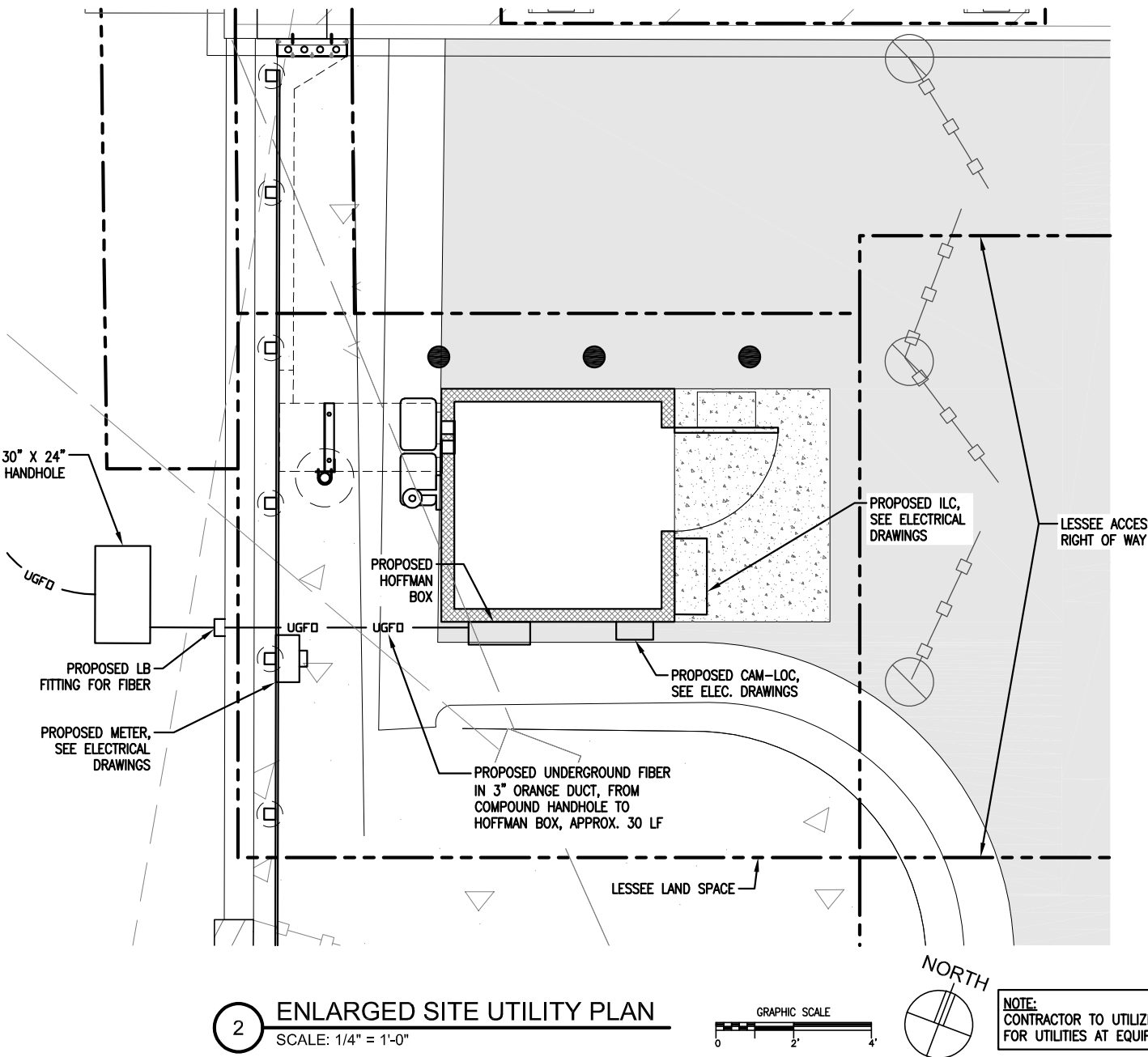
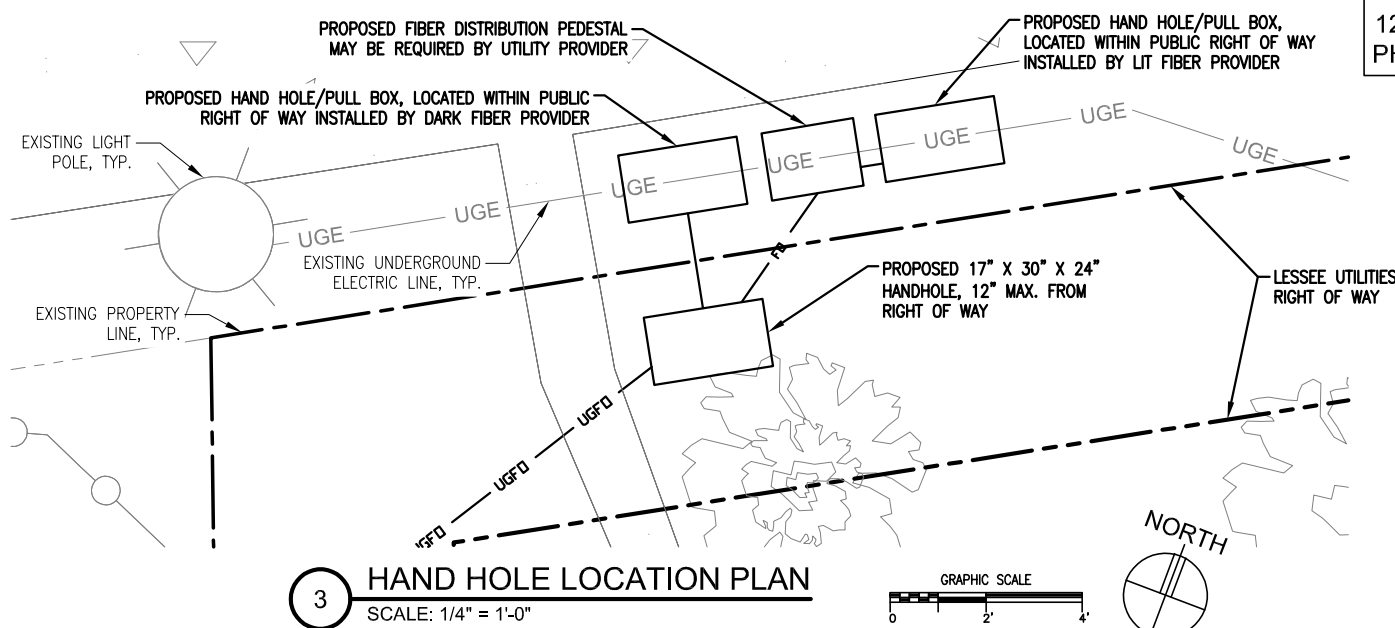
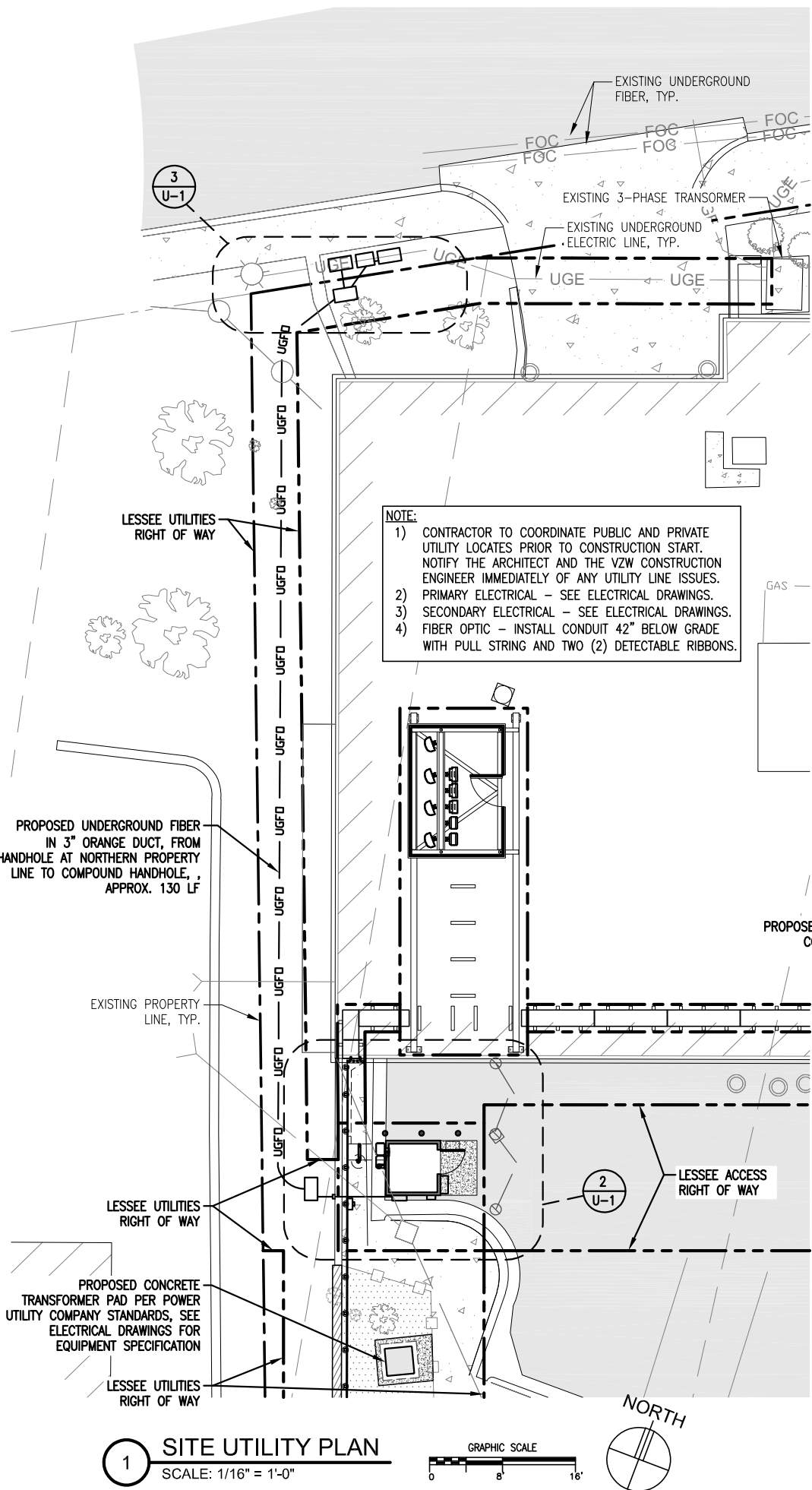


325 PAYSON AVE. QUINCY, IL 62301
TEL 217-222-5453
TEL 800-728-5454
FAX 217-228-2424

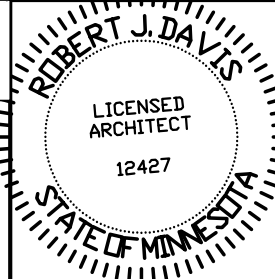
PROJECT NUMBER: P.O. NUMBER:

ISSUANCE DATE:

QUOTE #
JOB #
DATE 7/14/2016
DRAWN SR
PROJECT VERIZON WIRELESS
SITE NAME MNC STRAWBERRY
LOCATION



POWER TYPE:
120/240V, SINGLE
PHASE, 200 AMPS



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the State of Minnesota, ROBERT J. DAVIS, Reg. No. 12427

Signed: *Robert J. Davis*
12-28-17
Date:

DESIGN1
9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

verizon
10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

PROJECT
20151187518
LOCATION CODE: 380007

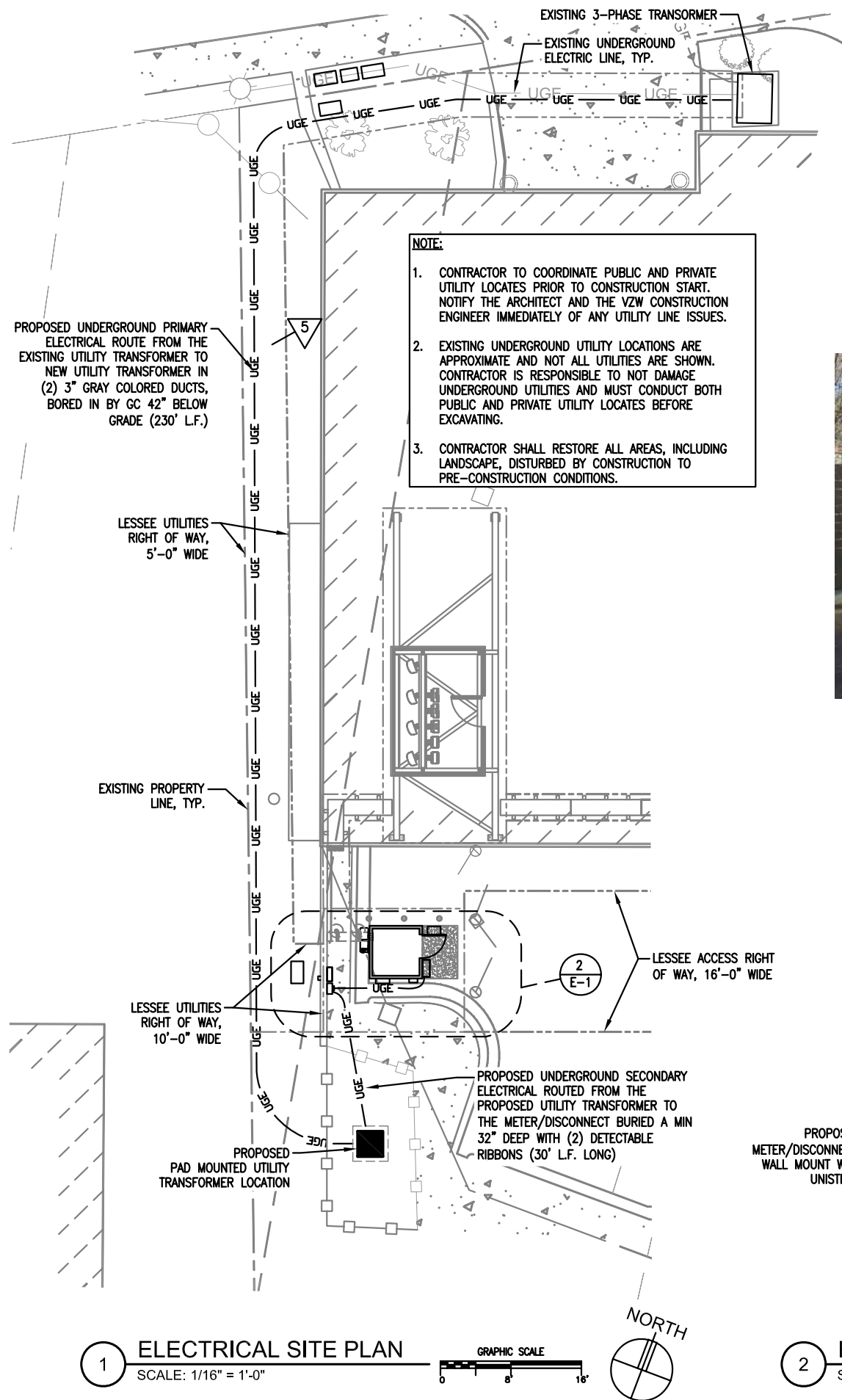
MINC
STRAWBERRY

1000 SUPERIOR BLVD
WAYZATA, MN 55391

SHEET CONTENTS:
SITE UTILITY PLAN
ENLARGED SITE UTILITY PLAN
HAND HOLE LOCATION PLAN

DRAWN BY:	DJS
DATE:	04-07-15
CHECKED BY:	MJS
REV. A	06-10-16
REV. B	07-26-16
REV. C	12-16-16
REV. D	01-09-17
REV. E	12-28-17

U-1

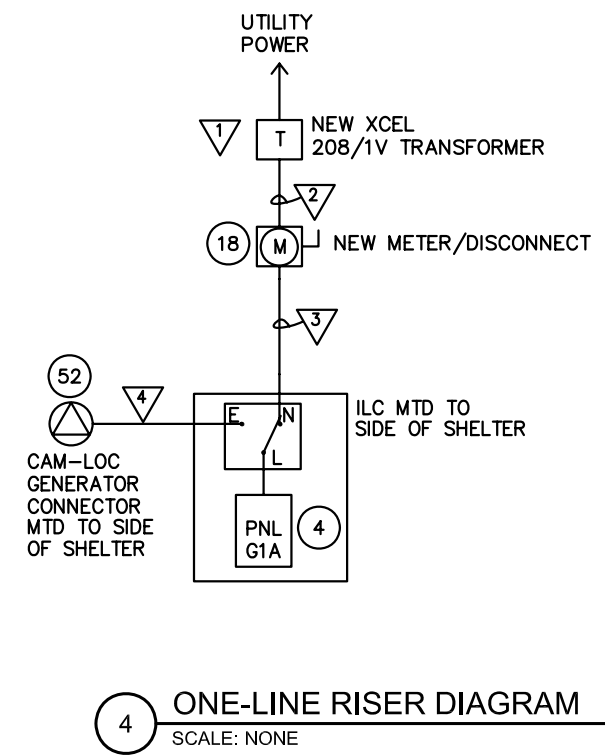
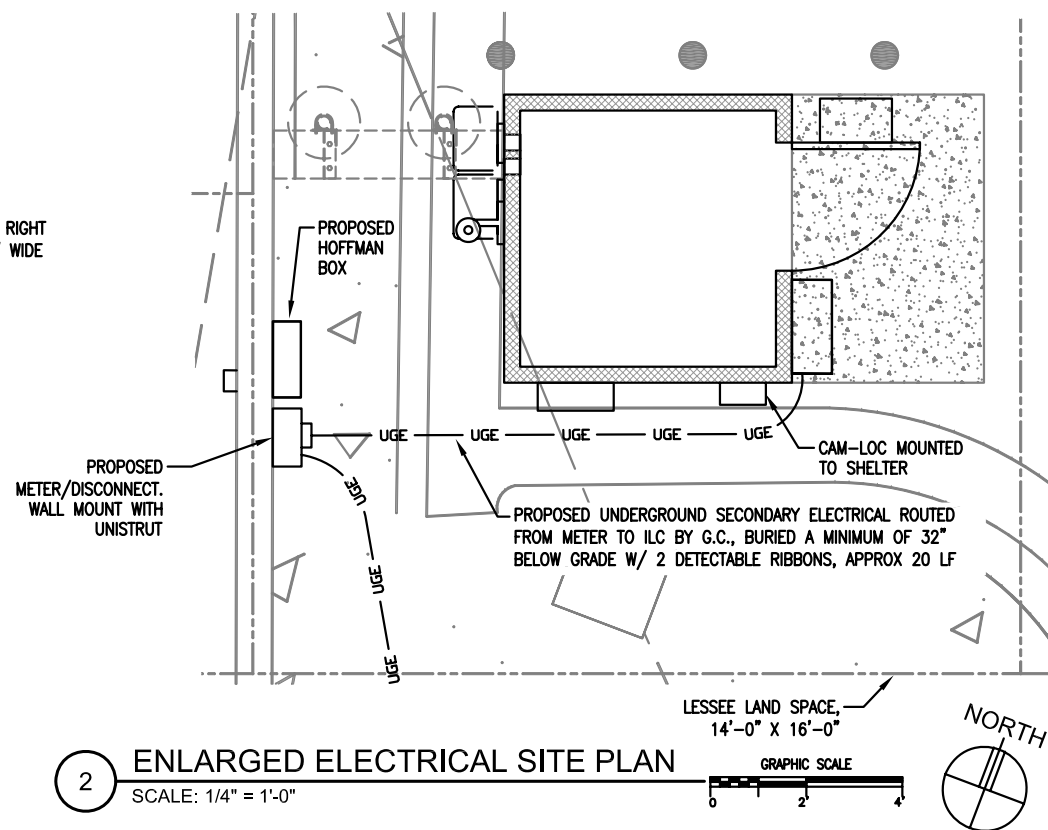


KEYED NOTES

- XCEL ENERGY IS THE UTILITY. XCEL WILL TAP OFF AN EXISTING 3 PHASE TRANSFORMER AND RUN PRIMARY POWER TO A NEW SINGLE PHASE TRANSFORMER LOCATED APPROXIMATELY WHERE SHOWN. GC TO PROVIDE (2) 3" DUCTS FOR XCEL TO RUN THEIR PRIMARY. THE TWO PRIMARY DUCTS TO BE EITHER GRAY, RED OR BLACK WITH A RED LINE. ROUTE FROM R.O.W. AREA ALONG SUPERIOR BOULEVARD TO THE NEW UTILITY TRANSFORMER LOCATION. DUCTS ARE TO BE 42" BELOW GRADE. VERIFY LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO BORING. PROVIDE SECONDARY UNDERGROUND FEEDER FROM TRANSFORMER TO NEW METER/DISCONNECT. SEE DETAIL 4/E-1 ONE-LINE DIAGRAM FOR FEEDER SIZING. SEE DETAIL 1/E-1 FOR PROPOSED ROUTING OF SECONDARY CONDUCTORS. COORDINATE CONNECTION AT TRANSFORMER WITH XCEL. PROVIDE ALL MATERIALS AND LABOR NOT FURNISHED BY XCEL.
- PROVIDE 2 1/2"C 2#3/0+1#1/0N+1#4G ROUTED U.G. FROM NEW UTILITY TRANSFORMER SECONDARY TO METER/DISCONNECT ON WALL.
- PROVIDE 2 1/2"C 2#3/0+1#1/0N+1#6G ROUTED U.G. FROM METER/DISCONNECT TO ILC.
- PROVIDE 2"C 2#3/0+1#1/0N+1#6G FROM ILC TO CAMLOC GENERATOR CONNECTOR MOUNTED ON SIDE OF SHELTER.
- TELCO ROUTE. PROVIDE TELCO RACEWAY REQUIREMENTS PER SPECIFICATIONS. SEE UTILITY SHEETS FOR TELCO INFORMATION.



3 SHELTER LOCATION PHOTO
SCALE: NONE



POWER TYPE:
120/240V, SINGLE
PHASE, 200 AMPS



CERTIFICATION
I HEREBY CERTIFY THAT THIS DRAWING
WAS PREPARED BY ME OR UNDER MY
DIRECT SUPERVISION AND THAT I AM A
LICENSED PROFESSIONAL ENGINEER UNDER THE
LAWS OF THE STATE OF MINNESOTA.
Dennis D. Buswell
REG. NO. 20681



Buswell Companies, Inc.
16026 Minnetonka Blvd., St. 100
Minnetonka, MN 55345-1301
952-931-2111
www.buswellcompanies.com



9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM



10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

PROJECT
20151187518
LOC. CODE# 380007

**MINC
STRAWBERRY**

1000 SUPERIOR BLVD
WAYZATA, MN 55391

SHEET CONTENTS:
ELECTRICAL SITE PLAN
AND DETAILS

DRAWN BY: AB
DATE: 07-20-16
CHECKED BY: DB
REV. A 06-10-16
REV. B 07-26-16

E-1

GENERAL ELECTRICAL NOTES:

1. SUBMITTAL OF BID INDICATES CONTRACTOR IS AWARE OF ALL JOB SITE CONDITIONS AND WORK TO BE PERFORMED UNDER THIS CONTRACT.

2. CONTRACTOR SHALL PERFORM ALL VERIFICATION OBSERVATION TESTS, AND EXAMINE WORK PRIOR TO THE ORDERING OF THE ELECTRICAL EQUIPMENT AND THE ACTUAL CONSTRUCTION. CONTRACTOR SHALL ISSUE A WRITTEN NOTICE OF ALL FINDINGS TO THE ARCHITECT LISTING ALL MALFUNCTIONS, FAULTY EQUIPMENT AND DISCREPANCIES.

3. HEIGHTS SHALL BE VERIFIED WITH OWNER PRIOR TO INSTALLATION.

4. THESE PLANS ARE DIAGRAMATIC ONLY. FOLLOW AS CLOSELY AS POSSIBLE.

5. EACH CONDUCTOR OF EVERY SYSTEM SHALL BE PERMANENTLY TAGGED IN EACH PANELBOARD, PULLBOX, J-BOX, SWITCH BOX,

6. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, INSURANCE, EQUIPMENT, INSTALLATION, CONSTRUCTION TOOLS, TRANSPORTATION, ETC., FOR A COMPLETE AND PROPERLY OPERATIVE SYSTEM ENERGIZED THROUGHOUT AND AS INDICATED ON DRAWINGS,

7. ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND IN PERFECT CONDITION WHEN INSTALLED AND SHALL BE OF THE BEST GRADE AND OF THE SAME MANUFACTURER THROUGHOUT FOR EACH CLASS OR GROUP OF EQUIPMENT. MATERIALS SHALL BE LISTED AND APPROVED BY U.L. MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH STANDARDS ESTABLISHED BY ANSI, NEMA AND NBFU.

8. CONTRACTOR SHALL CARRY OUT HIS WORK IN ACCORDANCE WITH ALL GOVERNING STATE, COUNTY AND LOCAL CODES.

9. CONTRACTOR SHALL SECURE ALL NECESSARY BUILDING PERMITS.

10. COMPLETE JOB SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF JOB ACCEPTANCE BY OWNER. ANY WORK, MATERIAL OR EQUIPMENT FOUND TO BE FAULTY DURING THAT PERIOD SHALL BE CORRECTED AT ONCE, UPON WRITTEN NOTIFICATION, AT THE EXPENSE OF THE CONTRACTOR.

11. ALL CONDUIT SHALL HAVE A PULL WIRE.
12. PROVIDE CONSTRUCTION MANAGER WITH ONE SET OF COMPLETE ELECTRICAL "AS-BUILT" DRAWINGS AT THE COMPLETION OF THE JOB, SHOWING ACTUAL DIMENSIONS, ROUTINGS, AND CIRCUITS.

13. ALL BROCHURES, OPERATING MANUALS, CATALOGS, SHOP DRAWINGS, ETC. SHALL BE TURNED OVER TO OWNER AT JOB COMPLETION.

14. MULTI-WIRE CIRCUITS WITH COMMON NEUTRAL CONDUCTOR SHALL NOT BE ALLOWED.

15. ALL CONDUCTORS SHALL BE COPPER. WIRE SMALLER THAN #6 AWG TO BE STRANDED, THHN CONDUCTORS. EXCEPTION: AWG TELCO WIRE AND #12/#14 AWG WIRE USED FOR A.C. CONTROLS TO BE SOLID COPPER.

16. ALL ELECTRICAL EQUIPMENT SHALL HAVE AN INTERRUPTING RATING NOT LESS THE MAXIMUM SHORT CIRCUIT CURRENT TO WHICH THEY MAY BE SUBJECTED, AND A MINIMUM OF 10,000 A.I.C.

17. THE ELECTRICAL SYSTEM SHALL BE GROUNDED AND BONDED AS REQUIRED BY ALL APPLICABLE CODES. A SEPARATE GREEN GROUNDING CONDUCTOR SHALL BE "PIGTAILED" AT EACH J-BOX, WITH A SEPARATE PIGTAIL TO A GREEN GROUNDING SCREW ATTACHED TO THE "TAPPED" 10-32 HOLE IN THE BOX. ADDITIONALLY, ANOTHER GREEN PIGTAIL IS TO BE FASTENED TO ALL YOKES OF DEVICES, AND TO METAL CASES OF LIGHTING FIXTURES. THE USE OF GROUNDING CLIPS IS NOT ACCEPTABLE.

18. RECEPTACLES SHALL BE 20 AMPERE, 125 VOLT A.C., SPECIFICATION GRADE, WHITE.

19. WALL SWITCHES SHALL BE SINGLE-POLE, HUBBELL #1201 OR EQUIVALENT, WHITE.

20. PLASTIC PLATES FOR ALL SWITCHES, RECEPTACLES, TELEPHONE AND BLANKED OUTLETS, SHALL HAVE ENGRAVED LETTERING. WEATHERPROOF RECEPTACLES SHALL HAVE RACO #800, 1/2" RAISED WORK COVERS.

21. CONDUCTORS SHALL BE COPPER #12 AWG MINIMUM, NO BX OR ROMEX CABLE IS PERMITTED.

22. NOT USED.
23. METER SOCKET AMPERES, VOLTAGE, NUMBER OF PHASES SHALL BE AS NOTED ON THE DRAWINGS. MANUFACTURED BY SQUARE D CO. OR APPROVED EQUAL. IF HOST FACILITY REQUIRES THE NEW SERVICE TO BE SUB-METERED FROM THE EXISTING SERVICE, SUB-METER SHALL BE OF THE 10xOR 16x TYPE.

24. ALL MATERIALS SHALL BE U.L. LISTED.

25. CONDUIT:

A. SERVICE CONDUITS SHALL BE GRAY SCH.40 PVC BURIED MIN. 36", EXCEPT THAT SCH.80 SHALL BE USED UNDER ROADWAYS AND IN LOCATIONS SUBJECT TO IMPACTS. BENDS SHALL BE MADE USING "WIDE SWEEP" (12" MIN. RADIUS) ELBOW FITTINGS. ANY RIGID STEEL CONDUIT SHALL BE U.L. LABEL, MIN. 36" BELOW GRADE, WITH "SWEEP" ELBOWS (12"R.MIN.) ENDING IN PVC TRANSITION FITTINGS. RIGID CONDUIT IN CONTACT WITH EARTH SHALL BE 1/2 LAP-WRAPPED WITH HUNTS PROCESS NO. 3 EXTENDING MIN. 12" ABOVE GRADE.

B. INTERIOR CONDUITS SHALL BE EMT; FITTINGS SHALL BE RING COMPRESSION TYPE.

C. SEALTITE FLEXIBLE METALLIC CONDUIT MAY BE USED WHERE PERMITTED BY CODE. FITTINGS SHALL BE "JAKE" OR "SQUEEZE" TYPE. SEALTITE CONDUIT SHALL EXCEED SIX FEET IN LENGTH. WHEN EXPOSED TO WEATHER, THEN USE UV RESISTANT FLEXIBLE NONMETALIC LIQUIDTITE CONDUIT.

26. ELECTRICAL EQUIPMENT SHALL BE LABELED WITH PERMANENT ENGRAVED PLASTIC LABELS.

27. REPAIR AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF THE ELECTRICAL WORK.

28. PENETRATIONS IN FIRE RATED WALLS SHALL BE FIRE STOPPED IN ACCORDANCE WITH LOCAL BUILDING CODE.

29. DRILLING OR CORING HOLES INTO CONCRETE WALLS, WHETHER FOR FASTENING OR ANCHORING PURPOSES, OR PENETRATIONS THROUGH THE FLOOR FOR CONDUIT RUNS, PIPE RUNS, ETC., REQUIRES THAT TENDONS OR REINFORCING STEEL MUST BE SEARCHED FOR BY APPROPRIATE METHODS AND EQUIPMENT (X-RAY OR OTHER DEVICE) THAT CAN ACCURATELY LOCATE THEM. TENDONS OR REINFORCING MUST NOT BE DRILLED, CUT OR DAMAGED UNDER ANY CIRCUMSTANCES.

30. UPON COMPLETION OF WORK, CONDUCT CONTINUITY, SHORT CIRCUIT, AND FALL POTENTIAL GROUNDING TESTS FOR APPROVAL. SUBMIT TEST REPORTS TO PROJECT MANAGER. CLEAN PREMISES OF ALL DEBRIS RESULTING FROM WORK AND LEAVE WORK IN A COMPLETE AND UNDAMAGED CONDITION.

31. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY FOR CONNECTION OF BOTH TEMPORARY AND PERMANENT POWER TO THE SITE. THE TEMPORARY POWER AND ALL HOOKUP COSTS TO BE PAID BY CONTRACTOR.

32. CONTRACTOR SHALL PROVIDE LABOR AND MATERIALS AS NECESSARY TO COMPLETE THE INSTALLATION OF ANY TOWER LIGHTING SYSTEM DESCRIBED IN THE RFQ.
33. WIRE:

A. ALL 20 AMP CIRCUITS TO HAVE #12 THHN WIRING.

B. ALL 40 AMP CIRCUITS TO HAVE #8 THHN WIRING.

C. ALL 60 AMP CIRCUITS TO HAVE #6 THHN WIRING.

34. ALL DC GROUNDING CONDUCTORS TO BE TERMINATED WITH 1/4" STUD RING TYPE TERMINALS FOR THE APPROPRIATE SIZE OF WIRE.

35. PANEL SCHEDULE SHALL BE ACCURATELY IDENTIFIED AND PRINTED WITH AN ADHESIVE TYPE LABEL MAKER (KROY, BROTHER, OR EQUAL). NOTE: EMBOSSED MARKER SHALL NOT BE USED.

36. USE FLEXIBLE LIQUIDTITE NONMETALLIC CONDUIT AND FITTINGS FOR FINAL CONNECTION TO RECTIFIER CIRCUITS TO ISOLATE THE CONDUIT GROUND (SEE ALSO NEC ARTICLE 2505, WHICH SPECIFIES ALL GROUND RINGS, REBAR AND/OR UFER GROUND, AND GROUND RODS TO BE EFFECTIVELY BONDED WITH "NON-REVERSING" TYPE SPLICES).

37. SMOKE DETECTORS TO SHUT DOWN AC UNIT AND EXHAUST FAN WHEN ACTIVATED.

38. EXTERIOR GROUNDING SYSTEM FOR METER AND SERVICE BY ELECTRICAL CONTRACTOR.

39. WHEN ONE-WAY FOOTAGE FROM THE UTILITY TRANSFORMER CONNECTIONS TO THE SERVICE DISCONNECT MEANS (LINE TERMINAL LUGS) IS LESS THAN 15' AND THE UTILITY TRANSFORMER IS 2% IMPEDANCE OR LOWER; USE A FUSED DISCONNECT WITH RK1 FUSES ("SQ D" D224NRB).



CERTIFICATION

I HEREBY CERTIFY THAT THIS DRAWING WAS PREPARED BY ME, OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Dennis D. Busse

DENNIS D. BUSSE
REG. NO. 20681



Busse Companies, Inc.
16026 Minnetonka Blvd., St. 100
Minnetonka, MN 55345-1301
952-931-2111
www.bussecompanies.com



9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM



10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

PROJECT
20151187518
LOC. CODE# 380007

MINC
STRAWBERRY

1000 SUPERIOR BLVD
WAYZATA, MN 55391

SHEET CONTENTS:
ELECTRICAL
GENERAL NOTES

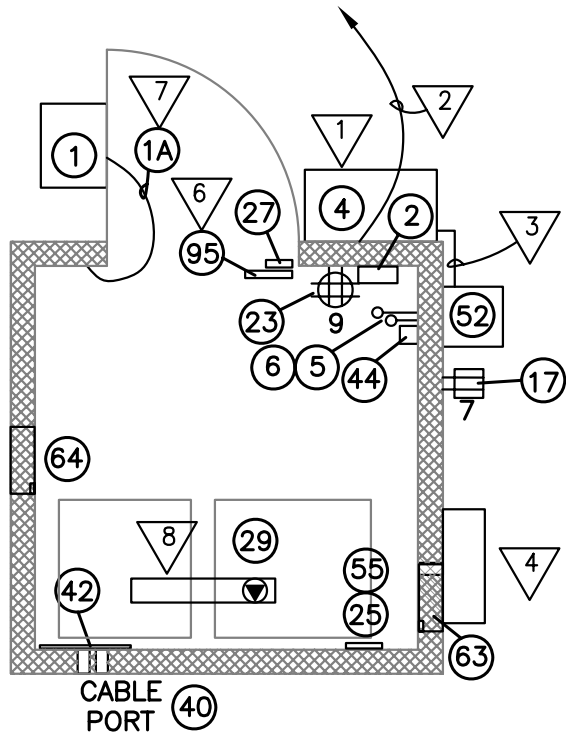
DRAWN BY:	AB
DATE:	07-20-16
CHECKED BY:	DB
REV. A	06-10-16
REV. B	07-26-16

GENERAL NOTES

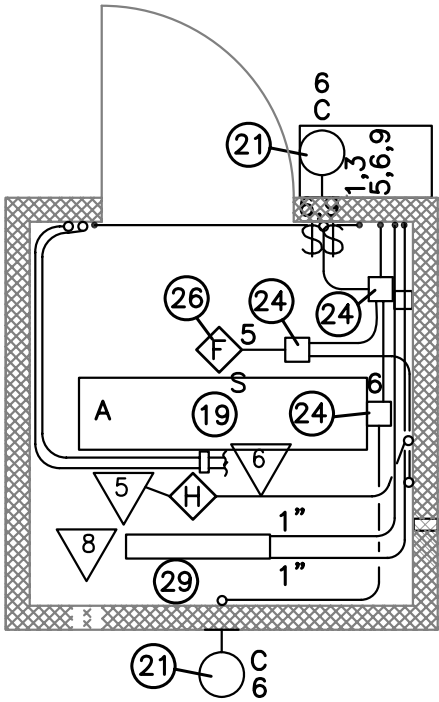
- A. REFER TO WALL ELEVATION SECTIONS SHEETS FOR MOUNTING HEIGHTS.
- B. CIRCLES WITH NUMBERS INSIDE REPRESENT EQUIPMENT NUMBERS. SEE EQUIPMENT LIST.
- C. SEE FIXTURE SCHEDULE FOR FIXTURE INFORMATION.
- D. ALL CONDUCTORS SHALL BE TYPE THHN.
- E. ALL CONDUITS TO BE 1/2" UNLESS NOTED OTHERWISE.

KEYED NOTES

- 1 PANELBOARD G1A (EQ#4).
- 2 1 1/2" EMT CONDUIT 2#3/0+1#1/0N+1#6G FROM EQ#4 UTILITY MAIN CIRCUIT BREAKER THRU LB TO METER/DISCONNECT. SEE SHEET E-1 FOR ROUTING INFORMATION.
- 3 2" EMT CONDUIT 2#3/0+1#1/0N+1#6G FROM 200A GENERATOR CIRCUIT BREAKER IN EQ#4 CABINET TO CAM-LOC MOUNTED ON SIDE OF SHELTER.
- 4 TELCO ENTRY. WALL PENETRATION LOCATION WILL BE DETERMINED ON SITE. SEE DETAIL 1/E1 FOR CONDUIT ROUTING.
- 5 HYDROGEN DETECTOR SYSTEM. MOUNT H2 SENSOR ON CEILING. MOUNT INTERFACE MODULE ON WALL. PROVIDE DC POWER FROM BATTERY CABINETS. CONNECT TO RELAY FOR CONTROL OF VENTING SYSTEM (SEE SHEET E5 CONNECTION DIAGRAM).
- 6 POWER DOOR LOCK FROM DC CABINETS. PROVIDE 4"X4" J-BOX ON CEILING WITH TWO 1/2"C FROM MASTER LOCK BOX MOUNTED ON WALL TO DC CABINETS.
- 7 CONNECT DOOR MOUNTED HVAC UNIT VIA 4' BLACK FLEXIBLE CORRUGATED SEAL TIGHT. PROVIDE 2#12+1#12G FROM UNIT TO J-BOX MOUNTED INSIDE NEXT TO DOOR. PROVIDE 4#12+1#12G FROM J-BOX TO HVAC SHUTDOWN RELAY. PROVIDE 2#12+1#12G TO CIRCUITS 1,3 IN PANEL G1A. PROVIDE 30A WP DISCONNECT IF REQUIRED BY AHJ.
- 8 PROVIDE WIREWAY WITH FOUR L6-30 TWIST LOCK RECEPTACLES MOUNTED INSIDE FOR PLUGGING IN RECTIFIERS. PROVIDE 2-1" CONDUITS FROM WIREWAY TO PANELBOARD RECTIFIER BREAKERS. LOCATE ON CEILING. SITE VERIFY EXACT LOCATION OF EQUIPMENT AND LOCATE WIREWAY ACCORDINGLY.



1 POWER PLAN
SCALE: 3/8" = 1'-0"



2 LIGHTING PLAN
SCALE: 3/8" = 1'-0"



CERTIFICATION
I HEREBY CERTIFY THAT THIS DRAWING
WAS PREPARED BY ME, OR UNDER MY
DIRECT SUPERVISION, AND THAT I AM A
DULY REGISTERED ENGINEER UNDER THE
LAWS OF THE STATE OF MINNESOTA.
Dennis D. Bussell
REG. NO. 20681



Bussell Companies, Inc.
16026 Minnetonka Blvd., St. 100
Minnetonka, MN 55345-1301
952-831-2111
www.bussellcompanies.com



9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM



10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

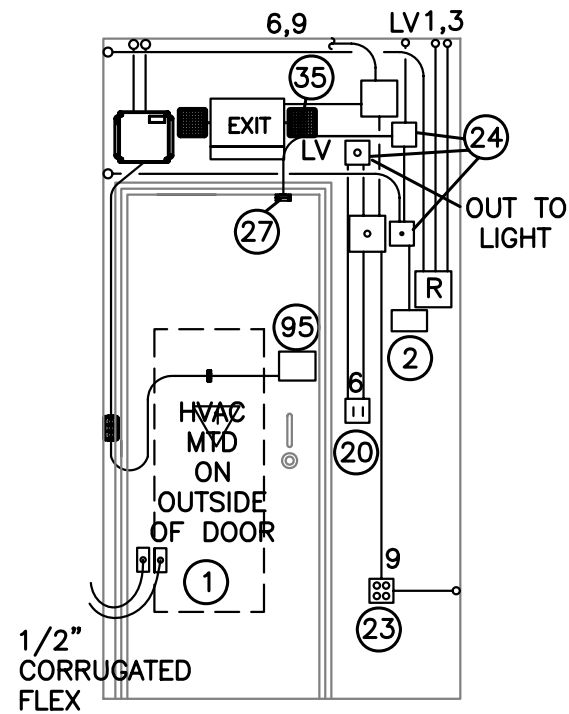
PROJECT
20151187518
LOC. CODE# 380007

**MINC
STRAWBERRY**

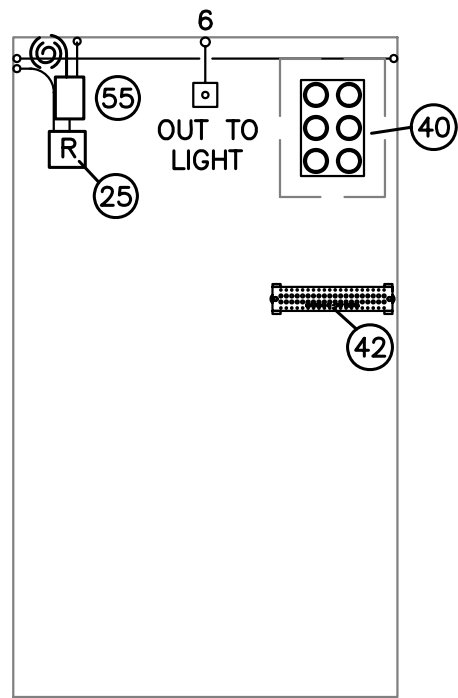
1000 SUPERIOR BLVD
WAYZATA, MN 55391

SHEET CONTENTS:
ELECTRICAL
POWER & LIGHTING
PLAN

DRAWN BY:	AB
DATE:	07-20-16
CHECKED BY:	DB
REV. A	06-10-16
REV. B	07-26-16



1 ELECTRICAL WALL ELEVATION "A"
SCALE: 3/8" = 1'-0"



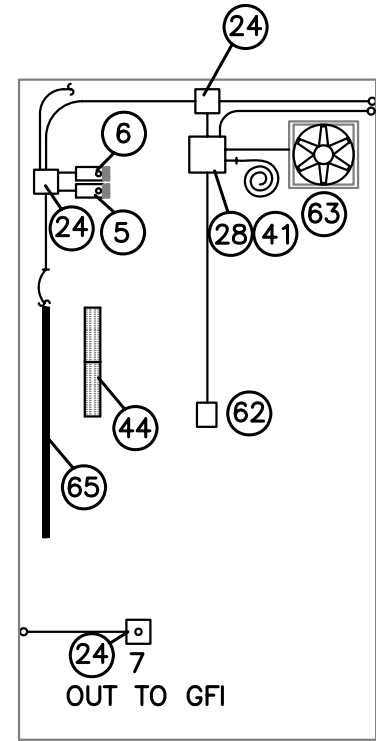
3 ELECTRICAL WALL ELEVATION "C"
SCALE: 3/8" = 1'-0"



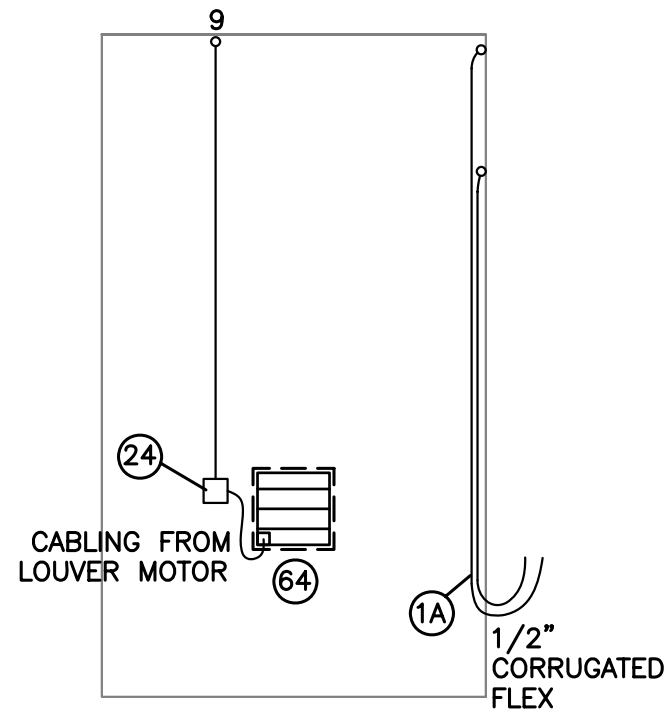
5 DOOR LOCK INSTALLATION PHOTOS
SCALE: NONE

KEYED NOTES

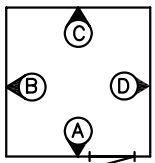
1 SEE DETAIL 5 FOR DOOR LOCK PHOTOS INDICATING APPROXIMATE INSTALLATION LOCATION.



2 ELECTRICAL WALL ELEVATION "B"
SCALE: 3/8" = 1'-0"



4 ELECTRICAL WALL ELEVATION "D"
SCALE: 3/8" = 1'-0"



ELEVATION KEY



CERTIFICATION
I HEREBY CERTIFY THAT THIS DRAWING WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
Dennis D. Buswell
DENNIS D. BUSWELL
REC. NO. 20681



Buswell Companies, Inc.
16026 Minnetonka Blvd., St. 100
Minnetonka, MN 55345-1301
952-931-2111
www.buswellcompanies.com



9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM



10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

PROJECT
20151187518
LOC. CODE# 380007

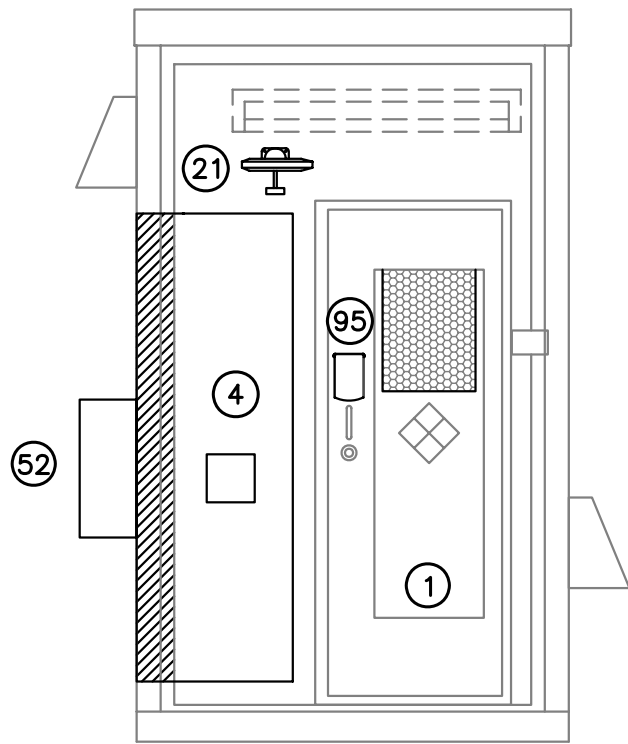
**MINC
STRAWBERRY**

1000 SUPERIOR BLVD
WAYZATA, MN 55391

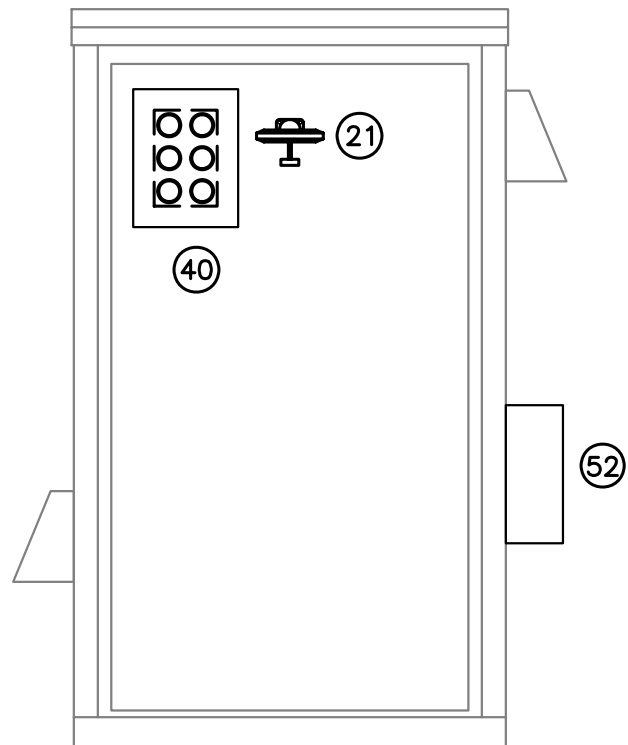
SHEET CONTENTS:
ELECTRICAL INTERIOR
WALL ELEVATIONS

DRAWN BY:	AB
DATE:	07-20-16
CHECKED BY:	DB
REV. A	06-10-16
REV. B	07-26-16

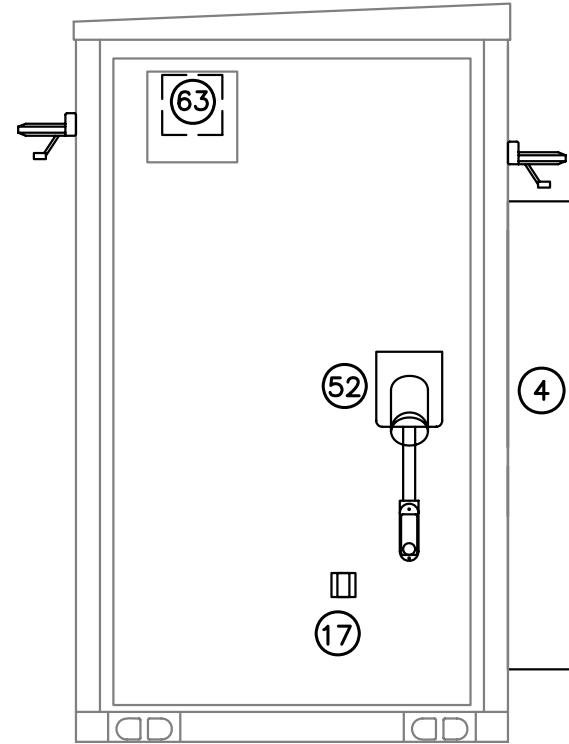
E-4



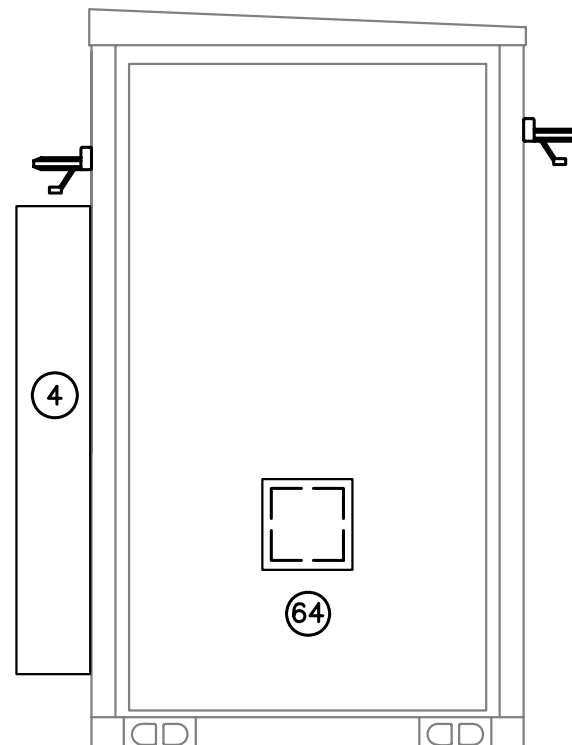
1 ELECTRICAL WALL ELEVATION "A"
SCALE: 3/8" = 1'-0"



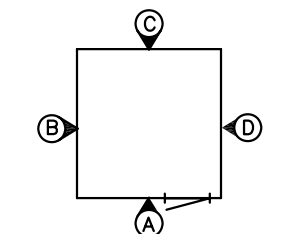
3 ELECTRICAL WALL ELEVATION "C"
SCALE: 3/8" = 1'-0"



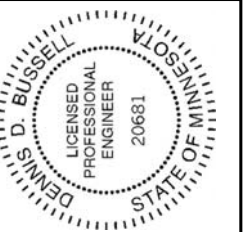
2 ELECTRICAL WALL ELEVATION "B"
SCALE: 3/8" = 1'-0"



4 ELECTRICAL WALL ELEVATION "D"
SCALE: 3/8" = 1'-0"



ELEVATION KEY



CERTIFICATION
I HEREBY CERTIFY THAT THIS DRAWING
WAS PREPARED BY ME, OR UNDER MY
DIRECT SUPERVISION, AND THAT I AM A
LICENSED PROFESSIONAL ENGINEER UNDER THE
LAWS OF THE STATE OF MINNESOTA.
Dennis D. Buswell
DENNIS D. BUSWELL REG. NO. 20681



Buswell Companies, Inc.
16026 Minnetonka Blvd., St. 100
Minnetonka, MN 55345-1301
952-931-2111
www.buswellcompanies.com



9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM



10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

PROJECT
20151187518
LOC. CODE# 380007

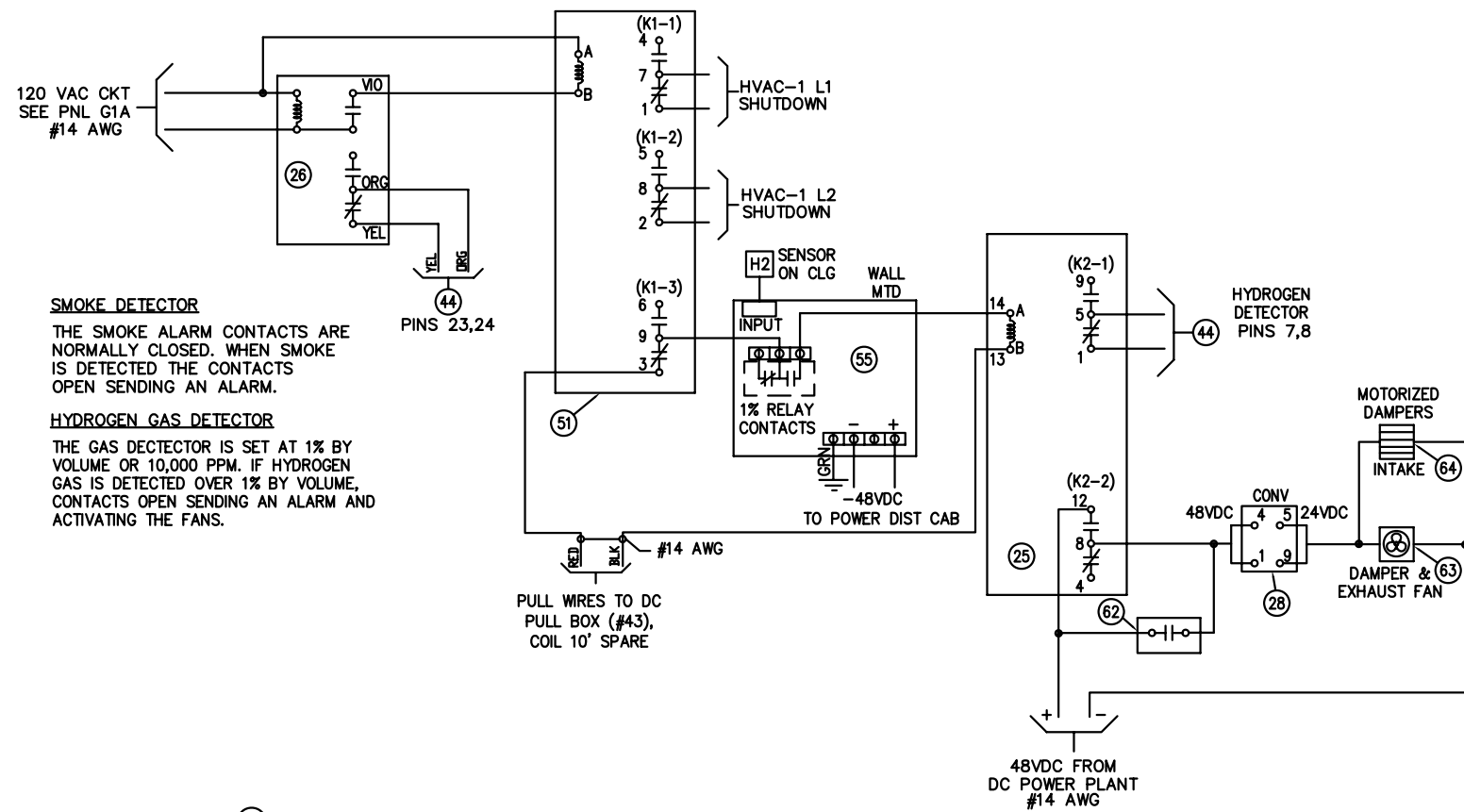
**MINC
STRAWBERRY**

1000 SUPERIOR BLVD
WAYZATA, MN 55391

SHEET CONTENTS:
ELECTRICAL EXTERIOR
WALL ELEVATIONS

DRAWN BY:	AB
DATE:	07-20-16
CHECKED BY:	DB
REV. A	06-10-16
REV. B	07-26-16

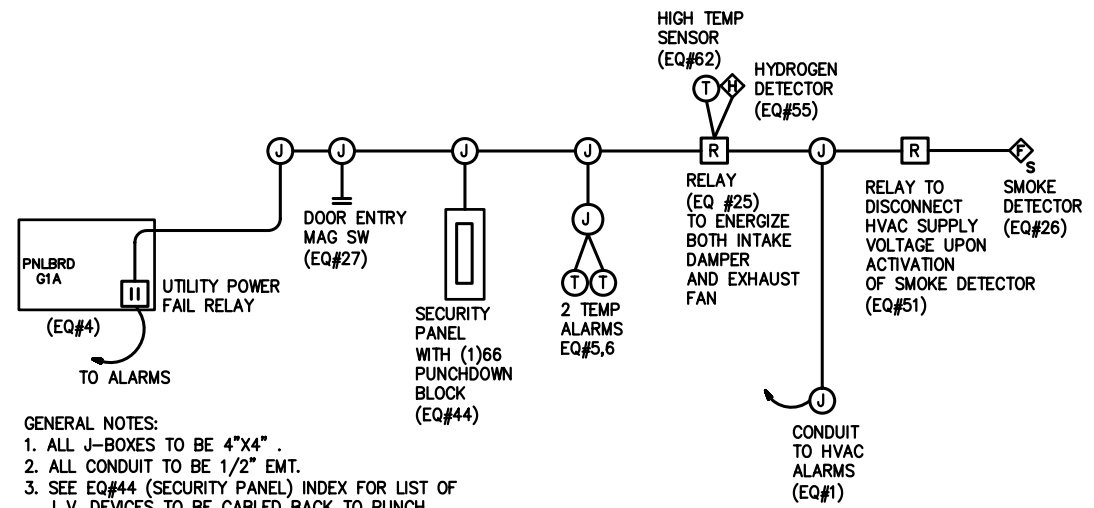
E-5



2 HVAC SHUTDOWN CONNECTION DIAGRAM
SCALE: NONE

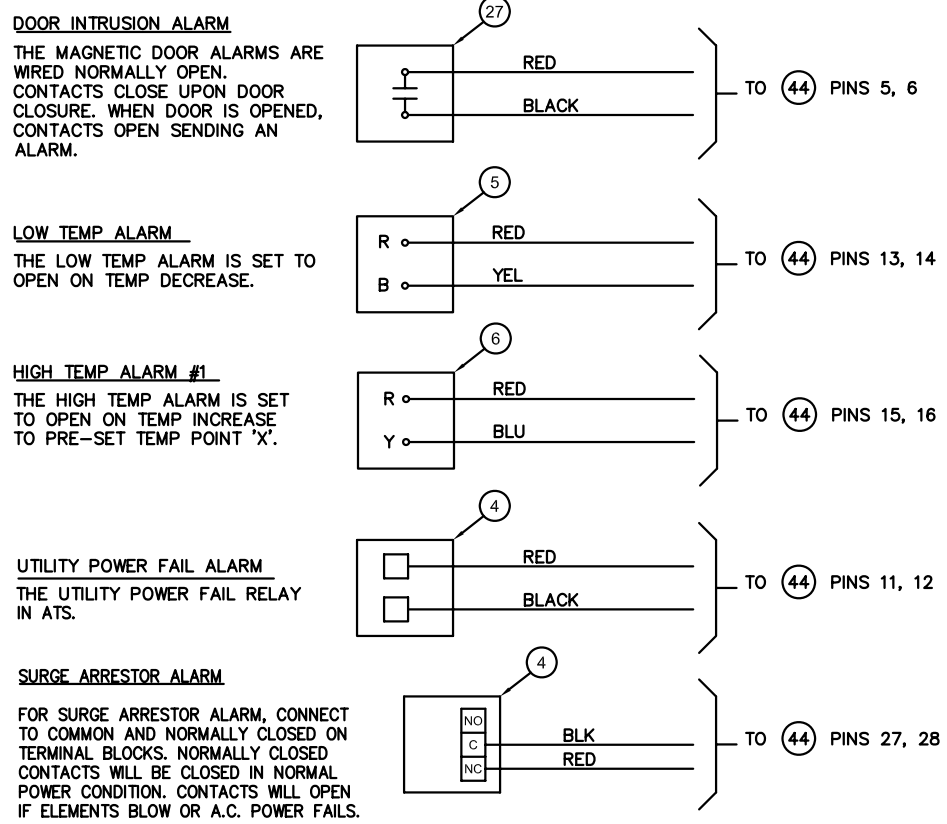
ALARM BLOCK #1	
BATTERY DISCHARGE	1
COMMERCIAL POWER FAILURE	2
DOOR INTRUSION	3
HYDROGEN DETECTOR	4
LOW TEMPERATURE	5
HIGH TEMP	6
INVERTER FAILURE	7
MULTIPLE RECTIFIER FAILURE	8
RECTIFIER FAILURE	9
SMOKE/FIRE	10
SMOKE/FIRE DETECTOR FAILURE	11
SURGE SUPPRESSOR LIGHTNING ARRESTOR	12
TOWER LIGHT	13
TOWER LIGHT BEACON	14
TOWER LIGHT STROBE	15
TOWER LIGHT POWER FAILURE	16
TOWER LIGHT (SIDE)	17
CONVERTER FAILURE	18
TOWER MOUNTED AMPLIFIER	19
EXPLOSIVE GAS	20
HVAC-1 FAILURE	21
	22
	23
	24
	25
	26
	27
	28
	29
	30
	31
	32
	33
	34
	35
	36
	37
	38
	39
	40
	41
	42
	43
	44
	45
	46
	47
	48
	49
	50
	51
	52
	53
	54
	55
	56
	57
	58
	59
	60
	61
	62
	63
	64
	65
	66

3 SECURITY PANEL - EQUIPMENT #44
SCALE: NONE



NOTE: SEE PLAN VIEW DRAWINGS FOR LOCATIONS

4 TYPICAL ALARM CONDUIT SYSTEM
SCALE: NONE



1 SECURITY ALARM CABLING DIAGRAM
SCALE: NONE

DENNIS D. BUSSELL

LICENSED PROFESSIONAL ENGINEER

20681

STATE OF MINNESOTA

REG. NO. 20681

CERTIFICATION

I HEREBY CERTIFY THAT THIS DRAWING WAS PREPARED BY ME, OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY REGISTERED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Dennis Bussell

REG. NO. 20681

BUSSELL

Bussell Companies, Inc.

16026 Minnetonka Blvd., St. 100

Minnetonka, MN 55345-1301

952-931-2111

www.bussellcompanies.com

DESIGN

1

9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

verizon

10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

PROJECT

20151187518

LOC. CODE# 380007

MINC

STRAWBERRY

1000 SUPERIOR BLVD
WAYZATA, MN 55391

SHEET CONTENTS:

ELECTRICAL

LOW VOLTAGE

CABLING DIAGRAMS

DRAWN BY:

AB

DATE:

07-20-16

CHECKED BY:

DB

REV. A

06-10-16

REV. B

07-26-16

E-6

GENERAL GROUNDING NOTES:

An external buried ground ring (Lead 1) shall be established around the equipment shelter and tower foundations. Lead 1 shall be kept 24" from foundations; if foundations are less than 48" apart, keep Lead 1 centered between them. If the tower base is over 20'-0" from the equipment shelter, a separate Lead 1 shall be established around each foundation, and the two Lead 1s shall be bonded with two parallel leads at least 6 feet apart horizontally. Connections between the two Lead 1s shall be bi-directional.

All subgrade connections shall be by exothermic weld, brazed weld, or gas-tight UL467-listed compression fittings pre-filled with anti-oxidant compound. Subgrade connections shall not be 'cold galvanize' coated.

Lead 1 shall be #2 solid bare tin-clad (SBTC) copper wire buried at local frost depth. Lead 1 bends shall be minimum 24" radius. 'Whip' lead bends may be of 12" radius.

Ground rods shall be galvanized steel, 5/8"Ø, spaced twenty feet apart, or as shown. Rods shall be kept min. 24 inches from foundations. Ground rods are required to be installed at their full specified length. Depth shall be as shown in Detail 11.1 in the Verizon Wireless Standard Detail Booklet.

SPECIAL CONSIDERATIONS FOR GROUND RODS:

When ground rods are not specified to be backfilled w/ Bentonite Slurry: If boulders, bedrock, or other obstructions prevent driving of ground rods, the Contractor will need to have drilling equipment bore a hole for ground rod placement. Hole to be backfilled w/ Bentonite Slurry.

When specified with slurried Bentonite encasement, drilling equipment will be need to be used to be bore a hole for ground rod placement. Slurry shall be made from pelletized material ("Grounding Gravel"); powdered Bentonite is not allowed. If boulders, bedrock, or other obstructions are found, Contractor shall drill to the specified depth and provide Bentonite encasements.

Above-grade connections shall be by lugs w/ two-hole tongues unless noted otherwise, joined to solid leads by welding (*7&B 54856BE "BROWN"*), self-threading (*RECOGNIZED, EM 2522DH.75.312*), or 10,000psi crimping (*BURNDY YA3C 2TC 14E2*). Surfaces that are galvanized or coated shall have coating(s) removed prior to bolting. Bolts shall be stainless steel with flat washers on each side of the connection and a lock washer beneath the fastening nut. Star-tooth washers shall be used between lug & dissimilar metal (copper-to-steel, etc) but are not required between tin-clad CU lugs & tin-clad CU bus bars. Lug tongues shall be coated with anti-oxidant compound, and excess compound wiped clean after bolting. The connection shall then be coated with cold-galvanizing compound, or with color-matching paint.

Ground bars exposed to weather shall be tin-clad copper, and shall be clean of any oxidation prior to lug bolting.

Galvanized items shall have zinc removed within 1" of weld area, and below lug surface contact area. After welding or bolting, the joint shall be coated with cold galvanizing compound.

Ground Bar leads

Ground bars are isolated electrically from tower bottoms and equipment shelters by their standoff mounts. Leads from each ground bar to the ground ring shall be a pair of #2 SBTC, each connected to Lead 1 bi-directionally with #2 SBTC 'jumpers'. Pairs of #2 SBTC may be required between ground bars. Leads shall be routed to ground bars as follows:

- * The Main Ground Bar (MGB), typically mounted inside on the equipment shelter 'back' wall; or mounted to the equipment platform steel beam (location varies).
- * The Port Ground Bars (PGB), mounted inside and outside on the equipment shelter walls beneath the transmission line port. Note: Transmission line grounds also attach to the PGBs.
- * The Tower Ground Bar (TGB) mounted at the base of the tower. Note: Transmission line grounds also attach to the TGBs.

NOTE: Contractor shall confirm that TGBs exist at 75-foot vertical intervals on any guyed or self-support tower, and that transmission lines are grounded to each TGB. Only the bottom-most TGB is isolated from the tower steel frame; upper TGBs may use the tower steel frame as common ground, requiring no copper leads between TGBs.

#2 SBTC Whip leads

"Whip" leads shall connect the buried external ground ring to the following items:

Monopole Towers:

- * Three whips to flanges on the monopole base, at least 90° apart. If none are provided, attach to the baseplate or consult tower manufacturer.

Self-Support Towers:

- * Two whips to flange(s) on each tower leg base. If none are provided, attach to the baseplate or consult tower manufacturer.

Guyed Towers:

- * Two whips to flange(s) on the tower base. If none are provided, attach to the baseplate or consult tower manufacturer.
- * Establish a Lead 1 within the fence enclosure of each guy anchor, at least 40 foot perimeter and having 4 ground rods.
- * #2 SBTC leads shall extend up, and be clamped (bronze clamshell or equal), to any two guy wires. NEVER weld leads to the guy wires. The lead to the guy anchor 'hand' plate may be welded.

Fences:

Metallic fence within 25 feet of tower Lead 1, or within 6 feet of shelter lead 1, shall have whip leads as follows:

- * Each corner post.
- * Each pair of gate posts.
- * Any line post over 20'-0" from a grounded post.
- * Each gate leaf to its respective gatepost using braided strap (3/4", tin-clad copper w/ lug ends).
- * Fences around guy anchors shall be grounded in similar fashion.

Fuel tanks:

NEVER WELD to any fuel enclosure. NEVER penetrate the fuel containment. Metal tanks shall have one whip lead attached. Use an approved clamp or two-hole lug on an available flange.

Equipment Shelter/Platform and Other General Requirements (including but not limited to):

- Extend new Lead 21B up to shelter halo, remaking two-way connections as needed. Generator-equipped shelters have 6 such connections. Connections within the shelter shall be by compression; NEVER weld inside the shelter.
- Each vertical support pipe of the exterior cable bridge. Bridge end shall be kept at least 6" from the tower structure. The cable bridge shall be jumpered to the vertical support pipes with #2 SBTC at each vertical support pipe.
- Opposite corners of the steel equipment platform.
- Opposite corners of the roof shield over the equipment shelter.
- Each HVAC unit shield, if separate (may be 'jumpered' to main roof shield).
- Each HVAC package unit.
- Commercial electric meter box.
- Generator receptacle, if present.
- Steel building skid, if shelter is metal frame.
- Each air intake or exhaust fan vent louver.
- Each generator vent hood or louver.
- Generator exhaust stack, external.
- Opposite corners of generator support frame, if separate from shelter.
- Generator fuel tank, if separate from generator unit.
- Host building rain gutter, downspouts, and roof flashings within 25 feet.
- Telco MPOP (Main Point of Presence), if external to equipment shelter.
- Within cable vaults, one each to the ladder and to the manhole rim.

Note: The door frame is connected to the interior ground halo, and need no separate connection to the external ground ring.

Inspection & Testing

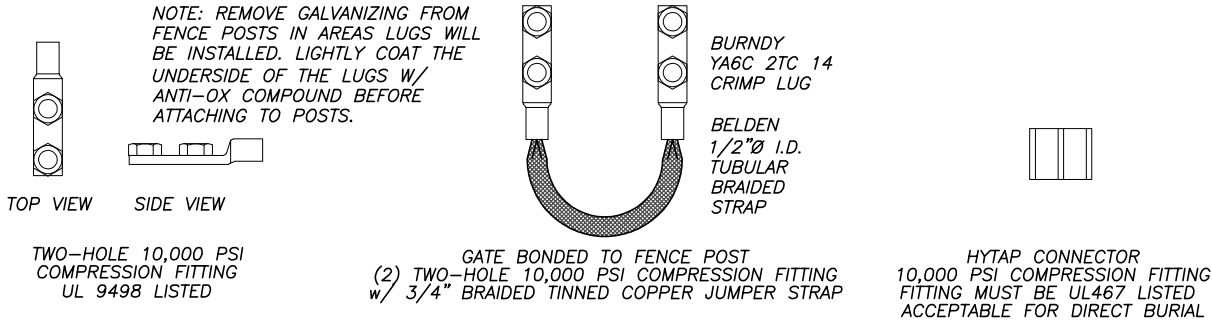
Test lead #1 and ground rods after installation but before backfilling or connecting to any other grounding, using the 3-point fall of potential method. Contractor to notify Verizon Wireless senior construction engineer at least 48 hours prior to testing. Document installation and test results with photographs.

SYMBOL AND NOTE LEGEND

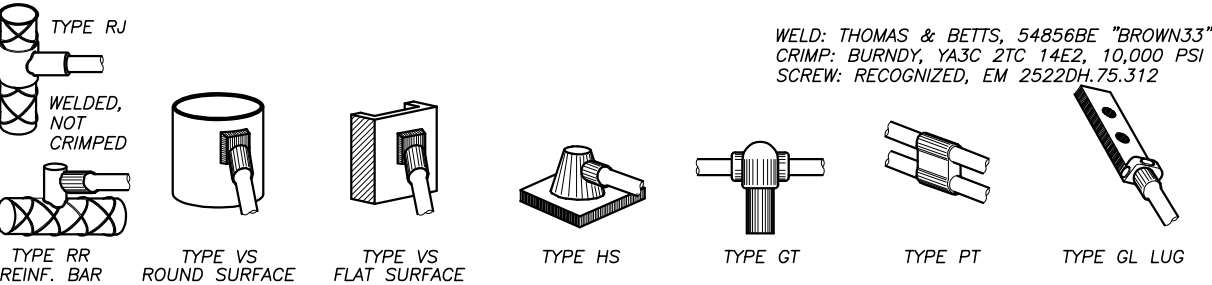
	#2 SBTC AROUND SHELTER/PLATFORM, TOWER, OR GUY ANCHOR
	5/8" X 10'-0" GALVANIZED STEEL GROUND ROD
	TEST WELL PREFERRED LOCATION
	#2 SBTC 'WHIP' LEAD
	(2) #2 SBTC FROM MGB, PGB, OR TGB TO LEAD 1
	AC HVAC UNIT
	BUILDING CORNER
	BOLLARD
	CBS CABLE BRIDGE SUPPORT POST
	EL ELECTRICAL SERVICE GROUND
	EM COMMERCIAL ELECTRICAL METER
	FAN GUY ANCHOR PLATE
	FP FENCE POST
	GEN GENERATOR
	GP GATE POST, 3/4" BRAID STRAP TO LEAF
	GPS GPS UNIT
	GUY GUY WIRE, MECH. CLAMP ONLY - NO WELDS
	HL HOOD OR LOUVER
	HB OUTSIDE OF HOFFMAN BOX
	ILC INTEGRATED LOAD CENTER
	MGB MAIN GROUND BAR
	MU GENERATOR MUFFLER
	PGB PORT GROUND BAR
	RBR FOUNDATION REINFORCING
	RS ROOF SHIELD
	SB STEEL BEAM
	SP STEEL POST
	STP STEEL PLATFORM
	TEL HOFFMAN BOX
	TGB TOWER GROUND BAR
	TWR TOWER BASE
	VP DIESEL FUEL VENT PIPE

Note:

Contractor to provide #2 solid bare tin-clad (SBTC) copper wire lead from #1 ground ring to air conditioner & ice shield if provided by VZW.



2 COMPRESSION CONNECTOR DETAILS
SCALE: NONE



1 EXOTHERMIC WELD DETAILS
SCALE: NONE

LEAD IDENTIFICATION & DESCRIPTION:

1 RING, EXTERNAL BURIED w/ RODS	#2 SBTC
1A RING, CONCRETE ENCASED	#2 SBTC
2 DEEP ANODE (TO IMPROVE OHMS)	ROD OR PIPE
3 RING TO BLDG STL FRAME	#2 SBTC
4 MAIN AC PANEL NEUTRAL BUS TO (2) GROUND RODS, ISOLATED FROM LEAD #1	NEC 250.66
5 RING TO GROUND BAR	(2) #2 SBTC
6 RING TO EXT MTL OBJECT	#2 SBTC
7 DEEP ANODE TO MGB	NSTD33-9
8 AC PANEL TO WATER METER	NEC 250.66
9 EXT WATER TO INT WATER PIPES	NSTD33-9
10 INT WATER PIPE TO MGB	NSTD33-9
11-12 NOT USED	
13 AC PANEL TO MGB	NSTD33-9
14 MGB/FGB TO BLDG STL FRAME	#2/0 I-STR
14C MGB/FGB TO ROOF/WALL MTL PNL	#1/0 I-STR
15 MGB/FGB TO FGB-HE SAME FLOOR	#2/0 I-STR
16 NOT USED	
16A ECPGB TO CABLE ENTRY RACK	#1/0 I-STR
17 MGB TO CABLE SHIELDING	#6 I-STR
17A ECPGB TO CABLE SHIELDING	#6 I-STR
17B MGB/FGB TO F-O SPLICE SHELF	#1 I-STR
18 LOWEST MGB/FGB TO HIGHEST FGB	#2/0 I-STR
19 LEAD 18 TO OTHER FGBs, <6'	#2/0 I-STR
20 MGB/FGB TO BRANCH AC PNL	#6 I-STR
20A NEAREST GRND TO DISCONNECT PNL	NEC 250.66
20B GWB TO AC DISTR PNL	#6 I-STR
21 MGB/FGB TO INT HALO	#2 I-STR
21A INTERIOR 'GREEN' HALO	#2 I-STR
21B INT HALO TO EXT RING	#2 SBTC
21C INT HALO TO EQUIPMENT MTL	#6 I-STR
22 ROOF TOWER RING TO ROOF GRND	NFPA 780
23 MGB/FGB TO ECPGB, SAME FLOOR	#1 I-STR
23A MGB/FGB TO CXR-HF LINR PROT	#6 I-STR
24 ECPGB TO EACH PROTECTOR ASSEMBLY	#6 I-STR
24A LOWER PROT ASSY TO UPPER	#6 I-STR

25 RING TO NEAREST LIGHTNING ROD	#2 SBTC
26 LGHTNG ROD SYS TO NEARBY MTL	NFPA 780
27 RING TO TOWER RING	(2) #2 SBTC
28 RING TO SHELTER RING	(2) #2 SBTC
29 BRANCH AC PNL TO BTTY CHG FRM	NSTD33-11
30 BRANCH AC PNL TO OUTLETS	NSTD33-11
31 MGB/FGB TO PWR, BTTY FRAMES	#2/0 I-STR
32 #31 TO BATTERY CHARGER FRAME	#6 I-STR
33 #31 TO BATTERY RACK FRAME	#6 I-STR
34 #31 TO PCU FRAME	#6 I-STR
35 #31 TO DSU FRAME	#6 I-STR
36 #31 TO PDU FRAME	#6 I-STR
37 MGB/FGB TO BTTY RETURN	NSTD33-14.5
37A MGB/FGB TO RTN TERM CARR SUPP	#6 I-STR
38 FGB TO PDU GB	#750MCM I-STR
38A FGB TO PDU GB CARRIER SUPPLY	#2/0 I-STR
39 DC BUS DUCT TO NEXT SECTION	#6 I-STR
40 DC BUS DUCT TO MGB/FGB	#6 I-STR
41A MGB/FGB TO #58	#2/0 I-STR
42-44 NOT USED	
45 MAIN AC PNL TO BRANCH AC PNL	NSTD33-11
46 BRANCH AC PNL TO DED OUTLET	NSTD33-11
47 FGB TO INTEG FRM	#2 I-STR
48 LEAD #31 TO INTEG FRM	#6 I-STR
49 INTEG FRM TO EQUIP SHELF	BY FASTENERS
50 PDU BTTY RET TO #51	#2/0 I-STR
51 #50 TO TRANS FRM ISO DC PWR	#6 I-STR
52 TRANS FRM FUSE TO FRM OR BAR	#8 I-STR
53A MGB/FGB TO PDF/BDFB	NSTD33-22
54 MGB/FGB TO STATIC DEVICES	#6 I-STR
55 MGB/FGB TO CABLE AT ENTRY	#6 I-STR
56 MGB/FGB TO AC PWR RADIO XMTR	#6 I-STR
57A MGB/FGB TO CBL GRID/RUNWAY	#2/0 I-STR
58A #41A TO AISLE FRAME	#2 I-STR
59A #58A TO EACH SGL FRAME GRND	#6 I-STR
60-89 NOT USED	
90 GENERATOR FRAME TO EXT RING	#2 SBTC

ROBERT J. DAVIS

LICENSED ARCHITECT

12427

STATE OF MINNESOTA

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the State of Minnesota. ROBERT J. DAVIS, Reg. No. 12427

Signed:

12-28-17

Date:

DESIGN1

9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

PROJECT

20151187518

LOCATION CODE: 380007

MINC

STRAWBERRY

1000 SUPERIOR BLVD

WAYZATA, MN 55391

SHEET CONTENTS:

GROUNDING NOTES

DRAWN BY:

DJS

DATE:

04-07-15

CHECKED BY:

MJS

REV. A

06-10-16

REV. B

07-26-16

REV. C

12-16-16

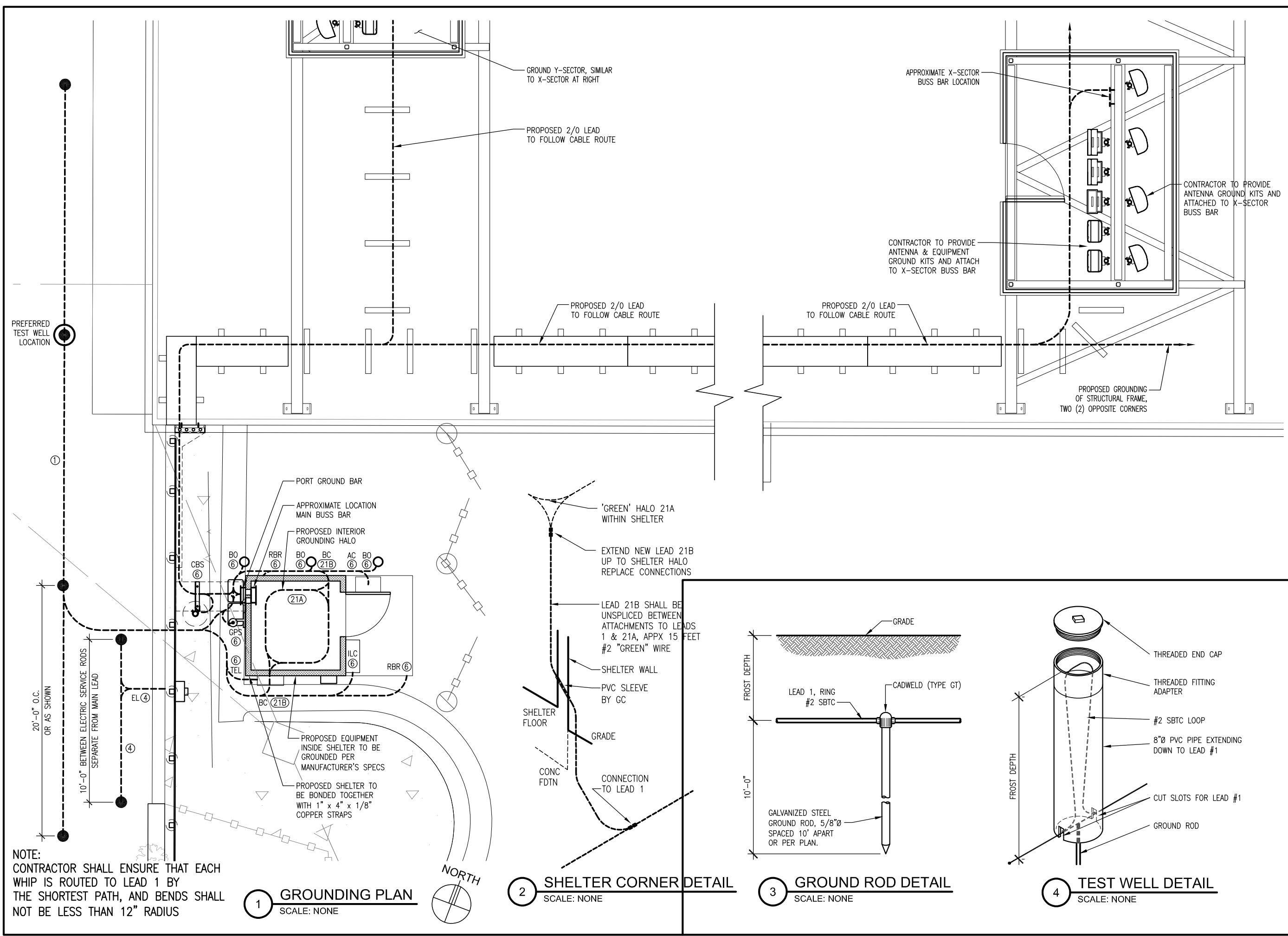
REV. D

01-09-17

REV. E

12-28-17

G-1



ROBERT J. DAVIS

LICENSED ARCHITECT

12427

STATE OF MINNESOTA

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the State of Minnesota. ROBERT J. DAVIS, Reg. No. 12427

Signed:

12-28-17

Date:

DESIGN1

9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

verizon

10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

PROJECT

20151187518

LOCATION CODE: 380007

MINC

STRAWBERRY

1000 SUPERIOR BLVD
WAYZATA, MN 55391

SHEET CONTENTS:

GROUNDING PLAN

GROUNDING DETAILS

DRAWN BY:

DJS

DATE:

04-07-15

CHECKED BY:

MJS

REV. A

06-10-16

REV. B

07-26-16

REV. C

12-16-16

REV. D

01-09-17

REV. E

12-28-17

G-2

SITE SURVEY

LAND SPACE DESCRIPTION:

That part of Block 46, MINNETONKA ARLINGTON HEIGHTS, according to the recorded plat thereof, Hennepin County, Minnesota, described as follows:

Commencing at the northeast corner of the Government Lot 4 of Section 6, Township 117 North, Range 22 West of the Fifth Principal Meridian, said Hennepin County; thence South 88 degrees 36 minutes 12 seconds West along the North line of said Government Lot 4, a distance of 442.19 feet; thence South 1 degree 23 minutes 48 seconds East, a distance of 196.08 feet to the Point of Beginning of the land space to be described; thence South 20 degrees 41 minutes 53 seconds East, a distance of 14.00 feet; thence South 69 degrees 18 minutes 07 seconds West, a distance of 16.00 feet; thence North 20 degrees 41 minutes 53 seconds West, a distance of 14.00 feet; thence North 69 degrees 18 minutes 07 seconds East, a distance of 16.00 feet to the Point of Beginning.

ANTENNA SPACE "A" DESCRIPTION:

That part of Block 46, MINNETONKA ARLINGTON HEIGHTS, according to the recorded plat thereof, Hennepin County, Minnesota, described as follows:

Commencing at the northeast corner of the Government Lot 4 of Section 6, Township 117 North, Range 22 West of the Fifth Principal Meridian, said Hennepin County; thence South 88 degrees 36 minutes 12 seconds West along the North line of said Government Lot 4, a distance of 442.19 feet; thence South 1 degree 23 minutes 48 seconds East, a distance of 196.08 feet; thence North 71 degrees 43 minutes 45 seconds West, a distance of 11.87 feet to the Point of Beginning of the land space to be described; thence North 20 degrees 41 minutes 53 seconds West, a distance of 38.00 feet; thence North 69 degrees 18 minutes 07 seconds East, a distance of 14.00 feet; thence South 20 degrees 41 minutes 53 seconds East, a distance of 38.00 feet; thence South 69 degrees 18 minutes 07 seconds West, a distance of 14.00 feet to the Point of Beginning.

ANTENNA SPACE "B" DESCRIPTION:

That part of Block 46, MINNETONKA ARLINGTON HEIGHTS, according to the recorded plat thereof, Hennepin County, Minnesota, described as follows:

Commencing at the northeast corner of the Government Lot 4 of Section 6, Township 117 North, Range 22 West of the Fifth Principal Meridian, said Hennepin County; thence South 88 degrees 36 minutes 12 seconds West along the North line of said Government Lot 4, a distance of 442.19 feet; thence South 1 degree 23 minutes 48 seconds East, a distance of 196.08 feet; thence North 71 degrees 43 minutes 45 seconds West, a distance of 11.87 feet; thence North 20 degrees 41 minutes 53 seconds West, a distance of 38.00 feet; thence North 69 degrees 18 minutes 07 seconds East, a distance of 14.00 feet; thence South 20 degrees 41 minutes 53 seconds East, a distance of 38.00 feet; thence South 69 degrees 18 minutes 07 seconds West, a distance of 16.00 feet; thence North 20 degrees 41 minutes 53 seconds West, a distance of 38.00 feet to the Point of Beginning.

ACCESS RIGHT OF WAY DESCRIPTION:

A 16.00 foot wide right of way for ingress and egress purposes over, under and across Block 46, MINNETONKA ARLINGTON HEIGHTS, according to the recorded plat thereof, Hennepin County, Minnesota, the centerline of said right of way is described as follows:

Commencing at the northeast corner of the Government Lot 4 of Section 6, Township 117 North, Range 22 West of the Fifth Principal Meridian, said Hennepin County; thence South 88 degrees 36 minutes 12 seconds West along the North line of said Government Lot 4, a distance of 442.19 feet; thence South 1 degree 23 minutes 48 seconds East, a distance of 196.08 feet; thence South 20 degrees 41 minutes 53 seconds East, a distance of 6.00 feet to the Point of Beginning of the centerline to be described; thence North 69 degrees 18 minutes 07 seconds East, a distance of 91.01 feet to the East line of said Block 46 and said centerline there terminating.

The sidelines of said right of way shall be shortened or lengthened to terminate at said East line of Block 46.

UTILITIES RIGHT OF WAY DESCRIPTION:

A 22.00 foot wide right of way for utility purposes over, under and across Block 46, MINNETONKA ARLINGTON HEIGHTS, according to the recorded plat thereof, Hennepin County, Minnesota, the centerline of said right of way is described as follows:

Commencing at the northeast corner of the Government Lot 4 of Section 6, Township 117 North, Range 22 West of the Fifth Principal Meridian, said Hennepin County; thence South 88 degrees 36 minutes 12 seconds West along the North line of said Government Lot 4, a distance of 442.19 feet; thence South 1 degree 23 minutes 48 seconds East, a distance of 196.08 feet; thence South 20 degrees 41 minutes 53 seconds East, a distance of 14.00 feet; thence South 69 degrees 18 minutes 07 seconds West, a distance of 11.00 feet to the Point of Beginning of the centerline to be described; thence South 20 degrees 41 minutes 53 seconds East, a distance of 25.00 feet and said centerline there terminating.

AND

A 10.00 foot wide right of way for utility purposes over, under and across Block 46, MINNETONKA ARLINGTON HEIGHTS, according to the recorded plat thereof, Hennepin County, Minnesota, the centerline of said right of way is described as follows:

Commencing at the northeast corner of the Government Lot 4 of Section 6, Township 117 North, Range 22 West of the Fifth Principal Meridian, said Hennepin County; thence South 88 degrees 36 minutes 12 seconds West along the North line of said Government Lot 4, a distance of 442.19 feet; thence South 1 degree 23 minutes 48 seconds East, a distance of 196.08 feet; thence South 20 degrees 41 minutes 53 seconds East, a distance of 14.00 feet; thence South 69 degrees 18 minutes 07 seconds West, a distance of 16.00 feet; thence North 20 degrees 41 minutes 53 seconds West, a distance of 5.00 feet to the Point of Beginning of the centerline to be described; thence South 69 degrees 18 minutes 07 seconds West, a distance of 8.08 feet to the following described Line "A" and to a point hereinafter referred to as Point "C" and said centerline there terminating.

The sidelines of said right of way shall be shortened or lengthened to terminate at said Line "A".

TOGETHER WITH

A 5.00 foot wide right of way for utility purposes over, under and across said Block 46, lying between 0.00 feet and 5.00 feet right of the following described Line "B":

Beginning at the previously described Point "C"; thence North 21 degrees 07 minutes 21 seconds West along said Line "A", a distance of 100.06 feet to the southeasterly right of way line of Superior Boulevard; thence North 60 degrees 16 minutes 58 seconds East along said southeasterly right of way line of Superior Boulevard, a distance of 24.31 feet; thence North 69 degrees 25 minutes 44 seconds East, a distance of 32.50 feet and said Line "B" there terminating.

Said Line "A" is described as follows:

Commencing at a point on the East line of said Block 46, 160 feet North from the southeast corner of said Block 46; thence southwesterly, parallel with the southerly line of said Block 46, a distance of 100 feet to the Point of Beginning of said Line "A" also to a point hereinafter referred to a Point "A"; thence northwesterly to the following described Point "B" and said line "A" there terminating.

Said Point "B" is described as follows:

Beginning at the previously described Point "A"; thence southwesterly, parallel with the southerly line of Block 46, a distance of 140 feet; thence northwesterly at a right angle to the southerly line of said Block 46, to the southeasterly right of way of Superior Boulevard, formerly known as Wayzata Boulevard; thence northeasterly along said southeasterly right of way of Superior Boulevard, a distance of 140 feet to said Point "B".

CABLE SPACE DESCRIPTION:

A 3.00 foot wide right of way for utility purposes over, under and across Block 46, MINNETONKA ARLINGTON HEIGHTS, according to the recorded plat thereof, Hennepin County, Minnesota, the centerline of said right of way is described as follows:

Commencing at the northeast corner of the Government Lot 4 of Section 6, Township 117 North, Range 22 West of the Fifth Principal Meridian, said Hennepin County; thence South 88 degrees 36 minutes 12 seconds West along the North line of said Government Lot 4, a distance of 442.19 feet; thence South 1 degree 23 minutes 48 seconds East, a distance of 196.08 feet; thence North 71 degrees 43 minutes 45 seconds West, a distance of 11.87 feet; thence North 20 degrees 41 minutes 53 seconds West, a distance of 4.00 feet to the Point of Beginning of the centerline to be described; thence South 69 degrees 18 minutes 07 seconds West, a distance of 5.27 feet; thence South 20 degrees 41 minutes 53 seconds East, a distance of 11.46 feet and said centerline there terminating.

AND

A 3.00 foot wide right of way for utility purposes over, under and across Block 46, MINNETONKA ARLINGTON HEIGHTS, according to the recorded plat thereof, Hennepin County, Minnesota, the centerline of said right of way is described as follows:

Commencing at the northeast corner of the Government Lot 4 of Section 6, Township 117 North, Range 22 West of the Fifth Principal Meridian, said Hennepin County; thence South 88 degrees 36 minutes 12 seconds West along the North line of said Government Lot 4, a distance of 442.19 feet; thence South 1 degree 23 minutes 48 seconds East, a distance of 196.08 feet; thence North 71 degrees 43 minutes 45 seconds West, a distance of 11.87 feet; thence North 20 degrees 41 minutes 53 seconds West, a distance of 38.00 feet; North 69 degrees 18 minutes 07 seconds East, a distance of 14.00 feet; thence South 20 degrees 41 minutes 53 seconds East, a distance of 34.00 feet to the Point of Beginning of the centerline to be described; thence North 69 degrees 18 minutes 07 seconds East, a distance of 70.71 feet and said centerline there terminating.

SHEET 1 OF 3 SHEETS



SITE NAME:
MINC STRAWBERRY

Hennepin County, MN

No.	Date	REVISIONS			By	CHK	APPD
FIELD WORK:		4/27/16, 5/3/16 & 7/21/16	CHECKED BY: SMK		DRAWN BY: JMB		

I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: 
SHAWN M. KUPCHO, L.S.
DATE: 7/28/16
LICENSE # 49021

FULL SCALE ON 22"x34"
HALF SCALE ON 11"x17"
0494A1891.000



WIDSETH SMITH NOLTING

Engineering | Architecture | Surveying | Environmental

© 2016 WIDSETH SMITH NOLTING

SITE SURVEY

PROPERTY DESCRIPTION:(per U.S. Title Solutions File No. 53847-MN1604-5020, effective date April 8, 2016.)

That part of Block 46, Minnetonka Arlington Heights, described as follows:

Beginning at a point on the East line of said Block distant 160 feet North of the Southeast corner of said Block; thence Southwesterly parallel with the Southerly line of said Block a distance of 100 feet to a point hereinafter referred to as "Point A"; thence continuing Southwesterly parallel with said Southerly line a distance of 140 feet; thence at right angles Northwesterly to the Southeastery line of Wayzata Boulevard as established by agreement dated March 29, 1922, between J. Douglas Winter and the State of Minnesota; thence Northeasterly along the Southeastery line of said boulevard a distance of 140 feet to a point hereinafter referred to as "Point B" thence continuing Northeasterly along said Southeastery line of said boulevard to the East line of said Block; thence South along said East line to the point of beginning, EXCEPT that part thereof lying Southwesterly of a line drawn from said "Point A" to said "Point B".

SCHEDULE "B" EXHIBITS:(per U.S. Title Solutions File No. 53847-MN1604-5020, effective date April 8, 2016.)

1-6.) Not related to the survey.

7.) Quit Claim Deed of Easement by State Bond and Mortgage Life Insurance Company, a corporation under the laws of Minnesota to City of Wayzata, dated 6/4/1992 recorded 3/17/1995 in Instrument No: 6407974.

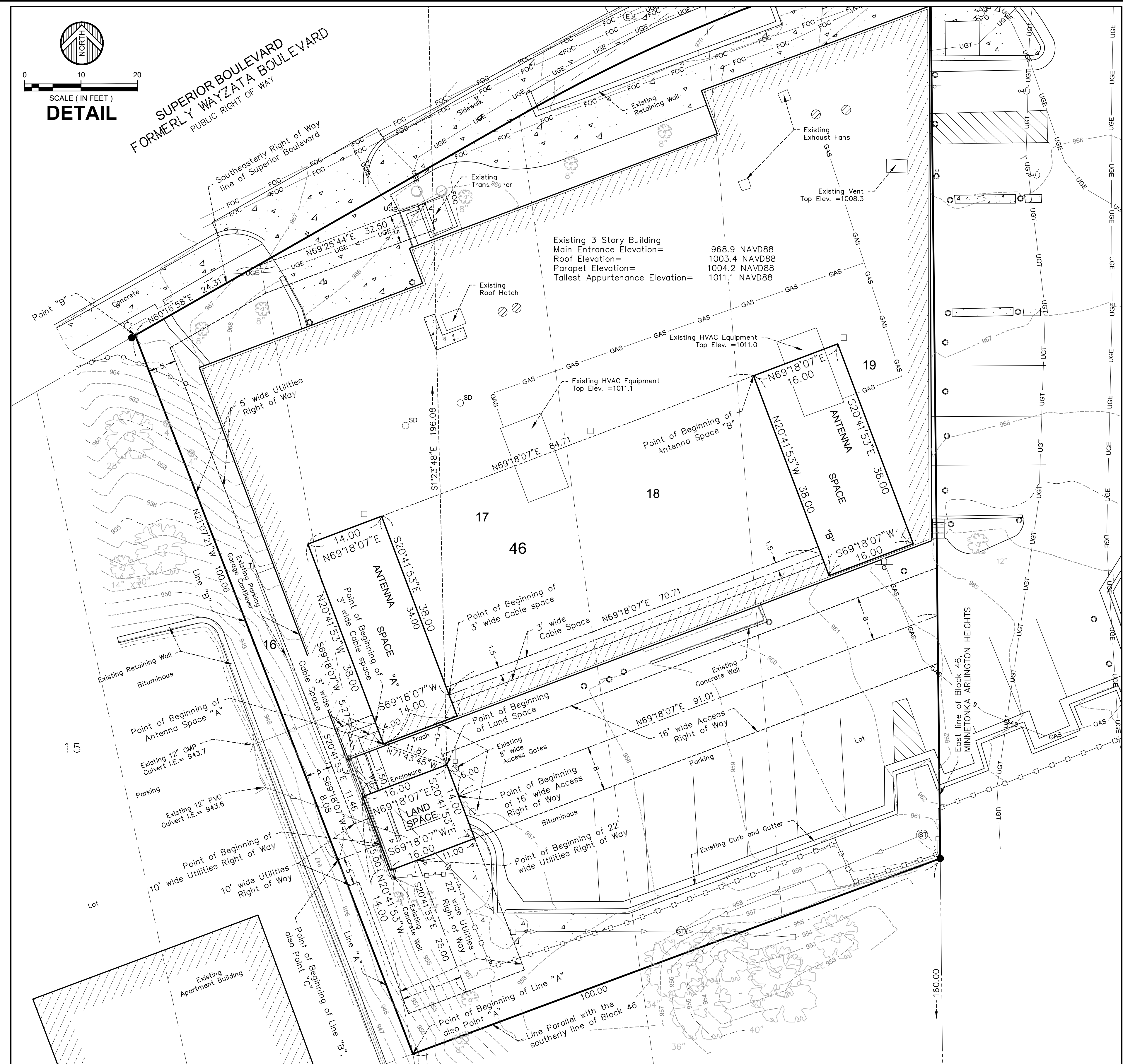
This document describes an easement for highway purposes over part of Block 46 of MINNETONKA ARLINGTON HEIGHTS. This easement does affect the surveyed area and is shown on the survey.

8.) Plat of Minnesota Arlington Heights recorded 10/20/1888 in book 29 page 14.

Block 45 and 46 from MINNETONKA ARLINGTON HEIGHTS are as shown on the survey.

9.) Plat of Maple Crest recorded 1/2/1910 in book 89 page 8.

The plat of MAPLE CREST does not affect the surveyed area and is shown on the survey.



SHEET 2 OF 3 SHEETS

SITE NAME:
MINC STRAWBERRY

Hennepin County, MN

No.	Date	REVISIONS					By	CHK	APP'D
FIELD WORK:		4/27/16, 5/3/16 & 7/21/16		CHECKED BY: SMK			DRAWN BY: JMB		

I HEREBY CERTIFY THAT THIS DOCUMENT WAS
PREPARED BY ME OR UNDER MY DIRECT SUPERVISION
AND THAT I AM A DULY LICENSED LAND SURVEYOR
UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: Shawn M Kupcho
SHAWN M. KUPCHO, L.S.
DATE: 7/28/16 LICENSE # 49021

FULL SCALE ON 22"x34"
HALF SCALE ON 11"x17"

0494A1891.000



WIDSETH SMITH NOLTING

Engineering | Architecture | Surveying | Environmental

© 2016 WIDSETH SMITH NOLTING

A vicinity map showing the project location in relation to surrounding features. The map includes labels for "SEC. 6", "TWP. 117N", "RNG. 22W", "U.S.", "HIGHWAY NO. 12", "CENTRAL AVENUE N.", "LAKE MINNETONKA", "GOV'T LOT 1", "GOV'T LOT 2", "GOV'T LOT 3", "GOV'T LOT 4", "SITE", "NW 1/4 - NE 1/4", "NE 1/4 - NW 1/4", "SE 1/4 - NE 1/4", "SW 1/4 - NW 1/4", "SW 1/4 - SE 1/4", "NE 1/4 - SW 1/4", "NW 1/4 - SE 1/4", "NE 1/4 - NW 1/4", "SE 1/4 - NE 1/4", "SW 1/4 - NW 1/4", "SW 1/4 - SE 1/4", "NE 1/4 - SW 1/4", "NW 1/4 - SE 1/4". A north arrow and scale bar are also present.

ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE HENNEPIN COUNTY COORDINATE SYSTEM NAD83 (1986)

● = DENOTES A FOUND SECTION CORNER MONUMENT
 ● = DENOTES A FOUND IRON MONUMENT

SURVEYOR NOTES:

- Utilities are per observed evidence and markings and per GOPHER STATE ONE CALL, Locate Request Ticket No. 161111649, dated April 20, 2016. Also per markings per Hance Private Locating Service.
- The Proposed Land Space together with all Access and Utilities Rights of Way are within the area described in the Property Description contained herein.

DESIGN 1

No.	Date	REVISIONS						By	CHK	APP'D
FIELD WORK:		4/27/16, 5/3/16 & 7/21/16	CHECKED BY: SMK				DRAWN BY: JMB			

SIGNATURE: Shawn M Kupcho
SHAWN M. KUPCHO, L.S.
DATE: 7/27/16 LICENSE # 49021

© 2016 WIDSETH SMITH NOLTING

1 Applicant's representative, Mr. David Bieker, Denali Homes, 18352 Minnetonka Blvd, stated the
2 carriage house is designed to match the existing home in building materials, colors, and design.

3
4 Chair Iverson opened the public hearing at 7:25 p.m.

5
6 The being no one wishing to address the Planning Commission on the Application, Chair Iverson
7 closed the public hearing at 7:26 p.m.

8
9 There being no further questions or discussion, Chair Iverson asked for a motion on the
10 Application.

11
12 Commissioner Murray made a motion, Seconded by Commissioner Flannigan, to adopt the draft
13 Planning Commission Report and Recommendation as presented, recommending approval of the
14 Conditional Use Permit for a carriage house at 372 Ferndale Road S, subject to the conditions
15 outlined in the Report. The motion carried unanimously.

16
17 **d.) Verizon Wireless – 1000 Superior Blvd**

18 **i. Conditional Use Permit**

19
20 Director of Planning and Building Thomson stated the applicant, Verizon Wireless, has submitted
21 a development application for a conditional use permit at 1000 Superior Blvd. The proposed CUP
22 is to allow a new telecommunications facility for cellular antennas and associated equipment
23 including the installation of a proposed shelter at grade and rooftop construction as follows: 1)
24 antenna concealment, 2) antenna mounts, 3) antennas, and 4) antenna equipment. The proposed
25 CUP would include the routing of cables, electrical service, and fiber service from their origins
26 along the south side of Wayzata Blvd to their respected locations to improve communications
27 service in the area. The Applicant is proposing to construct a new 6-foot by 6-foot equipment
28 enclosure at grade on the south side of the building, and to construct 2 rooftop antenna
29 concealments that are 10-feet in height. The proposed CUP would not include any changes to the
30 design, size, or footprint of the existing building, beyond the addition of cable routing covers
31 affixed to the exterior. Mr. Thomson noted that City Ordinance Section 801.31.4.A requires that
32 Telecommunications Facilities not located on a Telecommunications Tower allowed under Section
33 801.31.4.B(1) obtain a Conditional Use Permit for the Telecommunications Facility and comply
34 with the other relevant provisions of the City's Telecommunications Ordinance. The property is
35 zoned C-1 and building is located within 300 feet of Wayzata Blvd E. Antennas would be
36 constructed behind a screening wall and penthouse addition to match the existing building exterior.
37 The proposed antennas height would be 10-feet above the roof deck of the building. The proposed
38 antennas do not project out from the side of the building. The ground building would be located
39 inside of the trash/dumpster area.

40
41 Commissioner Flannigan noted that the ground enclosure would still be visible because the fencing
42 and walls surrounding the dumpsters were not tall enough to hide the proposed enclosure. He
43 asked if this would meet the Ordinance's requirement of being screened.

44
45 Mr. Thomson stated that the Ordinance stated the structure must be screened. It does not specify
46 the entire facility must be screened.

1
2 Commissioner Murray asked if the enclosure would have to be locked.

3
4 Mr. Thomson clarified the dumpster enclosure would not have to be locked, but he thought the
5 carrier would lock the cabinet that housed the equipment.

6
7 Chair Iverson asked how close the nearest resident would be.

8
9 Mr. Thomson stated there is an apartment building to the south and west of the proposed location,
10 and the closest single-family home would be located on Huntington within 100-feet of the property
11 and 200-feet to the building on the property.

12
13 Applicant's representative, Ms. Amy Dresch, Jacobs Telecommunications, 10331 Balsam Lane,
14 Eden Prairie, provided background on the previous Verizon facility that had been located at the
15 Anchor Bank site. She said they had tried to work with Walgreens when the Anchor Bank property
16 was redeveloped but had been unable to work it out. She noted that currently Verizon has a gap
17 in coverage in the middle of the City's commercial district. They have looked at other
18 developments and properties to locate the proposed equipment but due to regulations and
19 restrictions, these sites would not meet their needs. She stated they could provide additional
20 screening around the dumpsters. She said that Verizon will also be relocating to the City's new
21 telecommunications tower, and this facility that is the subject of the Application would be in
22 addition to that. She stated one of the areas that Verizon has a coverage gap is in the new
23 development area. This has presented safety concerns because people were not able to use their
24 devices in this area and many people no longer have landlines to reach emergency assistance.

25
26 Commissioner Buchanan asked what other options were available for the stealth design of the
27 project.

28
29 Ms. Dresch stated in order to surround the panels and not block the radio frequency, they must use
30 special materials. They are proposing to emboss this material to match the existing building so
31 that it will not be noticeable. They could remove the window look and make it solid if the City
32 preferred that.

33
34 Chair Iverson asked if it would be possible to located the equipment on the side of the building
35 rather than the top.

36
37 Ms. Dresch stated this particular building has windows all the way around the building and
38 antennas mounted on the side of the building would block some of these windows and the area has
39 several trees, and they need to be above these in order to meet the coverage needs.

40
41 Chair Iverson asked if the applicant had talked with Colonial Square about possibility locating
42 there. She would like to see if there are options that are not close to residential areas.

43
44 Mr. Dresch stated the only way to make the shopping center facility work would be to build a
45 tower. They did not talk with the shopping center directly because of this.

46

1 Commissioner Flannigan asked how the equipment and structure would be accessed.

2
3 Ms. Dresch stated they would utilize the existing parking lot and driveway. The enclosure would
4 be located behind the gate, and it would also be locked and have an alarm. They would have a
5 technician visit the site about three times a month to check the equipment, and they have an
6 agreement with the property owner that maintenance would be done during regular business hours
7 unless there is an emergency. The access to the rooftop equipment is through the building. They
8 would only need to bring in large trucks to access the rooftop if one of the antennas were to go
9 bad. The antennas would be approximately 4 feet taller than the HVAC on the top of the building.

10
11 Chair Iverson asked if it would make sense to move the antennas more forward on the building
12 away from the residential areas.

13
14 Mr. Thomson stated the ground equipment must be in the back of the property but not the antennas.

15
16 Chair Iverson opened the public hearing at 7:58 p.m.

17
18 Ms. Virginia Lord, 143 Huntington Ave S, stated she had wanted to live in Wayzata because it is
19 a safe community and now doubts this. The second level of her home is eye level with the rooftop
20 of the building where the antennas are proposed, and they would be too close to a tower that may
21 present a health risk. She explained the precautionary principle that the introduction of a new
22 product or process whose ultimate effects are disputed or unknown, should be resisted and not
23 allowed. The principle implies that there is a social responsibility to protect the public from
24 exposure to harm when an activity raises threats of harm to the environment or human health.
25 Precautionary measures should be taken even if some cause and effect relationships are not fully
26 established scientifically. She said, therefore, that the Wayzata Planning Commission has the
27 obligation to protect the citizens from this type of potential harm caused by the proposed cellular
28 towers, which are three doors down from her house. As a realtor, she noted she often sees potential
29 homebuyers looking for homes that are not by cellular towers or high voltage wires. If the City
30 allows the Verizon antennas then the homes nearby would be included in a category of homes that
31 many buyers would not want. She asked the Commission to allow the precautionary principle to
32 guide their decision.

33
34 Mr. Peter Fischer, 141 Huntington Avenue S, asked about the noise level, and if there would be a
35 generator included with the ground equipment.

36
37 Ms. Brenda Kaufman, 131 Huntington Avenue, stated she is opposed to the cell phone towers.
38 The neighborhood does not need any additional eyesores or noise encroaching. The Edina Realty
39 building towers over her home, and there are lights on in the building all the time. The building
40 has been an invasion of privacy, and she has had two windows removed from her home to maintain
41 some privacy. The lights from the parking ramp in the building are so bright that it does not get
42 dark in her home. She can see the area where the ground equipment would be, and it would not
43 be screened from her view. She is concerned about the truck traffic. She currently has to deal
44 with the garbage truck that comes on the property between 3 and 3:30 a.m. She stated the
45 equipment had been located at the Anchor Bank facility prior to their being homes in that area.
46 Allowing these towers to be built on the Edina Realty property would devalue her property. She

1 asked if the towers could be built closer to the areas that are experiencing the coverage problems.
2 If the problem is in the commercial areas, then it should be kept out of the residential areas. She
3 expressed concerns about health, and the effects a cell tower would have on her body.
4

5 Mr. Gordy Straka, 130 Huntington Avenue S, provided background on the property at 1000
6 Superior, including the land use items that had been approved by the City, and highlighted the
7 items that the developer and property owner did not follow through with and the current
8 Ordinances that the property does not meet. He does not support granting a CUP to a property that
9 has already been granted several variances and would open the door to further problems. Installing
10 these towers would be industrial encroachment to the neighborhood. He would like to see the CUP
11 denied.
12

13 Ms. Diane Straka, 130 Huntington Avenue S, stated the parking lot is always full, and that there
14 had been an agreement with the gas station to use some of their parking. The gas station has closed
15 this off, and now these cars are parking other places in the area. She stated this was something the
16 City should consider when allowing businesses to share parking.
17

18 Ms. Kaufman stated she has Verizon as a cell carrier, and she does not have problems with her
19 service.
20

21 There being no one else wishing to address the Planning Commission on the Application, Chair
22 Iverson closed the public hearing at 7:25 p.m.
23

24 Chair Iverson noted that a couple of letters on the Application had been received by the City, and
25 read them for the record:

26 Mr. Bill Berneking, 188 South Circle Drive S wrote:

27 "Dear Planning Commission Members, I agreed with my neighbors. The City should not
28 allow cell phone antennas on the 1000 Superior Blvd Building."
29

30 Mr. Dan Gustafson, 1042 E Circle Dr wrote:

31 "Elisha and I wanted to echo the concerns of our neighbors regarding the proposed new
32 cell phone tower at 1000 Superior Blvd. These kinds of installations can have a significant
33 impact on a residential neighborhood and onsite equipment needs and access seems to
34 grow over time. At the same time, clearly more cell phone coverage is necessary in
35 downtown Wayzata, both now and in the future. What is the expected time frame for the
36 micro site technology deployment from major carriers and what equipment will be
37 necessary now and in the future for said micro sites? Can a macro or micro installation
38 occur on top of the Folkestone building instead? Wasn't another cell tower approved on
39 top of the Copeland Buhl building and could this site be located at this location? Can any
40 limits be imposed on the number and time of service visits, volume of equipment, etc on
41 this location? Please exercise caution and utilize your best judgment in your decision
42 making process on this agenda item. It would be highly undesirable to repeat the Water
43 Tower site circumstances."
44

1 Chair Iverson stated the number of trucks at the water tower telecommunications location was
2 extensive. She expressed concerns that the amount of maintenance stated by the applicant is not
3 what occurs in reality.

4
5 Commissioner Flannigan stated that it is clear it was an unfortunate situation when the building
6 was built on the property. The building is now a deterrent to the residents in this neighborhood.
7 He asked if the Commission could build in restrictions to this particular application that would
8 address some of the current concerns with the property, specifically associated with landscaping
9 and times that lights are on.

10
11 Mr. Thomson stated that as part of a Conditional Use Permit, there could be conditions imposed
12 for the application, which would include those items related to the telecommunications operation.
13 Any violation of the conditions set in a CUP would allow the City to review the CUP and if there
14 are continued violations the City could revoke the CUP. The property owner is a co-applicant and
15 the City could include items for the operations requirements from the City's ordinances for the
16 property owner to comply with as a condition of approval. The challenge would be if the City
17 were to add additional operational requirements for the office building that are not in the City's
18 ordinances.

19
20 City Attorney Schelzel added that any conditions to approval of the CUP requested should be
21 reasonable and related to the CUP application.

22
23 Commissioner Flannigan stated he would not support this application based on his earlier
24 comments.

25
26 Commissioner Murray stated the current CUP application does not have to do with the garbage
27 trucks, the landscaping, the lighting, or any other problems the neighborhood has expressed with
28 the office building. Without considering these items, he would be inclined to support the project
29 but because there are other problems with this facility, he would not want to support and reward
30 the co-applicant for being a bad neighbor.

31
32 Commissioner Buchanan stated the application before the Commission is for cell phone antennas
33 for Verizon, but what was heard during the public hearing was complaints about the building and
34 the property owner being a bad neighbor, and being disruptive and not honoring their original
35 commitments. These things are hard to separate from the application. He stated he does not have
36 a problem with the cell towers themselves, but it is difficult to ignore the concerns and objections
37 from the neighborhood.

38
39 Chair Iverson agreed that this might not be the best location for a telecommunications facility due
40 to the proximity to the neighborhood and the potential impact to their property values. She would
41 like to see other locations explored, including the Presbyterian Homes area.

42
43 Commissioner Murray stated he struggles with the comments citing health concerns because the
44 City's telecommunications tower is located near a playground, and they are suggesting looking at
45 locating these towers in other high density areas. He stated the Commission could not deny the

1 application based on the current occupants being bad neighbors. They could deny the application
2 based on the design or the location is not the best.

3
4 Commissioner Buchanan stated they do not know the health risks of the cell towers, and the
5 application is separate from the problem of being bad neighbors.

6
7 City Attorney Schelzel stated the Commission should look at the application presented, and the
8 criteria for granting or denying a Telecommunications CUP. If there are other property compliance
9 issues the City needs to look at with the property owner, the Commission can direct staff to look
10 into these issues and bring back more information. He added that would advise against citing
11 health concerns as a basis for denial.

12
13 Chair Iverson stated that based on the applicable criteria, the proposed towers do not meet the
14 stealth design requirement because they are large and imposing. She would like to see something
15 more unique. The application also does not meet the security and fencing requirements. The
16 accessory equipment does not blend into the environment well.

17
18 Commissioner Flannigan stated the proposed use would impact the property values of the
19 surrounding properties including the residential area.

20
21 Commissioner Buchanan stated the application itself meets the criteria. He does not like the
22 rooftop design, and the screening could be improved. An improvement for the rooftop design
23 could be asked for. He stated that the Commission is confusing the neighbors' complaints with
24 the building, with the application before the Commission. The problems with the building should
25 be addressed separately.

26
27 Commissioner Flannigan stated it is intrusive on the neighborhood, and this is the extra thing that
28 would be imposed on the neighborhood. The proximity to the residential area would have an affect
29 on the property values and the neighborhood. There are better solutions, and he would encourage
30 the applicant to look for one.

31
32 Commission Murray asked if the towers would be less intrusive if they were pushed to the front
33 of the building and the screening were improved.

34
35 Ms. Dresch stated there is no generator for this site, and the only noise would be from a small AC
36 unit and there are no lights as part of the application. They would work with the City to meet the
37 screening requirements for the neighborhood.

38
39 Applicant's representative, Mr. Jarrod Andrews, Jabobs Engineering, 7300 Metro Blvd #400,
40 Minneapolis, stated there were new questions and concerns that have been brought up at the public
41 hearing, and that they would be able to address them better if the application were continued to the
42 next meeting.

43
44 City Attorney Schelzel stated the applicant has expressed a willingness to address the new
45 concerns that have been brought up by the Commission and the public hearing. Thus, it would be
46 appropriate for the Commission to continue the item to the next meeting to allow the applicant to

1 take these items under advisement, potentially revise their plans, and bring forward new
2 information and responses to the questions and concerns raised.

3
4 Commissioner Murray made a motion, Seconded by Commission Buchanan, to continue the
5 discussions and consideration of the CUP application for Verizon Wireless cell towers at 1000
6 Superior Blvd, and request the applicant provide additional information regarding additional
7 justification for this location, alternate locations on the rooftop, different screening options for the
8 rooftop and ground equipment, more vantage points for neighbors to understand the impacts, and
9 additional stealth designs. The motion carried unanimously.

10
11
12 **AGENDA ITEM 6. Other Items:**

13
14 **a.) Review of Development Activities**

15
16 Director of Planning and Building Thomson stated the City Council is scheduled to interview
17 candidates for the Planning Commission on November 21. The next Planning Commission agenda
18 will include the Verizon application, the Circle A application, and four new development
19 applications.

20
21 **b.) Next Meeting is December 4, 2017**

22 Director of Planning and Building Thomson noted that the next regular meeting of the Planning
23 Commission is scheduled for December 4, 2017.

24
25
26 **AGENDA ITEM 7. Adjournment.**

27
28 There being no further business on the agenda, Chair Iverson asked for a motion to adjourn.

29
30 Commissioner Flannigan made a motion, seconded by Commissioner Murray, to adjourn the
31 meeting. The motion carried unanimously.

32
33 The Planning Commission meeting was adjourned at 9:03 p.m.

34
35 Respectfully submitted,

36
37 Tina Borg
38 *TimeSaver Off Site Secretarial, Inc.*

Dear Planning Commissioners,

I agree with my neighbors
that the city should not allow
cell phone antennas on top of
the 1000 Superior Blvd building.

Sincerely
Bill Bantwin
188 So Circle Dr.

Dan & Elisha Gustafson
1040 East Circle Drive
Wayzata, MN 55391

Wayzata Planning Commissioners
600 Rice Street
Wayzata, MN 55391

11/20/2017

RE: Cell phone towers

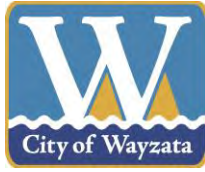
Chair Iverson and Commissioners,

Elisha and I wanted to echo the concerns of our neighbors regarding a proposed new cell phone tower at 1000 Superior Boulevard. These kinds of installations can have a significant impact on a residential neighborhood, and on site equipment needs and access seem to grow over time. At the same time, clearly more cell phone coverage is necessary in downtown Wayzata both now and in the future.

What is the expected time frame for micro sites technology deployment from major carriers, and what equipment will be necessary now and in the future for said micro sites? Can a macro or micro installation occur on top of the Folkestone buildings instead? Wasn't another cell tower just approved atop the Copland Buhl building and could this site be located at that location? Can any limits be imposed upon the number and time of service visits, volume of equipment, etc. on this location?

Please exercise caution and utilize your best judgment in your decision making process on this agenda item. It would be highly undesirable to repeat the Lucy Bruntjen / Water Tower cell phone site circumstance.

Dan & Elisha Gustafson



**Staff Report
January 22, 2018**

Project Name: 235 Lake St E
Applicant: Pat Hughes
Property Owner Melvin's 235, LLC
Addresses of Request: 235 and 239 Lake St E
Prepared by: Jeff Thomson, Director of Planning and Building
"60 Day" Deadline: February 9, 2018

Development Application

Introduction

The applicant, Pat Hughes, and the property owner, Melvin's 235, LLC, have submitted a development application to redevelop the properties at 235 and 239 Lake Street East. The applicant is proposing to demolish the existing office building and construct a three story, 35,000 square foot office building. The development application requests approval of a rezoning from C-4A/Limited Central Business District to PUD/Planned Unit Development and PUD Concept Plan.

Application Requests

As part of the submitted development application, the applicant is requesting approval of the following items:

- A. Rezoning from C-4A to PUD/Planned Unit Development: The properties are currently zoned C-4A and the applicant is requesting a rezoning to PUD.
- B. PUD Concept Plan of Development Review: A rezoning to PUD requires both concept and general plan of development review. The applicant is requesting concept plan review prior to submitting the full development application for general plan of development and design review.

Property Information

The property identification number and owner of the property are as follows:

Address	PID	Owner
235 Lake St E	06-117-22-23-0010	Melvin's 235, LLC

235 Lake St E	06-117-22-23-0007	Melvin's 235, LLC
235 Lake St E	06-117-22-32-0003	Melvin's 235, LLC
239 Lake St E	06-117-22-23-0014	Melvin's 235, LLC

The current zoning and comprehensive plan land use designations for the property as follows:

Current zoning:	C-4A/Limited Central Business District
Comp Plan designation:	Central Business District
Overlay districts:	S/Shoreland Overlay District W/Wetland Overlay District

Project Location

The property is located on the north side of Lake Street, between Barry Avenue and Edgewood Court:

Map 1: Project Location



Adjacent Land Uses

The following table outlines the uses, zoning, and Comprehensive Plan land use designations for adjacent properties:

Direction	Adjacent Use	Zoning	Comp Plan Land Use Designation
North	Wayzata Villa Condominiums	R-5/Average Density Multiple Residential District	High Density Multiple Family

East	253 Condos Development Site	PUD/Planned Unit Development	Central Business District
South	Lake Street	N/A	N/A
	TCF Office Building	PUD/Planned Unit Development	Central Business District
West	Coldwell Banker Burnet Building	C-4A/Limited Central Business District	Central Business District

Map 2: Adjacent Land Uses

Zoning



Comp Plan Land Use Designation



Public Hearing Notice

The public hearing notice was published in the *Sun Sailor* on January 11, 2018. The public hearing notice was also mailed to all property owners located within 350 feet of the subject property on January 12, 2018.

Background Information

On September 5th, the City Council, Planning Commission, and HRA held a joint workshop to discuss redevelopment plans along Lake Street, west of Manitoba Avenue. Redevelopment in this area is a key strategic initiative of the City Council. At the workshop meeting, several property owners in the area provided concept plans for redevelopment of the individual development sites. Since that time, the City Council has approved the

final PUD for Wayzata Blu and the concept PUD for the 253 Lake St E property. In addition to the private development applications, the City has established a TIF District in the area which would provide for reimbursement of certain private and public development costs in order to help facilitate the elimination of blight in the area, provide for increased off-street public parking, and also to help fund future street, streetscape, and utility improvements. The subject property is one of the individual development sites in redevelopment area. The proposed PUD concepts plans are similar to what was presented by the property owner at the joint workshop meeting.

Project Overview

The development application includes demolition of the existing office building and construction of a new three-story, 35,000 square foot office building. The off-street parking for the building would be provided by a shared surface parking lot on the back of the property. The parking lot would utilize the land given to the City as part of the 253 Lake St E project. Access to the shared parking lot would be provided from Lake St by a new two-way drive aisle on the west side of the site. If the shared parking area also included the parking area behind the Wayzata Blu project for the Boatworks easement, the parking lot would also have a full two-way access from Barry Ave.

Planned Unit Development Process

The planned unit development zoning district is unique compared to a standard zoning district in that the development plans that are submitted with an application and approved by the City Council, are the regulating documents for the zoning of the property. Any future changes to the development must be consistent with the approved plans, or the property owner must apply to amend the PUD.

In Wayzata, there is a two phase review of a PUD request. The first phase of PUD review is the concept plans, which provides an overview of the development and a general schematic design of the project, but does not include detailed engineering and architectural design of the buildings and site improvements. The intent of the concept plan is to review the general project characteristics such as consistency with the Comprehensive Plan, consistency with the purpose and intent of the PUD district, and compliance with the general standards outlined in the PUD zoning district. The second phase of a PUD review is the general plan, which is a more detailed review of the site and building design.

On many recent development applications, the City has received applications for concurrent review of both the concept and general plans of development, which is allowed by the PUD ordinance. In this case, City staff, the Planning Commission, and the City Council review both the general framework of the PUD and the details of the project at the same time. The applicant is requesting review of only the concept plans for the current application. If the City Council approves the PUD rezoning and concept plans, the applicant would submit the general plan, design review, and any other required development applications for future review by City staff, the Planning Commission, and the City Council. If the City approves the PUD concept plans, it does not bind the City to subsequent approval of the general plans.

Analysis of Application

City staff has reviewed the pertinent information and City Code requirements for the PUD concept plan, and provides the following analysis and information:

Comprehensive Plan

The Comprehensive Plan land use designation for the subject property is Central Business District. The Comprehensive Plan includes the following discussion for the Central Business District:

The Central Business District (CBD) includes the main thoroughfare of Lake Street and is generally referred to as downtown. The CBD continues to evolve into a diverse environment of retail stores, offices, restaurants, and residential land uses. This diversity is seen as healthy in that it attracts a wide variety of people into the downtown area at all times of the day. This diversity along with its proximity to Lake Minnetonka, make the CBD a destination place in the region.

Zoning

The property is currently zoned C-4A/Limited Central Business District, and is located within the shoreland and wetland overlay districts. The following table outlines the zoning standards for the C-4A, PUD, and shoreland overlay districts:

	C-4A Zoning	PUD Zoning	Shoreland Overlay District	Proposed PUD
Height (max.)	2 stories and 30 feet, whichever is less	3 stories and 35 feet, whichever is less	35 feet	3 stories 35 feet
Floor Area Ratio (max.)	2.0	None	None	1.55
Impervious Surface (max.)	None	None	25% 75% with stormwater management 100% with shoreland impact plan/CUP	TBD (Final impervious surface coverage is dependent on design of public parking area)
Property Line Setbacks (min.)	None (not adjacent to residential district)	None	None	North: 250+ ft. East: 9 ft. South: 1 ft. West 38 ft.
Lot Requirements (min.)	12,000 sq ft total lot area	None	Same as underlying zoning district	54,909 sq ft

Differences between C-4A and PUD Zoning

The PUD zoning district is a tool that the City use to allow for greater flexibility in development by incorporating design modifications from the strict application of the typical zoning district requirements. The PUD zoning district allows modifications of the strict standards for projects that meet a specific purpose, as outlined in “Applicable Code Provisions” section of this report. In addition, the PUD zoning district establishes general standards for a PUD, which are also outlined below.

The differences between the C-4A district and PUD district, as they pertain to the proposed project, include allowing flexibility for the building height and the uses within the building. The C-4A district has a maximum building height requirement of 2 stories and 30 feet, and the PUD district has a maximum building height of 3 stories and 35 feet. The proposed rezoning to PUD would allow for an additional story beyond what is allowed by the current C-4A zoning.

The C-4A district also includes two standards related to the use of the building. First, the C-4A district requires that at least 50 percent of the building frontage on the Lake Street ground level must be used for retail or service commercial uses. Secondly, the C-4A district requires that new building on Lake Street must be developed with more than one use, which includes retail, service, residential, or office. The proposed building would have 100 percent office uses, including on the ground level, which would not meet the requirements of the C-4A district.

The City’s Comprehensive Plan includes objectives that pertain to the differences between the PUD and C-4A requirements. The Comp Plan states that within the Central Business District, commercial buildings on Lake Street, west of Barry Avenue, should not be required to have a first floor retail use, although it is allowed and encouraged. In addition, the Comp Plan states that the City will consider third story uses with appropriate considerations for design and scale. Commercial and residential uses are allowed as a third story, but the third story must be set back significantly more from the front façade of the floor below.

Action Steps

After considering the items outlined in this report and the public hearing held at the meeting, the Planning Commission should direct staff to prepare a *Planning Commission Report and Recommendation*, with appropriate findings, reflecting a recommendation on the application for review and adoption at the next Planning Commission meeting.

Attachments

Applicant’s Narrative
Existing Conditions
PUD Concept Plans

Applicable Code Provisions for Review

Comprehensive Plan

The Comprehensive Plan land use designation for the subject property is Central Business District. The objective of the Central Business District land use category is to promote a diversity of retail, office, service, and residential land uses at a high level of development quality to enhance it as a regional destination. The Comprehensive Plan includes the follow “1st Tier” priorities for the Central Business District:

- Allow a mix of commercial, office, and residential uses that strengthen the CBD as the shopping, employment, and entertainment destination of Wayzata.
- Update development standards continually to assure the highest development quality possible for the Central Business District.
- Complement the CBD and its strong sense of place through land use choices, urban design principles, traffic, parking, and architectural style.
- Investigate strategies to increase retail vitality throughout the CBD.
- Define and evaluate on-street/off-street parking needs consistent with land use, and requirements within the CBD so as to emphasize circulation ease and access control.
- Continue to provide a safe, comfortable, and attractive pedestrian scale environment through the enhancement of the pedestrian circulation system by improving sidewalks, walkways and street furniture; mitigating conflicts with traffic and street intersections, and by providing proper demarcation and sign control.
- Enhance the image and identity of the CBD by emphasizing street trees and landscaping elements.
- Plan for an orderly transition between the CBD development and adjacent residential neighborhoods.
- Accommodate traffic without negatively compromising the integrity of the downtown and its adjacent neighborhoods.
- Consider complementing abutting edges, both residential and retail/commercial.
- Consider public financial support that is fiscally responsible and provides value to the City's infrastructure and community systems.
- Consider ways to assist with redevelopment when properties become a liability to the community.

- Commercial buildings on Lake Street, west of Barry Avenue, should not be required to have a first floor retail use, although it is allowed and encouraged. Transparency requirements under the Lake Street District of the Design Standards remain in effect.
- Identify ecological and water quality impacts on the lake and other water bodies caused by proposed land use developments, for example stormwater runoff, and work to mitigate these impacts.

In addition, the Comprehensive Plan includes the following “2nd Tier” priorities:

- Plan development of parking so that it is not a focal point but rather placed behind buildings with appropriate buffers and landscaping.
- Adjust City’s Zoning Ordinance to address concerns of sun-orientation on southern side of Lake Street by requiring upper story setbacks for all new construction to avoid shading the north side of Lake Street.
- Continue to evaluate ways to encourage a variety of housing options for upper-story housing.
- Consider 3rd story’ uses with appropriate considerations for design and scale. Commercial and residential uses are allowed as a third story, but the third story must be set back significantly more from the front facade of the floor below.

Amendments to Zoning Ordinance (Section 801.03.2.F): City Council has the discretion and authority under state law and City Code to amend the City’s Zoning Ordinance. Minn. Stat. Section 462.357; Wayzata City Code Section 801.03. A zoning ordinance amendment may be initiated by the governing body, the planning agency or by petition of affected property owners. Minn. Stat. Section 462.357, Subd. 4. In considering a proposed amendment to the Zoning Ordinance, the Planning Commission and City Council shall consider the possible adverse effects of the proposed amendment. Its judgment shall be based upon (but not limited to) the following factors:

- A. The proposed action in relation to the specific policies and provisions of the official City Comprehensive Plan.
- B. The proposed use’s conformity with present and future land uses of the area.
- C. The proposed use’s conformity with all performance standards contained herein (i.e., parking, loading, noise, etc.).
- D. The proposed use’s effect on the area in which it is proposed.
- E. The proposed use’s impact upon property value in the area in which it is

proposed.

- F. Traffic generation by the proposed use in relation to capabilities of streets serving the property.
- G. The proposed use's impact upon existing public services and facilities including parks, schools, streets, and utilities, and the City's service capacity.

Purpose of PUDs: Section 801.33 of the Zoning Ordinance provides for the establishment of Planned Unit Developments to allow greater flexibility in the development of neighborhoods and/or non-residential areas by incorporating design modifications as part of a PUD conditional use permit or a mixture of uses when applied to a PUD District. The PUD process, by allowing deviation from the strict provisions of the Zoning Ordinance related to setbacks, lot area, width and depth, yards, etc., is intended to encourage:

- A. Innovations in development to the end that the growing demands for all styles of economic expansion may be met by greater variety in type, design, and placement of structures and by the conservation and more efficient use of land in such developments.
- B. Higher standards of site and building design through the use of trained and experienced land planners, architects, landscape architects, and engineers.
- C. More convenience in location and design of development and service facilities.
- D. The preservation and enhancement of desirable site characteristics such as natural topography and geologic features and the prevention of soil erosion.
- E. A creative use of land and related physical development which allows a phased and orderly development and use pattern.
- F. An efficient use of land resulting in smaller networks of utilities and streets thereby lower development costs and public investments.
- G. A development pattern in harmony with the objectives of the Wayzata Comprehensive Plan. (PUD is not intended as a means to vary applicable planning and zoning principles.)
- H. A more desirable and creative environment than might be possible through the strict application on zoning and subdivision regulations of the City.

PUD General Standards. Section 801.33.2.A sets forth the general standards for review of a PUD application. These are:

- A. Health Safety and Welfare. In reviewing the PUD application, the Council shall evaluate the effects of the proposed project upon the health, safety and welfare of residents of the community and the surrounding area.
- B. Intent and Purpose of PUDs. In reviewing the PUD application, the Council shall evaluate the project's conformance with the overall intent and purpose of Section 33 of the Zoning Ordinance.
- C. Ownership. Applicant/s must own all of the property to be included in the PUD.
- D. Comprehensive Plan. The PUD project must be consistent with the City's Comprehensive Plan.
- E. Sanitary Sewer Plan. The PUD project must be consistent with the City's Sanitary Sewer Plan.
- F. Common Space. The PUD project must provide common private or public open space and facilities at least sufficient enough to meet the minimum requirements established in the Comprehensive Plan, and contain provisions to assure the continued operation and maintenance of such.
- G. Density. The PUD project must meet the density standards agreed upon by the applicant and City, which must be consistent with the Comprehensive Plan.
- H. Utilities. All utilities associated with the PUD must be installed underground and meet the utility connection requirements of Section 801.33.2.A.10.
- I. Roadways. All roadways associated with the PUD must conform to the Design Standards and Wayzata Subdivision Regulations, unless otherwise approved by City Council.
- J. Landscaping. All landscaping associated with the PUD must be according to a detailed plan approved by the City Council. In assessing the plan, the City Council shall consider the natural features of the particular site, the architectural characteristics of the proposed structure and the overall scheme of the PUD plan.
- K. Setbacks. The front, rear and side yard restrictions on the periphery of the PUD shall be the same as imposed in the respective districts.

Variance Standards: Section 801.05.1.C provides the criteria for reviewing variances from the zoning ordinance, which are as follows:

- A. Variances shall only be permitted when they are:
 - (i) in harmony with the general purposes and intent of this Ordinance; and

- (ii) consistent with the Comprehensive Plan.
- B. Variances may be granted when the Applicant for the variance establishes that there are practical difficulties in complying with this Ordinance.
- C. "Practical difficulties," as used in connection with the granting of a variance, means that:
 - (i) the property owner's proposal for the property is reasonable but not permitted by this Ordinance;
 - (ii) the plight of the landowner is due to circumstances unique to the property, and not created by the landowner; and
 - (iii) the variance, if granted, will not alter the essential character of the locality.
- D. Economic considerations alone do not constitute practical difficulties. Practical difficulties include, but are not limited to, inadequate access to direct sunlight for solar energy systems.
- E. Variances shall be granted for earth sheltered construction as defined in Minnesota Statutes, section 216C.06, subdivision 14, when in harmony with this Ordinance.
- F. The City Council shall not permit as a variance any use that is not allowed under this Ordinance for property in the zoning district where the affected person's land is located, except the City Council may permit as a variance the temporary use of a one family dwelling as a two family dwelling.
- G. The City Council may impose conditions in the granting of variances. A condition must be directly related to and must bear a rough proportionality to the impact created by the variance.
- H. An application for a variance shall set forth reasons that the variance is justified under the criteria of this section in order to make reasonable use of the land, structure or building.

Conditional Use Permits: City Code Section 801.04.2.F. states that the Planning Commission and City Council shall consider possible adverse effects of the proposed conditional use. Their judgment shall be based upon (but not limited to) the following factors:

- A. The proposed action in relation to the specific policies and provisions of the official City Comprehensive Plan.
- B. The proposed use's compatibility with present and future uses of the area.
- C. The proposed use's conformity with all performance standards contained herein (i.e., parking, loading, noise, etc.).

- D. The proposed use's effect on the area in which it is proposed.
- E. The proposed use's impact upon property values in the area in which it is developed.
- F. Traffic generated by the proposed use is in relation to capabilities of streets serving the property.
- G. The proposed use's impact upon existing public services and facilities including parks, schools, streets and utilities, and the City's service capacity.

Shoreland Impact Plan/Conditional Use Permit: Section 801.91.19.A states that landowners or developers desiring to develop land or construct any dwelling or any other artificial obstruction on land located within any Shoreland District within the City of Wayzata shall first submit a conditional use permit application as regulated by Section 801.04 of this Ordinance and a plan of development, hereinafter referred to as "Shoreland Impact Plan", which shall set forth proposed provisions for sediment control, water management, maintenance of landscaped features, and any additional matters intended to set forth proposed changes requested by the applicant and affirmatively disclose what, if any, change will be made in the natural condition of the earth, including loss of change of earth ground cover, destruction of trees, grade courses and marshes. The plan shall minimize tree removal, ground cover change, loss of natural vegetation, and grade changes as much as possible, and shall affirmatively provide for the relocation or replanting of as many trees as possible which are proposed to be removed. The purpose of the shoreland impact plan shall be to eliminate and minimize as much as possible potential pollution, erosion and siltation.

Section 801.91.19.C states that all conditional use permits for consideration under the Shoreland District shall be subject to the following stipulations:

1. The projects shall be analyzed to determine the impact of impervious surfaces, storm water runoff, floodplain, and water quality implications. Only those projects shall be allowed where the adverse impacts have been mitigated through approved means to the extent possible.
2. Storm water treatment measures including, but not limited to, sediment basins (debris basins), desilting basins or silt traps, installation of debris guards, and microsilts basins on storm water inlets, oil skimming devices, etc. shall be required subject to the review of the City Engineer and the Minnehaha Creek Watershed District on projects where applicable.
3. Projects shall be analyzed in terms of provisions for maintenance and enhancement of landscape features, and change in the natural condition of the soil, trees, grade courses and marshes. The vegetative planting plan shall contain trees, when fully mature, that will exceed the building height. The plan shall also minimize tree removal, ground cover change, loss of natural

- vegetation, and grade changes as much as possible. It shall further provide for the relocation or replanting of trees which are proposed to be removed.
4. Projects shall be analyzed in terms of the appearance of the structure when viewed from the lake's surface. Building materials, and color shall be analyzed to determine which facade and roof materials minimize the appearance and blend the structure into the shoreland and vegetation.
 5. Building heights shall be analyzed to determine the impact on surrounding structures and views from the lake surface or other shores. Structures shall not be allowed to exceed a height beyond that is allowed by the base zoning district or cannot be screened by landscaping or other design measures.
 6. Residential densities on a project basis shall not be allowed to exceed the maximum allowed density of the base zoning district for which the project is proposed. For higher density residential development and planned unit developments, the density shall not be allowed to exceed the density standards as specified in the R-5 District of this Ordinance.
 7. Lot coverage on a project basis shall be restricted to the provisions for maximum impervious surface coverage as provided for in this Ordinance.
 8. Overall residential densities in the shoreland area shall not exceed the surplus development capacity for residential density, as calculated for Lake Minnetonka, Gleason and Peavey Lakes, as specified in the Wayzata Comprehensive Plan/Shoreland Management Plan, as may be amended.
 9. Overall lot coverage in the shoreland area shall not exceed the surplus development capacity for impervious surface coverage calculated for Lake Minnetonka, Gleason and Peavey Lakes, as specified in the Wayzata Comprehensive Plan/Shoreland Management Plan, as may be amended.
 10. All projects shall be in conformance with the Stormwater Management Plan for the City of Wayzata, May 1988, as may be amended and/or approved by the City Engineer.
 11. All projects shall be in conformance with the Wayzata Comprehensive Plan/Shoreland Management Plan, as may be amended.
 12. All projects shall be subject to the review of the Minnehaha Creek Watershed District.

**CONCEPT PLAN PUD APPLICATION
235/239 LAKE STREET EAST, WAYZATA
Melvin's 235, LLC, Applicant**

December 8, 2107

NARRATIVE SUMMARY

Introduction:

The 235/239 Lake Street East property is planned to be developed into a three story multi-tenant office building. The current property consists of four tax parcels which will be combined into a single tax parcel for the development. The new office building is currently designed to contain 35,181 square feet of gross building area. All parking will be surface parking for tenants and/or visitors and be located on the north side of the property. We are requesting Concept Approval prior to the planned Submission of the General Plan and Design Review by the City of Wayzata.

The 235/239 Lake Street East development is intended to serve the local multi-tenant office market. The property owner Melvin's 235, LLC is expected to lease a portion of the building for their own company use and offices. The balance of the office space will be leased to local general office space users.

The 235/239 Development team currently includes:

Developer/Owner
Melvin's 235, LLC – Pat Hughes Principal
235 Lake Street East
Wayzata, MN 55391

Project Manager
McSharry Real Estate, LLC – Tom Dillon
229 Minnetonka Avenue South, #52
Wayzata, MN 55391

Project Architect
Momentum Design Group – Craig Hartman
765 North Hampden Avenue, #180
St. Paul, MN 55114

Project Surveyor
Sathre-Bergquist, Inc. – Dave Pemberton
150 Broadway Avenue South
Wayzata, MN 55391

Present Site Status:

The property is owned by Melvin's 235, LLC. There currently exists one two story office building on the property which was built in 1953. The property is currently zoned C-4A

and we are requesting a PUD rezoning. An existing zoning summary of neighboring properties within 1,000-foot radius of 235/239 Lake Street East is included.

Site Conditions:

The site is a flat site with a low-quality wetland located on the northern edge of the property. There are no other buildings, structures, significant trees or significant landscaping located on the site. Soil conditions are expected to be structurally unsuitable to support a new building and will need driven piles for foundation support. Required utilities for the new office building are located in the Lake Street East right of way.

Schematic Drawings:

The office building plans show the following gross floor sizes:

First Floor	12,106 square feet of gross building area
Second Floor	11,954 square feet of gross building area
Third Floor	<u>11,121 square feet of gross building area</u>
Total GBA	35,181 square feet of gross building area

All building space is planned as general office space and parking provided on surface parking lot on the north side of building. The office building steps back from Lake Street on floor two by six feet and by an additional twelve feet on level three. The schematic building plans provide a building height of thirty five feet.

Statement of Area Use:

The surrounding properties on Lake Street East is mostly a combination of commercial and business uses. The planned redevelopments immediately to the east of the 235/239 property which would change uses from commercial use to high density residential use. Both the existing surrounding uses and the proposed future surrounding uses are compatible with the planned office building use at 235/239 Lake Street East.

Site:

First floor building setback from Lake Street is estimated at between one foot to six feet based on the varying property line along Lake Street. The proposed development would require approximately 96 parking stalls including one loading stall at the rear of the building based on one stall per thousand square feet of building. Melvin's 235, LLC and the City of Wayzata have been discussing a mutually beneficial parking arrangement that would provide surface parking for the 235/239 building and provide public parking during off peak business hours. This arrangement would involve a conveyance of some of Melvin's 235 land and some of 253 Lake Street land to create this parking area.

Access to and from the 235/239 property to Lake Street is located on the west side of the building and is located on 235/239 property. The property owners of 235/239 Lake Street and 201 Lake Street are discussing a way to jointly share a drive access to both their properties which may change the proposed access in the near future. It is expected to be finalized prior to 235/239 submission for General Plan approval. It is

expected that a private/public use agreement will be formalized with the City prior to submission for General Plan approval.

Site Tabulation:

Total Site Area:	56,713 square feet
First Floor	12,106 square feet of gross building area
Second Floor	11,954 square feet of gross building area
Third Floor	11,121 square feet of gross building area

Proposed FAR	.62 FAR based on current site area
--------------	------------------------------------

Project Schedule:	City Approvals	March 2018
	Construction Start	July 2018
	Construction Completion	May 2019
	Building Occupancy	July 2019

Public or Common Space:

There are several planned public or common spaces at the 235/239 Lake Street East property and would include a planned walkway connecting the north surface parking lot and Lake Street East. That walkway is expected to be located on the east side of the 235/239 building and the west side of the proposed 253 Lake Street East building. The other planned public or common space would be the access drive on the west side of 235/239 property from Lake Street East and the surface parking lot on the north side of the 235/239 property.

Easements/Utilities:

It is anticipated that Melvin's 235, LLC may have a shared driveway/access easement with 201 Lake Street and a parking easement with the City of Wayzata when the development is completed. Building required utilities are currently located in the right of way of Lake Street East and include sanitary sewer, watermain and storm sewer. All utilities are expected to be adequate to serve the needs of the new office building.

Tax Increment Financing District (TIF):

Melvin's 235, LLC has been supportive of the City of Wayzata's effort to create a tax increment district in this area of Lake Street East. The proposed TIF district would include approximately 24 land parcels and would generate the ability for the City to invest in several meaningful infrastructure projects. This will require that Melvin's 235 LLC apply for TIF financing through the City.

Application Conclusion:

We are requesting favorable review and approval of this Concept Plan so Melvin's 235, LLC may proceed with the General Plan submittal and Design Review in the near future. The application is not expected to have any requests for variances from the zoning requirements or changes in the design standards.

Parcel #1 – 235 Lake Street East

PID: 06-117-22-23-0010

Municipality: WAYZATA

Addition Name: AUDITOR'S SUBD. NO. 184

Lot: 019

Block:

COM AT A PT IN S LINE OF LOT 19
DIS 57 FT W FROM SE COR THEREOF
TH N PAR WITH W LINES OF LOTS 10
AND 19 TO A PT IN THE MOST SLY
COR OF LOT 4 EXTENDED ELY TH W
15 FT TH S PAR WITH W LINES OF
LOTS 10 AND 19 TO S LINE OF LOT 19
TH E TO BEG

Parcel #2 – 235 Lake Street East

PID: 06-117-22-23-0007

Municipality: WAYZATA

Addition Name: AUDITOR'S SUBD. NO. 184

Lot:

Block:

COM AT A PT IN S LINE OF LOT 19
DIS 47 FT W FROM SW COR OF LOT 18
TH N 100 FT TH E 40 FT TH N PAR WITH
W LINE OF LOT 10 TO THE EXTENSION
ELY OF THE MOST SLY LINE OF LOT 4
TH W ALONG SAID LINE EXTENDED 50 FT
TH S PAR WITH W LINE OF LOTS
10 AND 19 TO THE S LINE OF SAID
LOT 19 TH E TO BEG LOTS 10 AND 19

Parcel #3 – 235 Lake Street East

PID: 06-117-22-32-0003

Municipality: WAYZATA

Addition Name: AUDITOR'S SUBD. NO. 184

Lot:

Block:

COM AT A PT IN THE S LINE OF LOT 19
DIS 7 FT W FROM THE SE COR THEREOF
TH N 100 FT TH W 40 FT TH S 100 FT
TH E 40 FT TO BEG EX ROAD
LOTS 10 AND 19

Parcel #4 – 239 Lake Street East

PID: 06-117-22-23-0014

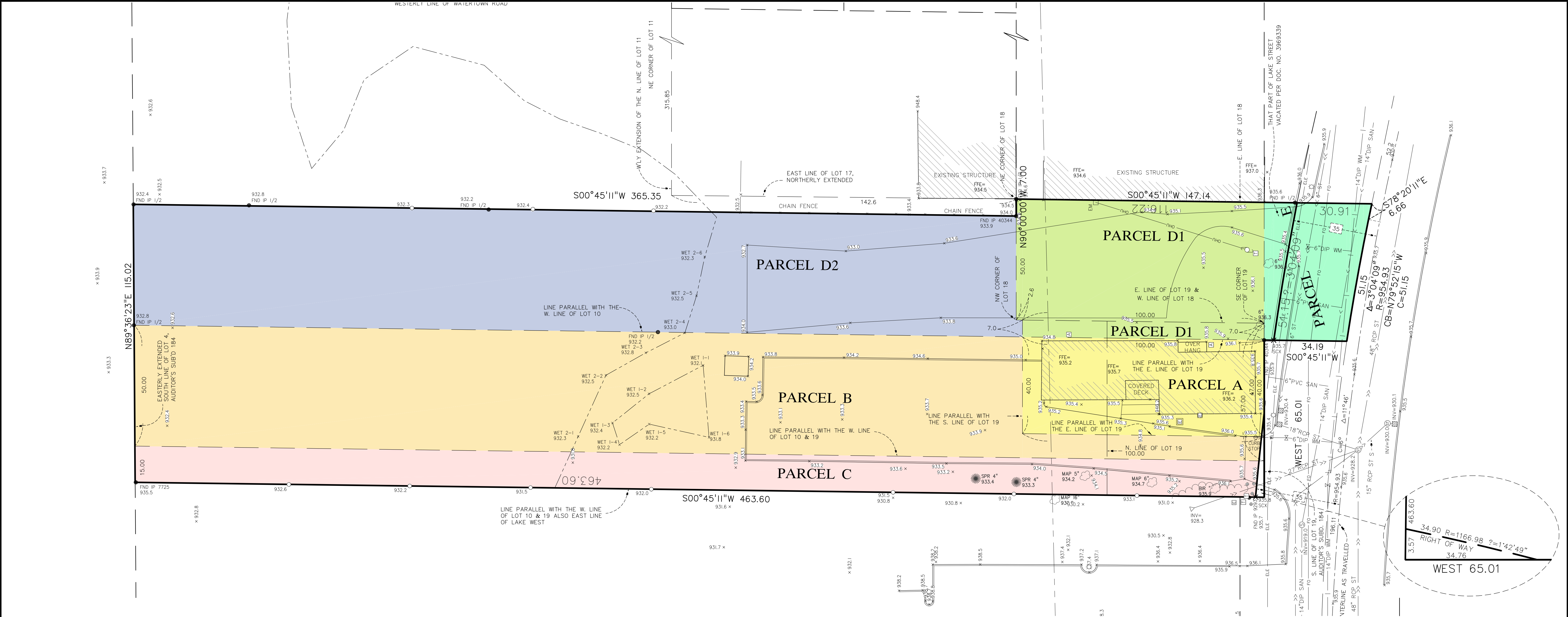
Municipality: WAYZATA

Addition Name: AUDITOR'S SUBD. NO. 184

Lot: 018

Block:

BEG AT A PT ON N LINE OF LOT 18 DIS
7 FT W OF NE COR TH OF TH E 7 FT TO
NE COR TH OF TH S TO SE COR TH OF TH W
ALONG THE S LINE OF LOTS 18 AND 19
TO A PT DIS 7 FT W OF SW COR OF LOT
18 TH N PAR WITH THE W LINE OF LOT 10
TO THE ELY EXTENSION OF THE S LINE OF
LOT 4 TH E ALONG SAID EXTENSION TO
ITS INTERSECTION WITH A LINE RUNNING
NLY AND PAR WITH THE W LINE OF LOT 10
FROM THE PT OF BEG TH S TO BEG



DESCRIPTION OF SUBJECT PROPERTY

Parcel A: [Parcel A] That part of Lots 10 and 19, AUDITOR'S SUBDIVISION NO. 184, Hennepin County, Minnesota, described as follows: Commencing at a point on the South line of Lot 19, 7 feet west of the southeast corner of Lot 19; thence northerly along a line parallel with the East line of Lot 19, a distance of 100 feet; thence westerly along a line parallel with the south line of Lot 19, a distance of 40 feet; thence southerly along a line parallel with the east line of Lot 19, a distance of 100 feet to a point on the south line of Lot 19, 47 feet west of the southeast corner of Lot 19; thence easterly along the south line of Lot 19, a distance of 40 feet, more or less, to the point of beginning.

Parcel B: [Parcel B] Commencing at the point of intersection between the south line of Lot 19, AUDITOR'S SUBDIVISION NO. 184, and a line drawn parallel to and 47 feet west of the west line of Lot 18, AUDITOR'S SUBDIVISION NO. 184, which point of intersection is the point of beginning of the tract of land to be conveyed; thence North parallel to the west line of said Lot 18, a distance of 100 feet; thence East parallel to the South line of said Lot 19, a distance of 40 feet; thence North parallel to the west line of Lot 10, AUDITOR'S SUBDIVISION NO. 184, to the point of intersection with the easterly extended south line of Lot 4, AUDITOR'S SUBDIVISION NO. 184; thence West along said easterly extended South line of said Lot 4, a distance of 50 feet; thence South parallel to the west line of Lots 10 and 19 to the point of intersection with the South line of said Lot 19; thence East along the south line of said Lot 19 to the point of beginning.

Parcel C: [Parcel C] Commencing at the point of intersection between the South line of Lot 19, AUDITOR'S SUBDIVISION NO. 184, and a line drawn parallel to and 57 feet west of the west line of Lot 18, AUDITOR'S SUBDIVISION NO. 184, which point of intersection is the point of beginning of the tract of land to be conveyed; thence North parallel to the west lines of Lots 10 and 19, AUDITOR'S SUBDIVISION NO. 184, to the point of intersection with the easterly extended south line of Lot 4, AUDITOR'S SUBDIVISION NO. 184; thence West along said easterly extended south line of said Lot 4 and along the said south line of said Lot 4 a distance of 15 feet; thence South parallel to the west lines of said Lot 10 and Lot 19 to the point of intersection with the south line of said Lot 19; thence East along the south line of said Lot 19 to the point of beginning.

Parcel D1: [Parcel D1] Lot 18, and That part of Lots 10 and 19, described as beginning at the southeast corner of said Lot 19; thence North along the East line of said Lot 19 and its extension, 100 feet; thence West, parallel to the South line of said Lot 19, a distance of 7 feet; thence South to a point on the south line of said Lot 19, distant 7 feet west from the southeast corner thereof; thence East to the point of beginning.

All in AUDITOR'S SUBDIVISION 184, Hennepin County, Minnesota.

PARCEL D2: [Parcel D2] 2.) All that part of the tract of land hereinafter described lying west of the northerly extended east line of Lot 17, AUDITOR'S SUBDIVISION NO. 184, said tract of land being described as follows, to-wit: Commencing at the Northeast corner of Lot 11, AUDITOR'S SUBDIVISION NO. 184, Hennepin County, Minnesota; thence West along the north line of Lot 11 and an extension thereof a distance of 315.85; thence south a distance of 142.6 feet to the northeast corner of Lot 18; thence West along the north line of Lot 18 a distance of 50 feet to the northwest corner of said Lot 18; thence South along the west line of Lot 18 a distance of 2.6 feet; thence west parallel with the south line of Lot 19 a distance of 7 feet; thence North parallel with the west line of Lot 10 to the point of intersection with the easterly extended south line of Lot 4, AUDITOR'S SUBDIVISION NO. 184; thence East along the easterly extension of said south line of Lot 4, AUDITOR'S SUBDIVISION NO. 184 to the point of intersection of said south line of Lot 4, as so extended with the westerly line of Watertown Road; thence southerly and southwesterly along the west line of Watertown Road to the point of beginning.

EXCEPT All that part of the tract of land hereinafter described lying west of the northerly extended east line of Lot 17, AUDITOR'S SUBDIVISION NO. 184, said tract of land being described as follows, to-wit: Commencing at the northeast corner of Lot 11, AUDITOR'S SUBDIVISION NO. 184, Hennepin County, Minnesota; thence West along the north line of Lot 11 and an extension thereof a distance of 315.85; thence South a distance of 142.6 feet to the northeast corner of Lot 18; thence west along the north line of Lot 18 a distance of 7 feet; thence North parallel with the west line of Lot 10 to the point of intersection with the easterly extended south line of Lot 4, AUDITOR'S SUBDIVISION NO. 184; thence East along the easterly extension of said south line of Lot 4, AUDITOR'S SUBDIVISION NO. 184 to the point of intersection of said South line of Lot 4, as so extended with the westerly line of Watertown Road; thence southerly and southwesterly along the west line of Watertown Road to the point of beginning

Parcel E: [Parcel E] That part of Government Lot 1, Section 6, Township 117, Range 22, lying south of the south line of Lots 18 and 17, AUDITOR'S SUBDIVISION NUMBER NO. 184; and lying north of a line described as beginning at a point on the west line of Government Lot 1, Section 6, Township 117, Range 22, distant 89.8 feet south from the northwest corner of said Government Lot 1; thence East west right angles to said west line, 856.3 feet; thence easterly along a 6 degree curve to the right, having a central angle of 11 degrees 46 minutes, a distance of 196.11 feet; thence easterly tangent to said curve 52.2 feet and there terminating; and lying between the extensions south of the east line of said Lot 18 and the west line of the east 7 feet of said Lot 19.

That part of Government Lot 1, Section 6, Township 117, Range 22, lying south of the south line of Lots 18 and 17, AUDITOR'S SUBDIVISION NUMBER NO. 184; and lying north of a line described as beginning at a point on the west line of Government Lot 1, Section 6, Township 117, Range 22, distant 89.8 feet south from the northwest corner of said Government Lot 1; thence East west right angles to said west line, 856.3 feet; thence easterly along a 6 degree curve to the right, having a central angle of 11 degrees 46 minutes, a distance of 196.11 feet; thence easterly tangent to said curve 52.2 feet and there terminating; and lying between the extensions south of the east line of said Lot 18 and the west line of the east 7 feet of said Lot 19.

NOTES

- 1.) This survey does purport to show all underground utilities. The existing utilities shown are shown in an approximate way only. The contractor shall determine the exact location of any and all existing utilities before commencing work. The contractor shall be fully responsible for any and all damages arising out of his failure to exactly locate and protect all existing utility facilities.
- 2.) Contact GOPHER STATE ONE CALL at 651-454-0002 for precise onsite location of utilities prior to any excavation.
- 3.) A title opinion was not furnished to the surveyor and no specific title search for existence or non-existence of recorded or un-recorded easements has been conducted by the surveyor as part of the survey. This survey is subject to revision upon delivery of current and complete title commitment.
- 4.) Zoning and setback information as provided by the Planning Department of the City of Wayzata: Current Zoning: C-4B Setbacks: There are no front, side or rear yard building setbacks. (Contact the city for other detailed restrictions)
- 5.) Survey coordinate and bearing basis: Assumed
- 6.) Wetland(s) shown hereon is (are) per field location of stakes as set by others and appears to be incomplete at this time.
- 7.) Minnesota State Statute 383B.603 Subd.2 (Hennepin County Highways) states: Maps or plats filed for record under this section shall not operate of themselves or transfer title to the property described but such maps shall be for descriptive purposes.
- 8.) Any modification to this survey or sketch performed by any person other than the surveyor signing this certification or persons under his direct supervision shall nullify the validity of this survey. Only an original survey with an original wet signature shall constitute valid certification.

BENCHMARKS:

- 1.) Top of top nut of first fire hydrant on the south side of Lake Street East west of site: Elevation = 938.42 feet
- 2.) Top of top nut of first fire hydrant on the northside of Lake Street East east of site: Elevation = 938.37 feet

AREA INFORMATION:

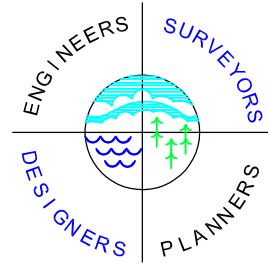
Parcel A:	Net - 3,994 Sq. Ft.
R/W - 5 Sq. Ft.	Gross - 3,999 Sq. Ft.
Parcel B:	Net - 19,352 Sq. Ft.
R/W - 16 Sq. Ft.	Gross - 19,367 Sq. Ft.
Parcel C:	Net - 6,970 Sq. Ft.
R/W - 43 Sq. Ft.	Gross - 7,013 Sq. Ft.
Parcel D1:	Gross - 5,830 Sq. Ft.
Parcel D2:	Gross - 18,278 Sq. Ft.
Parcel E:	Net - 487 Sq. Ft.
R/W - 1,740 Sq. Ft.	Gross - 2,227 Sq. Ft.
Total:	Net - 54,909 Sq. Ft.
R/W - 1,804 Sq. Ft.	Gross - 56,713 Sq. Ft.

- CAST IRON MONUMENT - CATCH BASIN - FLARED END SECTION - GATE VALVE - GUY WIRE - SURVEY MONUMENT SET - SURVEY MONUMENT FOUND - SURVEY CONTROL POINT - LIGHT POLE - POWER POLE - SANITARY MANHOLE - SANITARY CLEANOUT - SIGN - GROUND ELEVATION - STORM DRAIN - STORM MANHOLE - YARD LIGHT - A/C UNIT - WELL	- WOE WALKOUT ELEVATION - FFE FIRST FLOOR ELEVATION - GFE GARAGE FLOOR ELEVATION - TOP OF FOUNDATION ELEV. - LOE LOWEST OPENING ELEV. - CABLE TV PEDESTAL - ELECTRIC TRANSFORMER - ELECTRIC MANHOLE - ELECTRIC METER - GAS METER - GAS VALVE - HAND HOLE - SOIL BORING - TREE CONIFEROUS - TREE DECIDUOUS - TELEPHONE MANHOLE - TELEPHONE PEDESTAL - TRAFFIC SIGNAL - UTILITY MANHOLE - UTILITY PEDESTAL	- BITUMINOUS - BUILDING SETBACK LINE - CTV CABLE TV - CONCRETE CURB - CONCRETE - CONTOUR EXISTING - CONTOUR PROPOSED - GUARD RAIL - DRAIN TILE - ELECTRIC UNDERGROUND - FENCE - FIBER OPTIC UNDERGROUND - GAS UNDERGROUND - OVERHEAD UTILITY - RAILROAD TRACKS - SANITARY SEWER - STORM SEWER - TELEPHONE UNDERGROUND - UTILITY UNDERGROUND - WATERMAIN
--	--	---

FIELD CREW	NO.	BY	DATE	REVISION
XXX				
DRAWN				
EMW				
CHECKED				
DBP				
DATE				
10-16-17				

USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
Dated this ____ day of _____, 20__.
David B. Pemberton, PLS
pemberton@sathre.com
Minnesota License No. 40344



SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000
WWW.SATHRE.COM

TWP:117-RGE:22-SEC:16 Hennepin County
WAYZATA, MINNESOTA

CERTIFICATE OF SURVEY
PREPARED FOR:
MELVIN'S 235, LLC

FILE NO.
56800-001

1
1

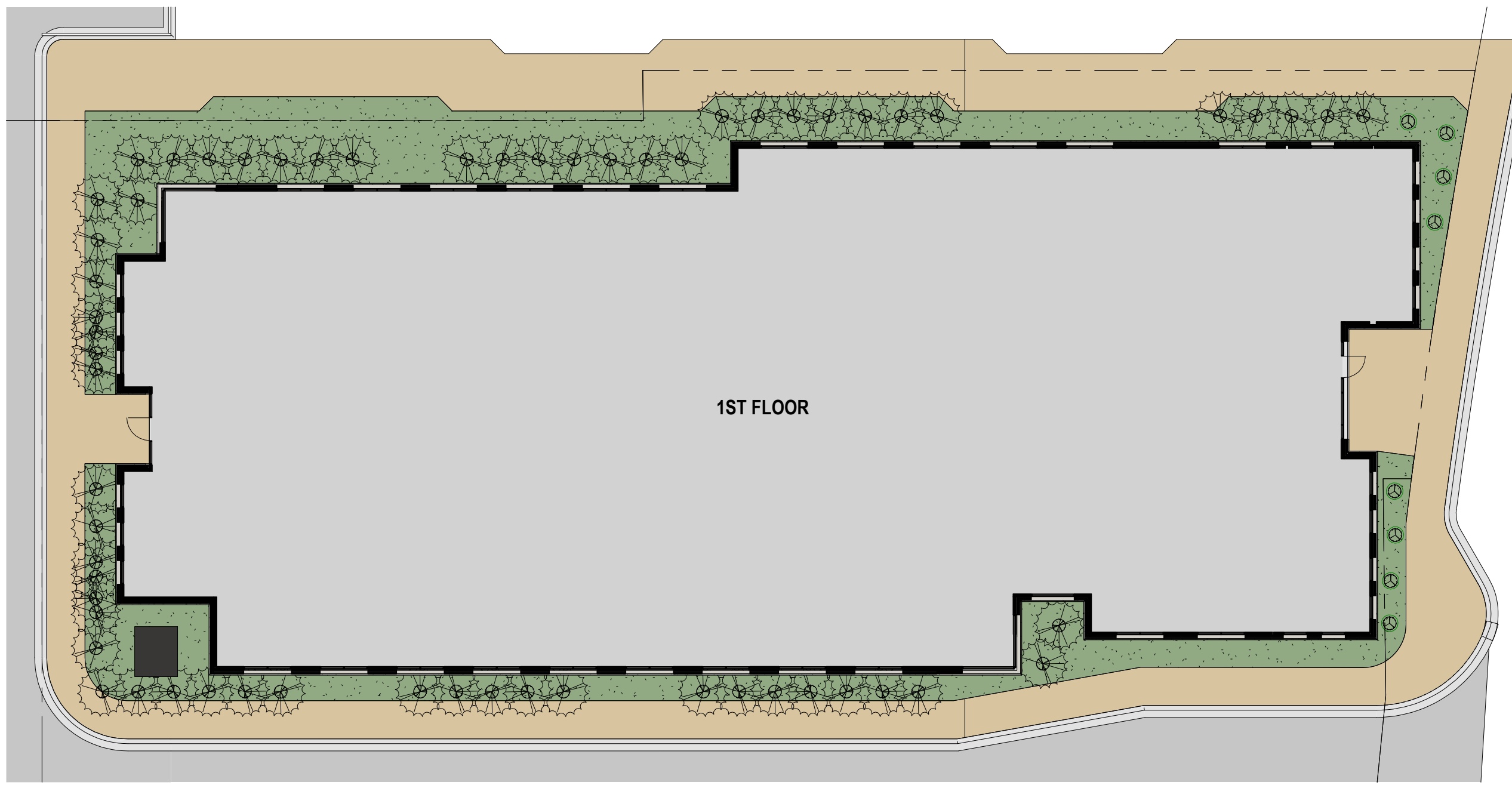
F.A.R. CALCULATION

22,681 TOTAL SITE AREA (NEW)
54,910 S.F. EXISTING PROPERTY AREA (APPROXIMATE)
35,181 S.F. PROPOSED BUILDING
35,181 S.F. BUILDING / 22,681 S.F. SITE = 1.55 PROPOSED F.A.R.

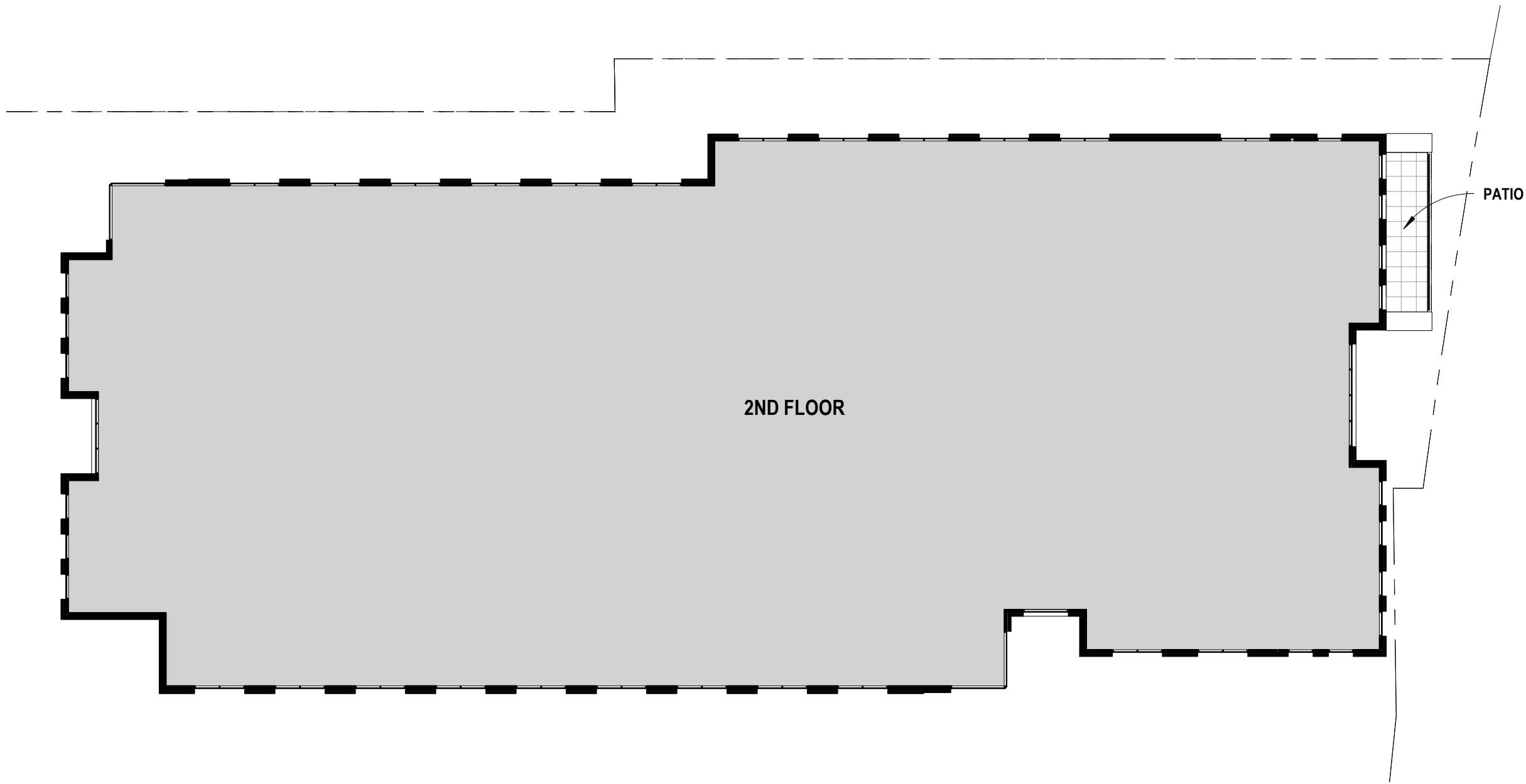
GROSS BUILDING AREA

1ST FLOOR	12106 SF
2ND FLOOR	11964 SF
3RD FLOOR	11121 SF
TOTAL	35181 SF

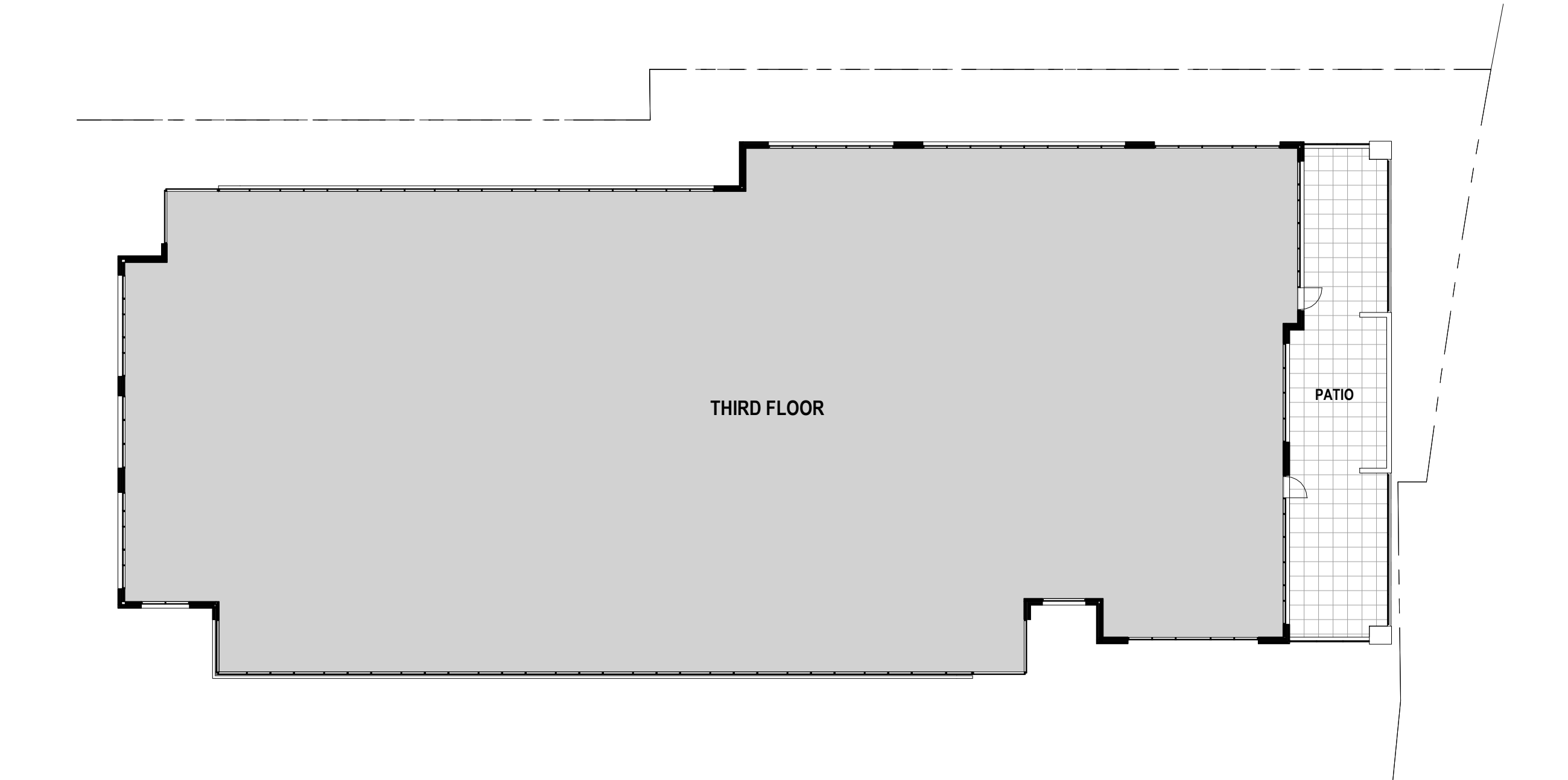
2 1ST FLOOR
SCALE 1/16" = 1'-0"



3 2ND FLOOR
SCALE 1/16" = 1'-0"



4 3RD FLOOR
SCALE 1/16" = 1'-0"



1 CONCEPT SITE PLAN - 235 LAKE STREET EAST
SCALE 1" = 20'-0"



CONCEPT SUBMITTAL 12-8-17 - NOT FOR CONSTRUCTION

Date	12/8/17	CH
Project Architect		
Permit Submit Date	N/A	
Project Number	16309	

SITE / FLOOR PLANS

A090

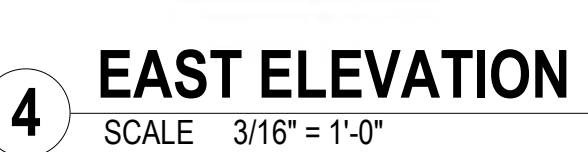
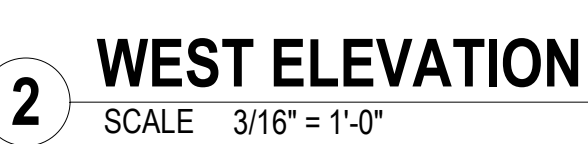
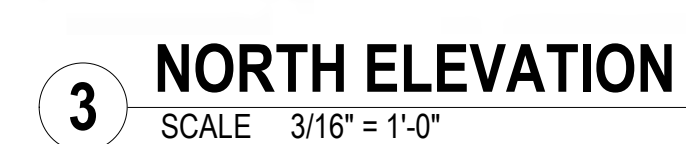
235 Lake Street East Office Building
Wayzata, Minnesota



Wayzata, Minnesota

EXTERIOR ELEVATIONS

© 2017 MOMENTUM DESIGN GROUP



CONCEPT SUBMITTAL 12-8-17 - NOT FOR CONSTRUCTION

