



Wayzata Planning Commission

Meeting Agenda

Monday, August 20, 2018
7:00 p.m.

Community Room
600 Rice Street East
Wayzata, Minnesota 55391

- 1. Call to Order & Roll Call**
- 2. Approval of Agenda**
- 3. Consent Agenda**
 - a. Approval of July 30, 2018 Meeting Minutes
- 4. Old Business Items**
 - a. None
- 5. Public Hearing Items**
 - a. Lowell Zitzloff – 305 and 309 Lake St E
Design Review, Variance, Shoreland Impact Plan/Conditional Use Permit, and Preliminary and Final Plat Subdivision
 - b. Vanderheyden Fence – 105 Walker Ave N
Conditional Use Permit
 - c. Ventana Condos – 253 Lake St E
PUD General Plan and Design Review
 - d. Hughes Redevelopment – 235 and 239 Lake St E
PUD General Plan, Design Review, Variance, Shoreland Impact Plan/Conditional Use Permit
- 6. Other Items:**
 - a. July 31st City Council Meeting Report – Commissioner Iverson
 - b. August 9th City Council Meeting Report – Commissioner Murray
 - c. Review of Development Activities

NOTES:

- ¹ Members of the Planning Commission and some staff may gather at the Wayzata Bar and Grill immediately after the meeting for a purely social event. All members of the public are welcome.

c. Next meeting is September 5, 2018

7. Adjournment

**WAYZATA PLANNING COMMISSION
MEETING MINUTES
JULY 30, 2018**

AGENDA ITEM 1. Call to Order and Roll Call

Chair Buchanan called the meeting to order at 7:00 p.m.

Present at roll call were Commissioners: Plantan, Murray, Buchanan, Iverson, and Douglas.
Absent and Excused: Young and Flannigan. Director of Planning and Building Jeff Thomson,
and City Attorney David Schelzel were also present.

AGENDA ITEM 2. Approval of Agenda

Commissioner Plantan made a motion, seconded by Commissioner Douglas to approve the July 30, 2018 agenda as presented. The motion carried unanimously.

AGENDA ITEM 3. Consent Agenda

- a.) Approval of July 16, 2018 Meeting Minutes
- b.) Adoption of Report and Recommendation of Approval of Variance for Taylor Residence at 405 Bushaway Rd
- c.) Adoption of Report and Recommendation of Approval of Variance for Greenway Boathouse at 623 Bushaway Rd

Commissioner Plantan made a motion, seconded by Commissioner Douglas to approve the Consent Agenda as presented. The motion carried (4 ayes and 1 abstain, Iverson).

AGENDA ITEM 4. Old Business Items:

- a.) None.

AGENDA ITEM 5. Public Hearing Items:

- a.) Broadway Place – 326 and 332 Broadway Ave S
 - i. Preliminary and Final Plat Subdivision, Conditional Use Permits

Director of Planning and Building Jeff Thomson stated the applicant, Beltz Enterprises, LLC, and the property owner, MJ Mail Center, LLC, have submitted a development application to modify the previously approved Broadway Place redevelopment at 326 and 332 Broadway Ave S. The proposed redevelopment involves the demolition of the two existing commercial

1 buildings on the property and construction of a new three story mixed use building consisting of
2 retail, service commercial, or restaurant uses on the first floor and office uses on the upper two
3 floors. The proposed modifications include: 1) allowing service commercial and restaurant uses
4 on the first floor, 2) connecting the previously approved three story mixed use building to the
5 existing building at 701 Lake St E, and 3) allow parking to be provided by paying a fee in lieu of
6 on-site parking. The proposed modifications would not include any other significant changes.
7 The development application requests approval of a planned unit development PUD
8 Amendment, design review, conditional use permit (CUP) and preliminary and final plat
9 subdivision. The Planning Commission previously reviewed and recommended approval of the
10 PUD amendment and design review. The project would combine the two existing lots and the
11 alley located between the properties and the 701 Lake St E property into a new single lot. The
12 zoning ordinance requires a conditional use permit for joint parking facilities, where the required
13 off-street parking facilities for one or more uses is provided on one or more sites and the total
14 number of spaces provided are less than the sum of the total required for each use. The City's
15 Fee in Lieu of Parking (FILOP) Policy states that any new uses on a property that cannot meet
16 the applicable on-site minimum parking requirements of the City Code may be permitted is 1) a
17 fee in lieu of parking is paid to the City and 2) a conditional use permit is approved by the City.
18 The Applicant is requesting a CUP under the FILOP Policy. The total amount of parking will vary
19 based on whether or not a restaurant tenant occupies all or a portion of the first floor, since the
20 City's parking requirement for restaurants is significantly greater than retail or service
21 commercial uses – 15.2 stalls/1,000 square feet versus 3 stalls/1000 square feet. Without a
22 restaurant, the development is required 62 parking stalls. The Mill Street parking ramp added
23 200 additional stalls immediately adjacent to the site, so the parking demand for the development
24 can be accommodated within the ramp and surface lot along Mill Street. As a condition of
25 approval, the applicant would be required to enter into an agreement with the City. The total
26 number of parking stalls included in the agreement would need to cover at least 62 stalls, and
27 more if there is a restaurant tenant. The fee in lieu of parking is \$10,000 per stall.

28
29 There being no questions for the applicant, Chair Buchanan opened the public hearing at 7:15
30 p.m.

31
32 Resident, Mr. George Carisch, expressed concerns about the general parking issues that exist in
33 Wayzata. He stated adding another restaurant to the area would make parking even worse. He
34 supports the project. He asked where the fees that are collected in lieu of parking went and how
35 these funds would be spent. He stated Wayzata is not a first class community and these funds
36 could be used to achieve this goal. The City needs to plan for the future. There are parking
37 needs in other areas of the City. He recommended the City consider replacing the temporary
38 bathroom facilities and work on parking.

39
40 Chair Buchanan closed the public hearing at 7:20 p.m.

41
42 Mr. Thomson stated that the fees collected in lieu of parking will be placed into a downtown
43 parking fund to be used exclusively for parking and improvements within the downtown district,
44 which could include expansion of additional downtown parking facilities and/or maintenance of
45 existing parking facilities.

1 Chair Buchanan asked Mr. Thomson to explain the City's plans to address the parking needs on
2 the west end of the downtown district.

3
4 Mr. Thomson explained on the northwest corner of Barry and Lake St Wayzata Blu is currently
5 under construction and the City is currently working with three separate property owners for
6 redevelopment on this northwest corner. As part of this, the City established a TIF District for
7 this area and the City has been working with these property owners to build a shared and public
8 parking lot behind these projects, which would be similar to the parking on the west side of Lake
9 St.

10
11 Commissioner Douglas asked when the City would collect the fees in lieu of parking.

12
13 Mr. Thomson stated the applicant has two options: 1) pay it up front or 2) or they could choose
14 to pay over time, which is dependant on the number of stalls. If there are over 25 stalls the
15 applicant can have a term of up to 30-years.

16
17 Commissioner Iverson made a motion, seconded by Commissioner Murray to approve the draft
18 Planning Commission Report and Recommendation Recommending Approval of the Preliminary
19 and Final Plat Subdivision, Conditional Use Permit for Joint Parking Facilities, and Parking
20 Conditional Use Permit at 326 and 332 Broadway Ave S subject to the Conditions outlined. The
21 motion carried unanimously.

22
23
24 **AGENDA ITEM 6. Other Items:**

25
26 **a.) Amendment to the Development Agreement for Waycliffe Second Addition**

27
28 Director of Planning and Building Jeff Thomson stated the Waycliffe Twin Home development
29 on Gleason Lake was developed in two phases. The first phase was approved by the City in
30 October 1993. The second phase, Waycliffe Second Addition, was approved by the c=City in
31 September 1995. The two phases of the Waycliffe development are subject to separate
32 development agreements with the City. The development agreements outline similar
33 requirements and development standards, however, the Waycliffe Second Addition agreement
34 has more specific language about any changes to the individual twin homes within the
35 development. The development agreement is strict regarding any changes to the exterior of the
36 twin homes. Since the development is more than 20-years old, the City has received numerous
37 requests from individual homeowners to replace existing decks. Many of the homeowners state
38 that the original decks have a small footprint, and so they would like to make the decks larger
39 when they rebuild them. The architectural committee for the homeowners association has
40 approved the deck expansions. However, the development agreement requires an amendment to
41 the PUD for the alterations to the structures, including decks. City staff recommends an
42 amendment to the development agreement to allow greater flexibility for modifications and
43 additions, and to regulate the development similar to other residential PUDs in the City.

44
45 Commissioner Iverson asked if the City had gotten any requests for other exterior changes.
46

1 Mr. Thomson stated over the years some of the decks have been enclosed into porches but no
2 changes to the footprint of the building. Staff did include additions in the draft language as long
3 as these meet the district setbacks. The additions would still need to be approved by the HOA.
4 He clarified this would be brought to the City Council for approval at their August 9 meeting.
5

6 **b.) July 17th City Council Meeting Report – Commissioner Flannigan**
7

8 Director of Planning and Building Jeff Thomson provided the City Council meeting report in
9 Commissioner Flannigan's absence. The City Council approved the subdivision for 253 Lake St.
10 and the agreement for the applicant to donate land to the City for public parking. The City
11 Council also adopted the amendment to the Right-of-Way Ordinance that had been reviewed by
12 the Planning Commission.
13

14 **c.) Review of Development Activities**
15

16 Director of Planning and Building Jeff Thomson stated the final PUD applications for the Hoyt
17 project at 53 Lake St, the Hughes project, and the Zitsloff project would be before the Planning
18 Commission in August.
19

20 **d.) Next Meeting**
21

22 Director of Planning and Building Jeff Thomson stated staff recommended cancelling the August
23 6, 2018 since the PUD applications would not be ready and schedule the next meeting for August
24 20, 2018.
25

26 Commissioner Douglas made a motion, seconded by Commissioner Murray to cancel the August
27 6, 2018 Planning Commission meeting. The motion carried unanimously.
28

29 Chair Buchanan stated he had received a letter of resignation from Mr. Young.
30

31 City Attorney David Schelzel stated once the City Council accepts the resignation they would
32 begin the process to appoint a replacement.
33
34

35 **AGENDA ITEM 7. Adjournment.**
36

37 There being no further business on the agenda, Chair Buchannan asked for a motion to adjourn.
38

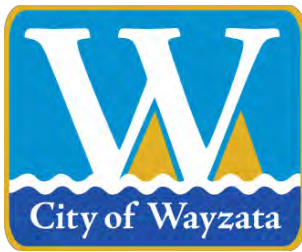
39 Commissioner Plantan made a motion, seconded by Commissioner Iverson to adjourn the
40 Planning Commission meeting. The motion carried unanimously.
41

42 The Planning Commission meeting was adjourned at 7:41 p.m.
43

44 Respectfully submitted,
45

46 Tina Borg

TimeSaver Off Site Secretarial, Inc.



City of Wayzata Planning Commission Agenda Report

MEETING DATE: May 15, 2018	AGENDA ITEM: 5a
TITLE: Public Hearing for Development Application at 305 and 309 Lake St E	
PREPARED BY: Jeff Thomson, Director of Planning and Building	

BACKGROUND:

The applicant, Lowell Zitzloff, and the property owners, Swans Corner, LLC and Jeffway, LLC, have submitted a development application to redevelop the properties at 305 and 309 Lake Street East. The applicant is proposing to demolish the existing buildings and construct a new mixed use building on the property. The development application requests approval of design review, building height variance, shoreland impact plan/conditional use permit, and preliminary and final plat subdivision.

The City published the public hearing notice in the Wayzata Sun Sailor on August 9th, and the notice was mailed to surrounding property owners on August 8th. After the public hearing notice was sent, the applicant requested that the item be tabled for further consideration as they make revisions to the proposed plans.

City staff recommends that the Planning Commission table the application until a future meeting. City staff will re-notify surrounding property owners when the application is rescheduled for a public hearing and Planning Commission review.

ATTACHMENTS:

Email from Applicant

Jeff Thomson

From: Inrproperties@mchsi.com
Sent: Friday, August 10, 2018 11:04 AM
To: Jeff Thomson; Jeffrey Dahl
Subject: 305 - 309 Lake Street East

Jeffrey R. Thomson
City of Wayzata
600 Rice Street
Wayzata, MN 55391

Re: 305-309 Lake Street East

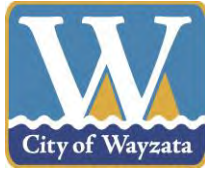
The applicant Lowell Zitzloff and Swans Corner, LLC would like to be removed from consideration at the Planning Commission public hearing scheduled for Monday, August 20, 2018.

The applicant will contact City staff regarding rescheduling.

If you have any questions, please contact Lowell Zitzloff.

Regards,

Lowell Zitzloff
Swans Corner, LLC
319 Barry Avenue South, Suite 301
Wayzata, MN 55391
952-475-3980



**Staff Report
August 20, 2018**

Project Name: Vanderheyden Fence
Address of Request: 105 Walker Ave N
Prepared By: Jeff Thomson, Director of Planning and Building
“60 Day” Deadline: September 22, 2018

Development Application

Introduction

The applicants and property owners, Tom and Deb Vanderheyden, are requesting approval of a conditional use permit to allow installation of an eight (8) ft (or “96 inches”) Western Red Cedar fence in the front yard of their property (the “CUP” or the “Application”) at 105 Walker Ave N (the “Property”). The Wayzata Zoning Ordinance allows fences in the front yard of a property, provided that they are not more than forty two (42) inches and no more than fifty percent (50%) solid material. The proposed fence would not meet the fifty percent (50%) solid material requirement and would be fifty-four (54) inches above the forty two (42) inch height requirement in the front yard of the property. Section 801.18.1.F of the Ordinance allows fences that do not meet the height and solid material requirements via a CUP process, provided certain criteria are met.

Application Requests

As part of the submitted development application, the applicant is requesting approval of the following items:

- Conditional Use Permit: Fences consisting of greater than 50% solid matter in front of the rear building line up to the front property line and not exceeding a height of 8 feet are allowed by CUP.

Property Information

The property identification number and owner of the property are as follows:

Address	PID	Owner
105 Walker Ave N	06-117-22-24-0072	Tom and Deb Vanderheyden

The current zoning and comprehensive plan land use designation for the property are as follows:

Zoning:	R-3A Single and Two Family District
Comp Plan designation:	Low Density Single Family Residential District
Overlay districts:	None

Project Location

The property is on the North side of Wayzata Boulevard and to the west of Walker Ave:

Map 1: Project Location



Adjacent Land Uses

The following table outlines the uses, zoning, and Comprehensive Plan land use designations for adjacent properties:

Direction	Adjacent Use	Zoning	Comp Plan Land Use Designation
North	Residential	R-3A Single and Two Family Residential District	Low Density Single Family
East	Residential	R-5 Average Density Multiple Residential District	High Density Multiple Family
South	Residential	R-3A Single and Two Family Residential District	Low Density Single Family
West	Residential	R-3A Single and Two Family Residential District	Low Density Single Family

Public Hearing Notice

The public hearing notice was published in the *Wayzata Sun Sailor* on August 9th, 2018. The public hearing notice was also mailed to all property owners located within 350 feet of the subject property on August 8, 2018.

Analysis of Application

Proposed Fence

The applicant is requesting a conditional use permit for fence height and opacity for a fence located nine (9) feet from the property line in the side yard. The proposed plans include an eight one (81) foot long fence, eight (8) feet in height, with 100% solid matter. The fence would run along the southern property line along Wayzata Boulevard.

The area where the proposed fence would be located, functions as the side yard of the property as the lot is a corner lot with street frontage on Wayzata Boulevard and Walker Ave. Therefore, the side yard fence requirements apply to the fence located along Wayzata Boulevard.

In the side yard, defined as the area behind the front building line and in front of the rear building line as established by the primary structure on the lot, a fence with a maximum height of forty-two (42) inches may exist of completely solid matter or fences over forty-two (42) inches in height, but not exceeding six (6) feet in height, shall consist of no more than fifty (50) percent solid matter for the entire fence.

Given the landscaped nature of the property, the property owner to the west should not be able to see the fence. The property owner to the south is separated by Wayzata Boulevard which is approximately fifty (50) feet wide with a center median. Staff believes neither property owner would be negatively affected by the proposed fence.

Fences consisting of greater than fifty (50) percent solid matter, not exceeding eight (8) feet are allowed with a conditional use permit.

Applicable Code Provisions for Review

Conditional Use Permit for a Fence: City Code Section 801.18.1.F.2 outlines the following standards for evaluating fence conditional use permits:

- A. The fence placement, height or design does not create a safety hazard with regard to, from or on a public street or roadway.
- B. The fence placement, height or design does not create a safety problem or negatively affect adjoining properties or use.
- C. The provisions of Section 801.04.2.G of this Ordinance are considered and satisfactorily met.

Conditional Use Permits: City Code Section 801.04.2.F. states that the Planning Commission and City Council shall consider possible adverse effects of the proposed conditional use. Their judgment shall be based upon (but not limited to) the following factors:

- A. The proposed action in relation to the specific policies and provisions of the official City Comprehensive Plan.
- B. The proposed use's compatibility with present and future uses of the area.
- C. The proposed use's conformity with all performance standards contained herein (i.e., parking, loading, noise, etc.).
- D. The proposed use's effect on the area in which it is proposed.
- E. The proposed use's impact upon property values in the area in which it is developed.
- F. Traffic generated by the proposed use is in relation to capabilities of streets serving the property.
- G. The proposed use's impact upon existing public services and facilities including parks, schools, streets and utilities, and the City's service capacity.

Action Steps

After considering the items outlined in this report and the public hearing held at the meeting, the Planning Commission should direct staff to prepare a *Planning Commission Report and Recommendation*, with appropriate findings, reflecting a recommendation on the application for review and adoption at the next Planning Commission meeting.

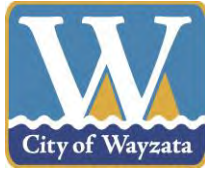
Attachments

Proposed Fence Design
Scaled Landscape Plan





Western Red Cedar - Board & Batten Fencing



**Staff Report
August 20, 2018**

Project Name:	Ventana Condos
Applicant	Ventana, LLC
Property Owner	Berry & Co, Inc
Addresses of Request:	253 Lake St E
Prepared by:	Jeff Thomson, Director of Planning and Building
“60 Day” Deadline:	October 20, 2018 (120 day extension)

Development Application

Introduction

The applicant, Weber Architects & Planners, and the property owner, Ventana, LLC have submitted a development application to redevelop the property at 253 Lake Street East. The proposal includes demolition of the existing building and construction of a three story building with 16 residential condos with one level of underground parking. The development application requests approval of PUD general plans and design review.

Background Information

Over the past year, the City has been considering redevelopment plans on Lake Street between Manitoba Ave and Ferndale Rd. The redevelopment plans include potential public parking that could be provided behind the buildings on the northwest corner of Lake Street and Barry Ave. This parking would serve the proposed development, the existing easement with the Boatworks property, and provide additional public parking for the downtown area. As each of the individual development projects has been reviewed by the City, the land behind 235, 239, 253 and 275 Lake Street has been approved with the public parking option.

On December 19, 2017 the City Council approved the rezoning, PUD concept plan, building height variance, and shoreland impact plan/conditional use permit for the redevelopment of 253 Lake St E. The redevelopment project includes demolition of the existing buildings, and construction of a three story building with 16 residential units with one level of underground parking. As part of the approved PUD concept plan, the applicant proposed donating the land behind the building to the City for use as public parking.

On July 31, 2018, the City Council approved the development application to subdivide the property into three separate lots to facilitate the donation of the back of the property to the City for public parking, and retaining the front lot for the proposed development project.

Application Requests

As part of the submitted development application, the applicant is requesting approval of the following items:

- A. PUD General Plan of Development Review: A rezoning to PUD requires both concept and general plan of development review. The City Council approved the PUD concept plan of development in December 2017. The applicant is now requesting approval of the PUD general plan of development. (City Code Section 801.33.6)
- B. Design Review: Construction of a new multi-family residential building requires design review. (City Code Section 801.09.1.5)

Property Information

The property identification number and owner of the property are as follows (prior to platting):

Address	PID	Owner
253 Lake St E	06-117-22-23-0013	Berry and Co, Inc.

The current zoning and comprehensive plan land use designations for the property as follows:

Current zoning:	Planned Unit Development (formerly C-4A/Limited Central Business District)
Comp Plan designation:	Central Business District
Overlay districts:	S/Shoreland Overlay District W/Wetland Overlay District

Project Location

The property is located on the north side of Lake Street, between Barry Avenue and Edgewood Court:

Map 1: Project Location



Adjacent Land Uses.

The following table outlines the uses, zoning, and Comprehensive Plan land use designations for adjacent properties:

Direction	Adjacent Use	Zoning	Comp Plan Land Use Designation
North	Wayzata Villa Condominiums and Zitzloff Development site	R-5/Average Density Multiple Residential District	High Density Multiple Family
East	Wayzata Blu Development Site	PUD/Planned Unit Development	Central Business District
South	Lake Street	N/A	N/A
	TCF Bank building	PUD/Planned Unit Development	Central Business District
West	Hughes development site	C-4A/Limited Central Business District	Central Business District

Public Hearing Notice

The public hearing notice was published in the *Lakeshore Weekly News* on August 9, 2018. The public hearing notice was also mailed to all property owners located within 350 feet of the subject property on August 8, 2018.

Project Overview

The development application includes demolition of the existing commercial building and out buildings, and construction of a new three-story, residential building. The lower level would include 32 enclosed parking stalls and would be partially located above grade. The three stories include a total of 16 residential condominiums. The entrance to the lower level parking garage would be located on the back of the building, and access would be provided from Lake Street via an easement from the adjacent Hughes development site.

Public Parking

The application includes donation of the land behind the proposed building to the City for parking. This is consistent with the City's approval of the Wayzata Blu project and in consideration of the Hughes development immediately to the west. The City Council previously approved the subdivision application to create the separate lots for public parking and the donation agreement between the applicant and the City.

Planned Unit Development Process

The planned unit development zoning district is unique compared to a standard zoning district in that the development plans that are submitted with an application and approved by the City Council, are the regulating documents for the zoning of the property. Any future changes to the development must be consistent with the approved plans, or the property owner must apply to amend the PUD.

In Wayzata, there is a two phase review of a PUD request. The first phase of PUD review is the concept plans, which provides an overview of the development and a general schematic design of the project, but does not include detailed engineering and architectural design of the buildings and site improvements. The intent of the concept plan is to review the general project characteristics such as consistency with the Comprehensive Plan, consistency with the purpose and intent of the PUD district, and compliance with the general standards outlined in the PUD zoning district. The second phase of a PUD review is the general plan, which is a more detailed review of the site and building design.

The City Council reviewed and approved the PUD concept plan for this development in December 2017. However, the concept plan review does not bind the City from evaluating the PUD general plan on its own merits.

Analysis of Application

City staff has reviewed the pertinent information and City Code requirements for the PUD general plan, and provides the following analysis and information:

Comprehensive Plan

The Comprehensive Plan land use designation for the subject property is Central Business District. The Comprehensive Plan includes the following discussion for the Central Business District:

The Central Business District (CBD) includes the main thoroughfare of Lake Street and is generally referred to as downtown. The CBD continues to evolve into a diverse environment of retail stores, offices, restaurants, and residential land uses. This diversity is seen as healthy in that it attracts a wide variety of people into the downtown area at all times of the day. This diversity along with its proximity to Lake Minnetonka, make the CBD a destination place in the region.

Design Review

The project is subject to the design standards for the Lake Street district. A design review critique of the proposed plans is attached to this report. The proposed project requests one deviation from the design standards:

- Front Door Location: The design standards state that the main entrance to the building must face the primary street at sidewalk grade. The proposed plans have the main entrance at sidewalk level, but on the side of the building and not on Lake Street. The primary reason for the entrance location is (1) the residential uses on the first floor; (2) the width of the building; and (3) the functionality of the first level floor plan.

Zoning

The property is currently zoned PUD, and is located within the shoreland and wetland overlay districts. The following table outlines the zoning standards for the C-4A (previous zoning), PUD, and shoreland overlay districts:

	C-4A Zoning	PUD Zoning	Shoreland Overlay District	Proposed PUD
Height (max.)	2 stories and 30 feet, whichever is less	3 stories and 35 feet, whichever is less	35 feet	3 stories 39.1 feet*
Floor Area Ratio (max.)	2.0	None	None	1.55
Impervious Surface (max.)	None	None	25% 75% with stormwater management 100% with shoreland impact plan/CUP	84% of Lot 1 0% of Lots 2/3
Property Line Setbacks (min.)	None (not adjacent to residential district)	None	None	North: 2 ft. East: 2 ft. South: 12 ft. West 13 ft.

Building Height

Per the zoning ordinance, the building height is measured from the average grade along the building footprint to the top of the parapet/coping of a flat roof. The Council's approval of the PUD concept plan included approval of a building height variance and a conditional use permit/shoreland impact plan for a building height of 40 feet. The proposed building would be three stories with an overall height of 39.1 feet from average grade to the top of the parapet/coping of the building, which is less than the PUD concept plans. The proposed building also includes a basement level for underground parking, which would extend 6 feet above grade level. The zoning ordinance states that a basement level can extend up to 6 feet above grade before it is considered an additional story. Therefore, as defined by the zoning ordinance, the proposed building is 3 stories with a basement level.

Density

The PUD zoning district states that the residential area standards of the R-5 zoning district apply to multiple family residential PUD projects, as determined by the City Council. The R-5 zoning district would require a minimum of 2,000 square feet of lot area per dwelling unit. The proposed PUD would have a lot area per dwelling unit of 3,414 sq. ft. with the proposed 16 dwelling units and include the public parking area on Lots 2 and 3, which are part of the PUD.

Parking

The City's parking ordinance establishes the minimum number of parking stalls that must be provided in a development. For a multiple family development, the parking ordinance requires a minimum of two fee-free spaces for each dwelling unit, of which one must be enclosed. The proposed building consists of 16 dwelling units and 32 enclosed parking spaces within the underground garage. The proposed project provides two stalls per dwelling unit, which meets the requirements of the City's parking ordinance. The project is also proposing to deed Lots 2 and 3 in the rear of the property to the city for a future public parking lot.

Site Access and Circulation

The site previously had a single access drive from Lake Street that was shared with the adjacent property to the east, 259 Lake St E, which is the current construction site for Wayzata Blu. The proposed building would have vehicular access from the Hughes property to the west, 239 Lake St E. As a condition of approval, staff would recommend that the applicant obtain an access easement from the adjacent property owner to allow for the proposed access configuration.

Sidewalks and Pedestrian Connections

The proposed plans includes 12-foot sidewalk along Lake Street that would meet the downtown design guidelines. The plans also include private landscaping between the north edge of the public sidewalk and the building. There would also be a pedestrian walkway on the subject property between Lake Street and the future shared parking lot on the back of the property.

Action Steps

After considering the items outlined in this report and the public hearing held at the meeting, the Planning Commission should direct staff to prepare a *Planning Commission Report and Recommendation*, with appropriate findings, reflecting a recommendation on the application for review and adoption at the next Planning Commission meeting.

Attachments

Applicant's Narrative
Site Tabulation
Building Tabulation
PUD General Plans
Design Critique
Approved PUD Concept Plans

Applicable Code Provisions for Review

Comprehensive Plan

The Comprehensive Plan land use designation for the subject property is Central Business District. The objective of the Central Business District land use category is to promote a diversity of retail, office, service, and residential land uses at a high level of development quality to enhance it as a regional destination. The Comprehensive Plan includes the follow “1st Tier” priorities for the Central Business District:

- Allow a mix of commercial, office, and residential uses that strengthen the CBD as the shopping, employment, and entertainment destination of Wayzata.
- Update development standards continually to assure the highest development quality possible for the Central Business District.
- Complement the CBD and its strong sense of place through land use choices, urban design principles, traffic, parking, and architectural style.
- Investigate strategies to increase retail vitality throughout the CBD.
- Define and evaluate on-street/off-street parking needs consistent with land use, and requirements within the CBD so as to emphasize circulation ease and access control.
- Continue to provide a safe, comfortable, and attractive pedestrian scale environment through the enhancement of the pedestrian circulation system by improving sidewalks, walkways and street furniture; mitigating conflicts with traffic and street intersections, and by providing proper demarcation and sign control.
- Enhance the image and identity of the CBD by emphasizing street trees and landscaping elements.
- Plan for an orderly transition between the CBD development and adjacent residential neighborhoods.
- Accommodate traffic without negatively compromising the integrity of the downtown and its adjacent neighborhoods.
- Consider complementing abutting edges, both residential and retail/commercial.
- Consider public financial support that is fiscally responsible and provides value to the City's infrastructure and community systems.
- Consider ways to assist with redevelopment when properties become a liability to the community.

- Commercial buildings on Lake Street, west of Barry Avenue, should not be required to have a first floor retail use, although it is allowed and encouraged. Transparency requirements under the Lake Street District of the Design Standards remain in effect.
- Identify ecological and water quality impacts on the lake and other water bodies caused by proposed land use developments, for example stormwater runoff, and work to mitigate these impacts.

In addition, the Comprehensive Plan includes the following “2nd Tier” priorities:

- Plan development of parking so that it is not a focal point but rather placed behind buildings with appropriate buffers and landscaping.
- Adjust City’s Zoning Ordinance to address concerns of sun-orientation on southern side of Lake Street by requiring upper story setbacks for all new construction to avoid shading the north side of Lake Street.
- Continue to evaluate ways to encourage a variety of housing options for upper-story housing.
- Consider 3rd story’ uses with appropriate considerations for design and scale. Commercial and residential uses are allowed as a third story, but the third story must be set back significantly more from the front facade of the floor below.

Purpose of PUDs: Section 801.33 of the Zoning Ordinance provides for the establishment of Planned Unit Developments to allow greater flexibility in the development of neighborhoods and/or non-residential areas by incorporating design modifications as part of a PUD conditional use permit or a mixture of uses when applied to a PUD District. The PUD process, by allowing deviation from the strict provisions of the Zoning Ordinance related to setbacks, lot area, width and depth, yards, etc., is intended to encourage:

- A. Innovations in development to the end that the growing demands for all styles of economic expansion may be met by greater variety in type, design, and placement of structures and by the conservation and more efficient use of land in such developments.
- B. Higher standards of site and building design through the use of trained and experienced land planners, architects, landscape architects, and engineers.
- C. More convenience in location and design of development and service facilities.
- D. The preservation and enhancement of desirable site characteristics such as natural topography and geologic features and the prevention of soil erosion.

- E. A creative use of land and related physical development which allows a phased and orderly development and use pattern.
- F. An efficient use of land resulting in smaller networks of utilities and streets thereby lower development costs and public investments.
- G. A development pattern in harmony with the objectives of the Wayzata Comprehensive Plan. (PUD is not intended as a means to vary applicable planning and zoning principles.)
- H. A more desirable and creative environment than might be possible through the strict application on zoning and subdivision regulations of the City.

PUD General Standards. Section 801.33.2.A sets forth the general standards for review of a PUD application. These are:

- A. Health Safety and Welfare. In reviewing the PUD application, the Council shall evaluate the effects of the proposed project upon the health, safety and welfare of residents of the community and the surrounding area.
- B. Intent and Purpose of PUDs. In reviewing the PUD application, the Council shall evaluate the project's conformance with the overall intent and purpose of Section 33 of the Zoning Ordinance.
- C. Ownership. Applicant/s must own all of the property to be included in the PUD.
- D. Comprehensive Plan. The PUD project must be consistent with the City's Comprehensive Plan.
- E. Sanitary Sewer Plan. The PUD project must be consistent with the City's Sanitary Sewer Plan.
- F. Common Space. The PUD project must provide common private or public open space and facilities at least sufficient enough to meet the minimum requirements established in the Comprehensive Plan, and contain provisions to assure the continued operation and maintenance of such.
- G. Density. The PUD project must meet the density standards agreed upon by the applicant and City, which must be consistent with the Comprehensive Plan.
- H. Utilities. All utilities associated with the PUD must be installed underground and meet the utility connection requirements of Section 801.33.2.A.10.
- I. Roadways. All roadways associated with the PUD must conform to the Design Standards and Wayzata Subdivision Regulations, unless otherwise approved by City Council.

- J. Landscaping. All landscaping associated with the PUD must be according to a detailed plan approved by the City Council. In assessing the plan, the City Council shall consider the natural features of the particular site, the architectural characteristics of the proposed structure and the overall scheme of the PUD plan.
- K. Setbacks. The front, rear and side yard restrictions on the periphery of the PUD shall be the same as imposed in the respective districts.

Design Standards (City Code Section 801.09): The design standards set forth in Section 9 of the Wayzata City Zoning Ordinance are referred to collectively as the “Design Standards” or the “Standards”. The purpose of the Design Standards is to shape the City’s physical form and to promote the quality, character and compatibility of new development in the City. The Standards function to:

- A. To guide the expansion and renovation of existing structures and the construction of new buildings and parking, within the commercial districts of the City;
- B. To assist the City in reviewing development proposals;
- C. To improve the City’s public spaces including its streets, sidewalks, walkways, streetscape, and landscape treatments.

With the exception of Section 7 of the Design Standards, a deviation from any section of the Design Standards shall require a finding by the City Council (after considering the Planning Commission’s recommendation) that the negative impact of such deviation is outweighed by one or more of the following factors:

1. The extent to which the project advances specific policies and provisions of the City’s Comprehensive Plan.
2. The extent to which the deviation permits greater conformity with other Standards, policies behind the Standards, or with other Zoning Ordinance standards.
3. The positive effect of the project on the area in which the project is proposed.
4. The alleviation of an undue burden, taking into account current leasing, housing and commercial conditions.
5. The accommodation of future possible uses contemplated by the Design Standards, the Zoning Ordinance or the Comprehensive Plan.

6. A national, state or local historic designation.
7. The project is the remodeling of an existing building which largely otherwise conforms to the Design Standards.

17 July 2018
Narrative

Ventana LLC

253 Lake Street

Wayzata, MN 55391

1 General Description:

This narrative will be short and to the point. The development of this area of Wayzata has been discussed for a long time. The only way that it will be done is by a cooperative effort of the three adjacent property owners and the City of Wayzata working as one. This submittal for building approval carefully follows the Concept Plan as has already been approved.

2 Site Plan:

The site plan has not changed. We have an access agreement in place with Wayzata Blu (adjacent to the east of our site) to give us access to the rear of our building. When the plan to the west of our site is approved and access to the public parking in the rear is built we will have an access to our building from that drive.

The site plan tabulations show the; site areas, building areas, floor area ratio, hard cover calculations, setbacks, and building floor elevations.

3 Building Design:

Parking is provided in the level that is partially below grade due to the high water conditions. We are providing 2 spaces per unit inside the building as required. We do not depend on the public parking area to meet our requirement. When the access to public parking is constructed from Lake Street to the rear of our building we will have access directly off of that drive. This will not change the number of parking stalls or change in any way the shape or size of our parking level.

We have 16 units which range in size from 1,231 sf to 4,031 sf. The first and second floors each have 6 units and the third floor has 4 units.

The building is set back on every level as shown in the sketches. We have set back the first floor from the base. The second and third floors are set back from the first floor as dimensioned on the building plans. The amount of glass directly facing Lake Street at each floor is over 60%. However, when you consider the

glass perpendicular to Lake Street at the front elevation we have in effect almost 80% of the wall facing the street as glass.

The building will have a stone and metal panel exterior with accents of stucco. The calculations of the exterior materials are shown on the Building calculation sheet.

4 Unit Design:

Although the actual unit design is not critical to the approval of this building, we are showing some conceptual plans which illustrate the openness of the plans that we will be building. It is important to us to have units that have a lot of glass which will add to the interior ambiance of our units. We have included some interior image sketches of our units.

5 Storm Water:

We are not required to provide any storm water control for our site since the small site area that we have will drain to the access drive to the west and the site area behind us will be designed and controlled by the City of Wayzata. We are proposing to work with the City of Wayzata and our neighbor to the west to coordinate how the storm water will be handled in the final construction documents for all three parcels.

6 Landscape/Lighting:

The site survey shows the line of the street. We have shown on our building plans a 12 foot sidewalk from the curb line. The sidewalk will be installed to meet the specifications of the City of Wayzata. We are showing two street trees planted in steel grates as is common on Lake Street. The area between the public sidewalk and the building would be planted in a variety of prairie grasses to totally screen the approximately 3 foot space between grade and the bottom of the panels of the first floor deck.

We would see the site lighting to occur along the access to the public parking and the standard street lighting which existing patterns would be continued in from of our building.

Conclusion:

We are presenting a developed building that follows exactly the building concept previously approved. The building meets and exceeds the requirements of the zoning ordinance. The final details of landscaping and lighting will need to be coordinated with our neighbor the west and the City of Wayzata.

Ventana Condo
253 Lake Street

Site Tabulation

Total Site Area	57,954 sf	(100%..From Survey)
(From Survey)		
Lot 1	20,780 sf	(35.9%)
Lot 2	4,033 sf	(6.9%)
Lot 3	28,551 sf	(49.5%)
ROW	4,436 sf	(7.7%)

Building Footprint	17,400 sf
Three floors	40,933 sf

Floor area ratio;

Building w/ Lot 1	1.96 (2.0 allowed)
Building w/ Lot 1 & 2	1.64
Building w/ Lot 1 & 2 & 3	0.76

Hard Cover Calculations;

(Calculations to not take into account public parking since we do not yet know the design as developed by the City of Wayzata)

Building w/ Lot 1	83%
Building w/ Lot 1 & 2	70%
Building w/ Lot 1 & 2 & 3	32%

Building Setbacks;

East	2 feet
South	12' min from street ROW
West	Varies from 13' to 19' to property line Approximately 17' to joint access drive
North	2 feet

Average grade at footprint of building	935.897'
Building height allowed (935.897' + 40')	975.897'

Building Elevations;

First Floor	941'0"
Second Floor	951'8"

Third Floor
Parapet

962'4"
975'0" (Meets height limit)

17 August 2018

Ventana Condo
253 Lake Street

Building Tabulation

Parking level Elevation 932'0"

32 Parking space (2 per unit)
Amenity spaces
Mechanical spaces
Storage spaces
Trash room
Entrance Lobby

Total area 17021 sf

First Floor Elevation 941'0"

Unit 101	3106 sf
Unit 102	1984 sf
Unit 103	2036 sf
Unit 104	2036 sf
Unit 105	1536 sf
Unit 106	2168 sf
Common	1524 sf

Total area 14,390 sf

Second Floor Elevation 951'8"

Unit 201	2622 sf
Unit 202	2004 sf
Unit 203	2014 sf
Unit 204	2014 sf
Unit 205	1539 sf
Unit 206	2467 sf
Common	1231 sf

Total area 13855 sf

Third Floor Elevation 962'4"

Unit 301 4031 sf
Unit 302 2313 sf
Unit 303 3663 sf
Unit 304 1781 sf
Common 900 sf

Total area 12688 sf

Parapet Elevation 975'0"

Lake Street Elevation

Area of façade directly facing Lake Street

	Bldg Area	Glass Area	
First Floor	920 sf	576 sf	62.6%
Second Floor	920 sf	576 sf	62.6%
Third Floor	920 sf	576 sf	62.6%

The area of glass directly facing Lake Street is at each floor is 62.6%. However the effective area of glass is much higher. Looking at our floor plans, we have added glass on the walls perpendicular to Lake Street formed by the set backs of each of the floors. This added glass in effect gives us almost 80% glass facing Lake Street at each floor.

Total Building Material Calculation

	Tot. Area	Glass	Stone	Metal	Stucco
South	3680 sf	1728 sf (47%)	494 sf (14%)	972 sf (25%)	486 sf (14%)
West	7560 sf	2160 sf (29%)	3696 sf (49%)	1424 sf (18%)	280 sf (4%)
North	3680 sf	1512 sf (41%)	1292 sf (36%)	516 sf (14%)	234 sf (6%)
East	7560 sf	2718 sf (36%)	1999 sf (27%)	2148 sf (29%)	695 sf (8%)
	22480 sf	8118 sf (37%)	7481 sf (33%)	5060 sf (23%)	1695 sf (7%)



VENTANA CONDOS

253 LAKE ST. EAST
WAYZATA, MN



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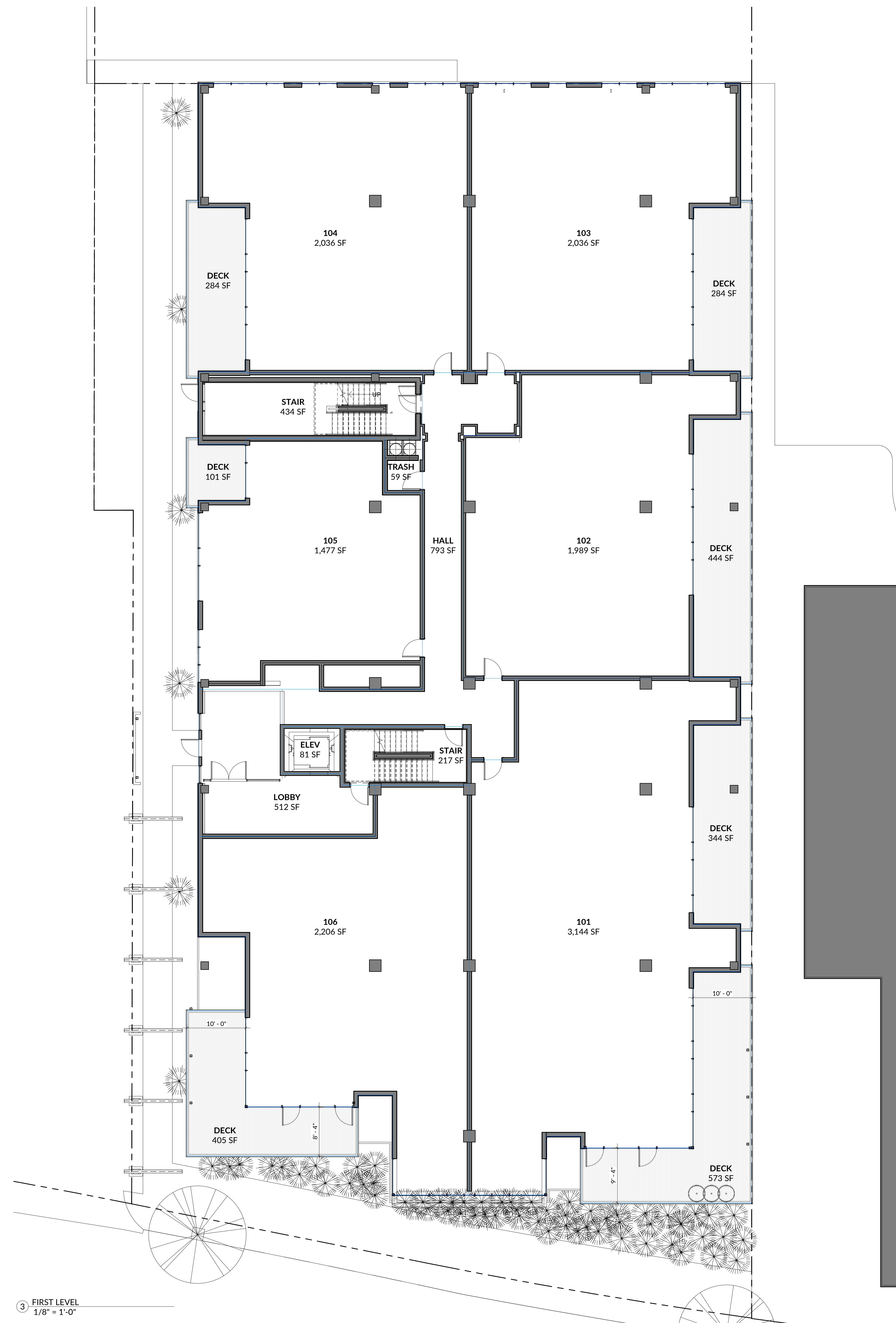
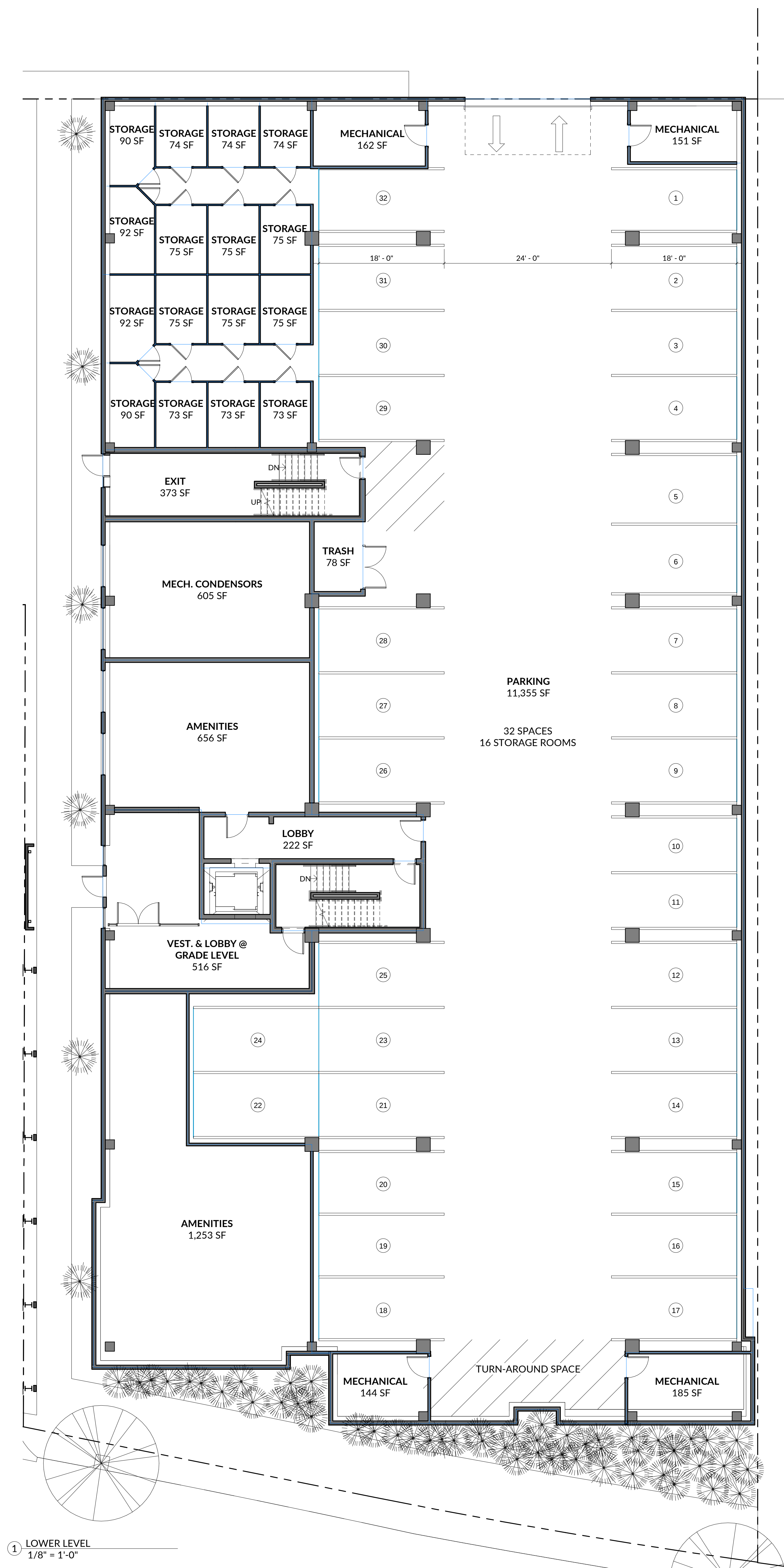


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LICENSE NUMBER: 16 August 2018
DATE:

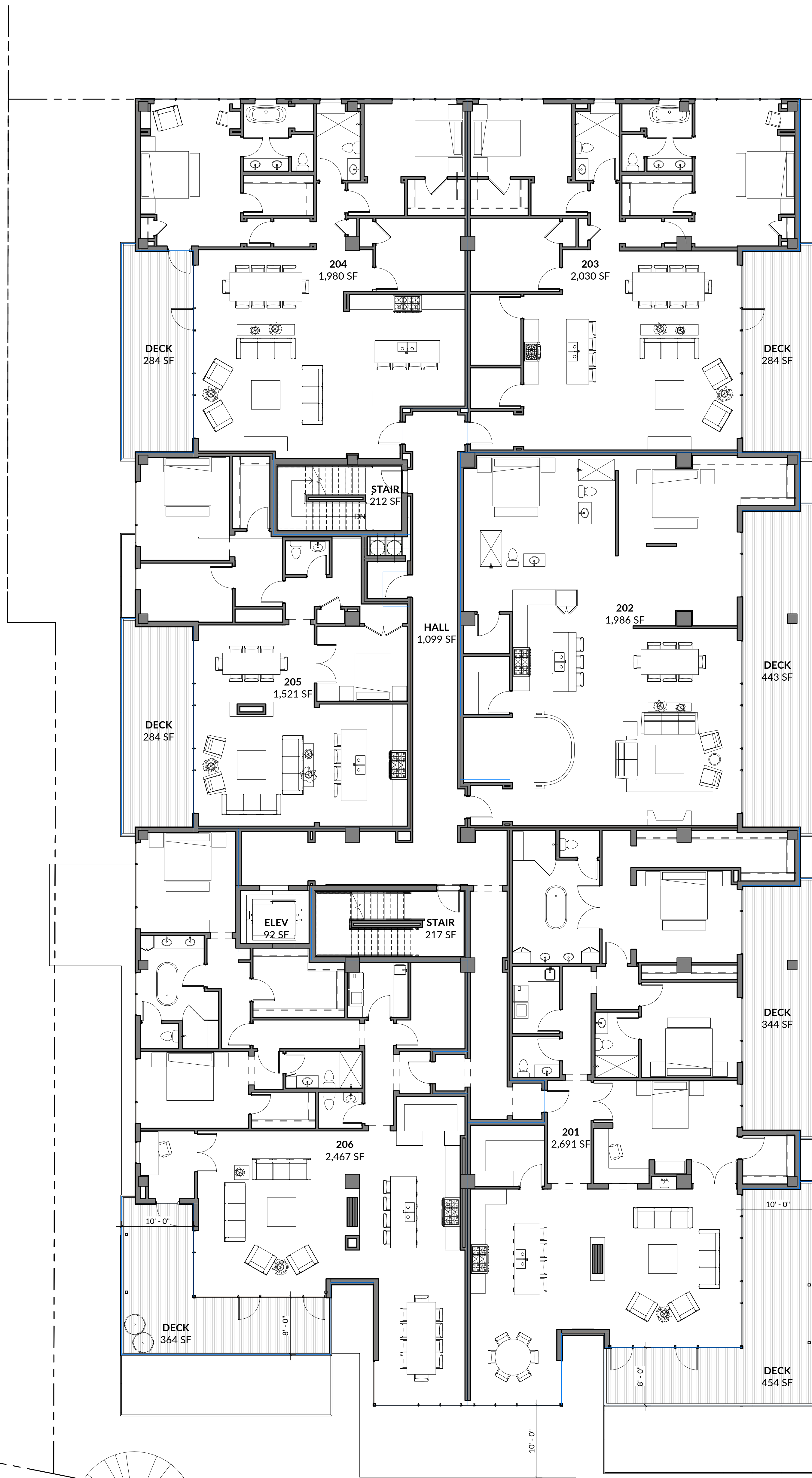
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REVISION DATE

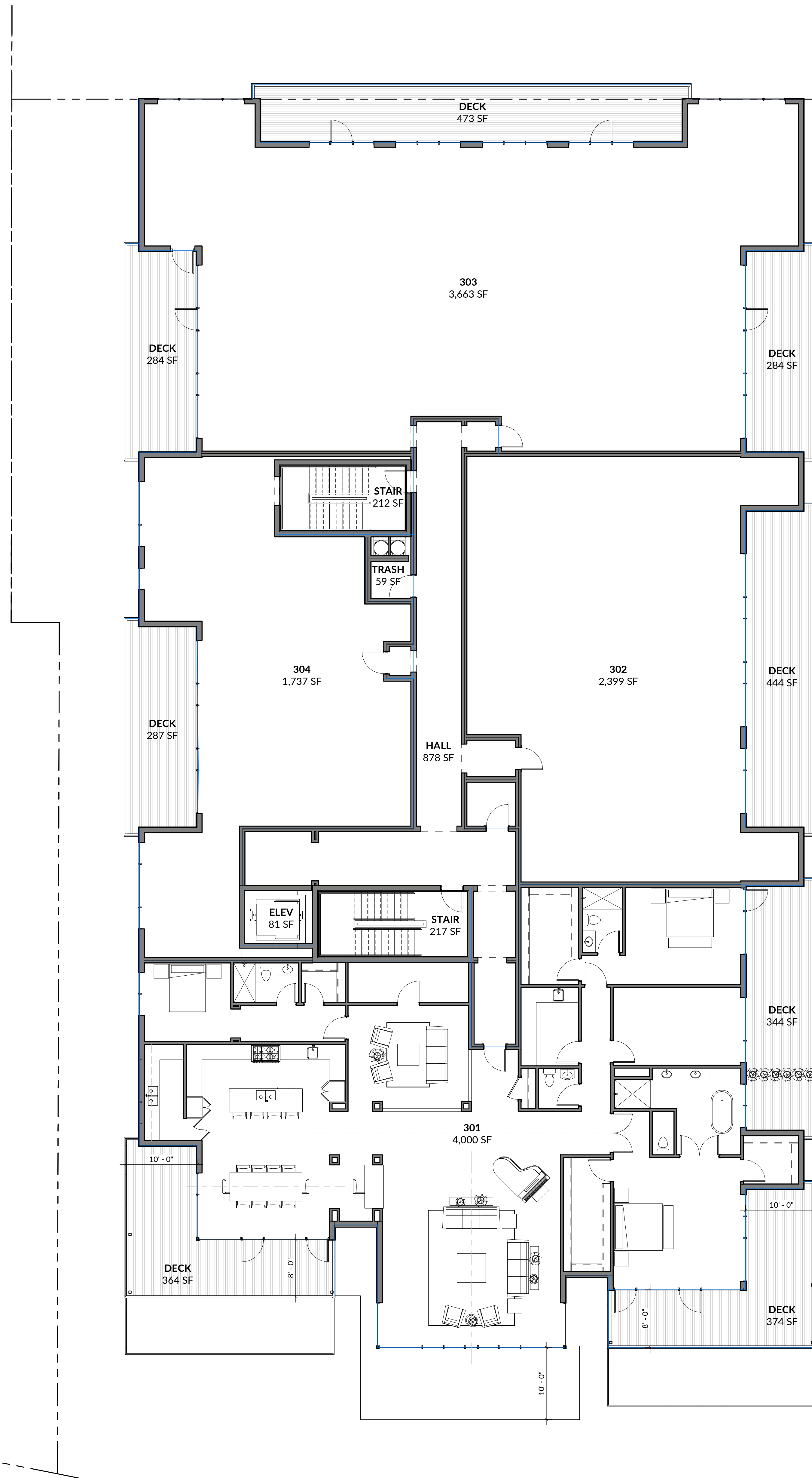
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LOWER & MAIN LEVEL PLAN



3 SECOND LEVEL
1/8" = 1'-0"



1 THIRD LEVEL
1/8" = 1'-0"

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SECOND & THIRD LEVEL PLAN



① SOUTH ELEVATION
1/8" = 1'-0"



② EAST ELEVATION
1/8" = 1'-0"



③ NORTH ELEVATION
1/8" = 1'-0"



④ WEST ELEVATION
1/8" = 1'-0"

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ELEVATIONS



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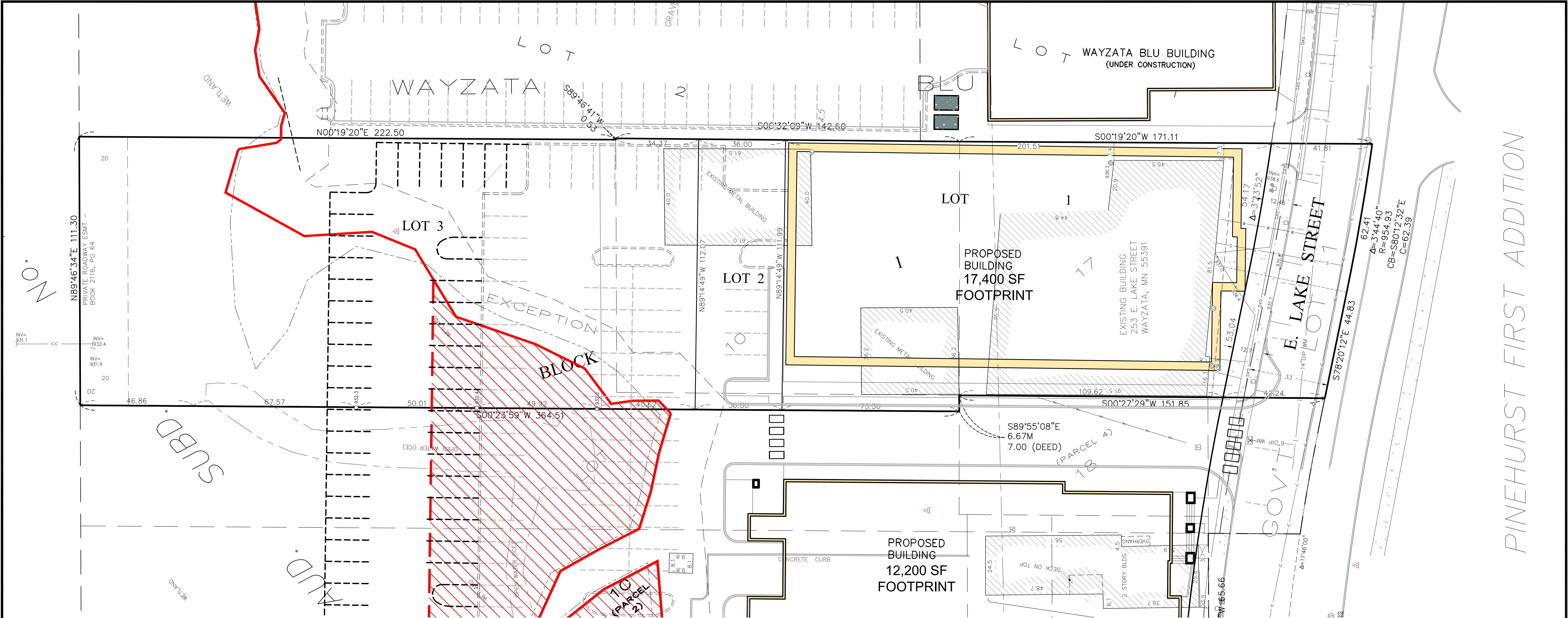


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DESCRIPTION OF PROPERTY SURVEYED

That part of Lot 10, AUDITOR'S SUBDIVISION NO. 184 described as beginning at a point on the westerly extension of the north line of Lot 11, in said subdivision distant 90 feet westerly from the northwest corner of said Lot 11; thence southerly in a straight line to the northeast corner of Lot 17, in said subdivision; thence westerly along the north line of said Lot 17 to the northwest corner of said Lot 17; thence southerly along the north line of Lot 18, in said subdivision, 7 feet; thence northerly parallel with the east line of the plat of LAKE WEST to the easterly extension of the most northerly line of said plat; thence easterly along the last described extension, to the intersection with the northerly extension of the east line of said Lot 17; thence southerly along the northerly extension of the east line of said Lot 17 to the intersection with the westerly extension of the north line of said Lot 11; thence to the point of beginning.

And

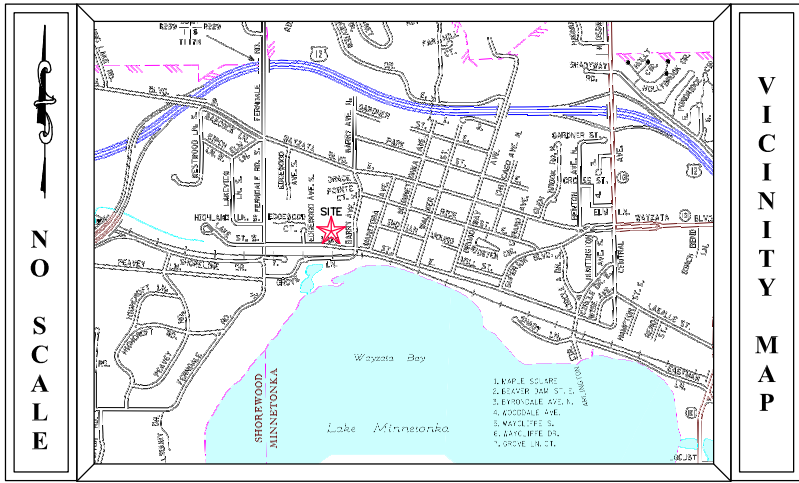
That part of Government Lot 1, Section 6, Township 117, Range 22 lying southerly of the south line of Lot 17, AUDITOR'S SUBDIVISION NO. 184 and westerly of the southerly extension of the east line of said Lot 17, which lies easterly of the southerly extension of the west line of said Lot 17 and northerly of a line described as beginning at a point on the west line of said Government Lot 1 distance 89.9 feet southerly from the northwest corner of said government lot; thence easterly at right angles from said west line of Government Lot 1 a distance of 856.3 feet; thence easterly 196.11 feet along a 6 degree tangential curve to the right having a central angle of 11 degrees 46 minutes; thence southeasterly tangent to said curve 52.2 feet; thence easterly 158.3 feet along a 6 degrees tangential curve to the left having a central angle of 9 degrees 30 minutes and said line there terminating.

Subject to right of the public in Lake Street over the southerly 33 feet of the above described part of Government Lot 1.

Subject to a private easement for roadway purposes over the north 20 feet of the above described Lot 10, as set forth in deed recorded in Book 2116 at page 64.

And

Lot 17, AUDITOR'S SUBDIVISION NO. 184, Hennepin County, Minnesota.



PROPOSED LOT INFORMATION

LOT AREA INFORMATION
Lot 1: 20,780 sq.ft./0.477 acres
Lot 2: 4,033 sq.ft./0.093 acres
Lot 3: 28,551 sq.ft./0.655 acres
ROW: 4,436 sq.ft./0.102 acres

GENERAL NOTES

- Site Address:** 253 Lake Street East, Wayzata, Minnesota 55391
- Flood Zone Information:** This property appears to be in Zone X (area determined to be outside of the 0.2% annual chance floodplain) per Flood Insurance Rate Map, Community Panel No. 27053C0307F effective date of November 4th, 2016.
- Parcel Area Information:**
Gross Area: 57,954 s.f. ~ 1.330 acres
R/W Area: 3,547 s.f. ~ 0.081 acres
Wet Area: 14,382 s.f. ~ 0.330 acres
Net Area: 40,025 s.f. ~ 0.919 acres.
- Benchmark:** Elevations are based on:
1.) Top of top nut of first fire hydrant on the south side of Lake Street East west of site: Elevation = 938.42 feet
2.) Top of top nut of first fire hydrant on the northside of Lake Street East east of site: Elevation = 938.37 feet.
- Zoning Information:** The current Zoning for the subject property is C-4A (Limited Central Business District) per the City of Wayzata's zoning map. The setback, height, and floor space area restrictions for said zoning designation were obtained from the City of Wayzata found on their web site on the date of February 15th, 2017 and are as follows:

Setbacks: The following minimum requirements shall be observed in a "C-4A" District subject to additional requirements, exceptions, and modifications set forth in this Ordinance.

Height. No building shall be erected or structurally altered to exceed two (2) stories and thirty (30) feet in height, whichever is lesser.

Setbacks. There shall be no front yard, exterior side yard or rear yard requirements, except that there shall be a required setback within C-4A District boundaries when such boundaries are adjacent to a residential district. In such cases, the setback shall be the same as the setback for the adjacent district.

Floor Area Ratio. The maximum floor area ratio (F.A.R.) shall be 2.0.

Area. The minimum total lot area shall be twelve thousand (12,000) square feet.

Please note that the general restrictions for the subject property may have been amended through a city process. We could be unaware of such amendments if they are not in a recorded document provided to us. We recommend that a zoning letter be obtained from the Zoning Administrator for the current restrictions for this site.

- Utilities:** We have shown the location of utilities on the surveyed property by observed evidence only. There may be underground utilities encumbering the subject property we are unaware. Please note that we have not placed a Gopher State One Call for this survey. There may or may not be underground utilities in the mapped area, therefore extreme caution must be exercised before any excavation takes place on or near this site. Before digging, you are required by law to notify Gopher State One Call at least 48 hours in advance at 651/454-0002.

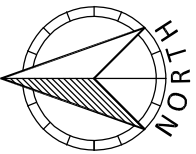
- Wetland(s) shown hereon is (are) per field location of stakes as set by others.

ADDITIONAL NOTES:

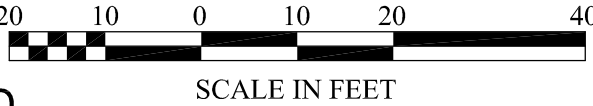
Proposed Building shown hereon are preliminary. Not final construction plans were provided. The proposed structures to the east and west were provided by other and are shown to their best representation.

The common driveway between the buildings was provided by Rehder and Associates and is shown per discussion with developers of both sites. The parking configuration in back (north) is shown per a plan provided by the City of Wayzata. It has been modified to tie into the site plan provided for 235 and 253 Lake Street East developments. The darker dashed proposed parking configuration is a proposed phase two parking expansion. All parking shown hereon is for informational purposes only.

Wetland area shown in RED was provided by others.



Bearings are based on the Hennepin County Coordinate System (NAD 83 - 1986 adj.)



SURVEY LEGEND

- | | | |
|-------------------------|-----------------------------|----------------------------|
| ● CAST IRON MONUMENT | WOE WALKOUT ELEVATION | BITUMINOUS |
| ⊠ CATCH BASIN | FFE FIRST FLOOR ELEVATION | BUILDING SETBACK LINE |
| △ FLARED END SECTION | GFE GARAGE FLOOR ELEVATION | CTV CABLE TV |
| ⊠ GATE VALVE | TOF TOP OF FOUNDATION ELEV. | CONCRETE CURB |
| < GUY WIRE | LOE LOWEST OPENING ELEV. | CONCRETE |
| ⊕ HYDRANT | ⊠ CABLE TV PEDESTAL | CONTOUR EXISTING |
| ○ SURVEY MONUMENT SET | ⊠ ELECTRIC TRANSFORMER | CONTOUR PROPOSED |
| ⊠ SURVEY MONUMENT FOUND | ⊠ ELECTRIC MANHOLE | GUARD RAIL |
| ✕ FOUND CHISELED "X" | ⊠ ELECTRIC METER | DT DRAIN TILE |
| △ SURVEY CONTROL POINT | ⊠ GAS METER | ELC ELECTRIC UNDERGROUND |
| ⊕ LIGHT POLE | ⊠ GAS VALVE | FENCE |
| ⊕ POWER POLE | ⊠ HAND HOLE | FO FIBER OPTIC UNDERGROUND |
| ⊠ SANITARY MANHOLE | ⊠ SOIL BORING | GAS GAS UNDERGROUND |
| ⊠ SANITARY CLEANOUT | ⊠ TREE: CONIFEROUS | OHU OVERHEAD UTILITY |
| ⊠ SIGN | ⊠ TREE: DEODUOUS | RAILROAD TRACKS |
| 972.5 GROUND ELEVATION | ⊠ TELEPHONE MANHOLE | > SANITARY SEWER |
| ⊕ STORM DRAIN | ⊠ TELEPHONE PEDESTAL | >> STORM SEWER |
| ⊠ STORM MANHOLE | ⊠ TRAFFIC SIGNAL | TEL TELEPHONE UNDERGROUND |
| ⊕ YARD LIGHT | ⊠ UTILITY MANHOLE | UTL UTILITY UNDERGROUND |
| ⊠ A/C UNIT | ⊠ UTILITY PEDESTAL | I WATERMAIN |

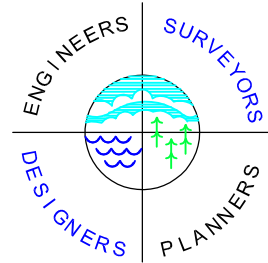
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I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 12th day of June, 2018.

David B. Pemberton, PLS
pemberton@sathre.com
Minnesota License No. 40344



SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000
WWW.SATHRE.COM

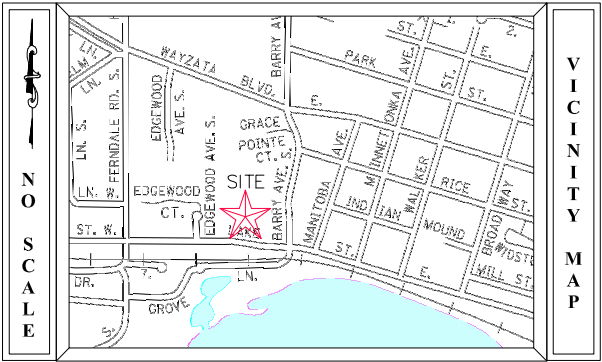
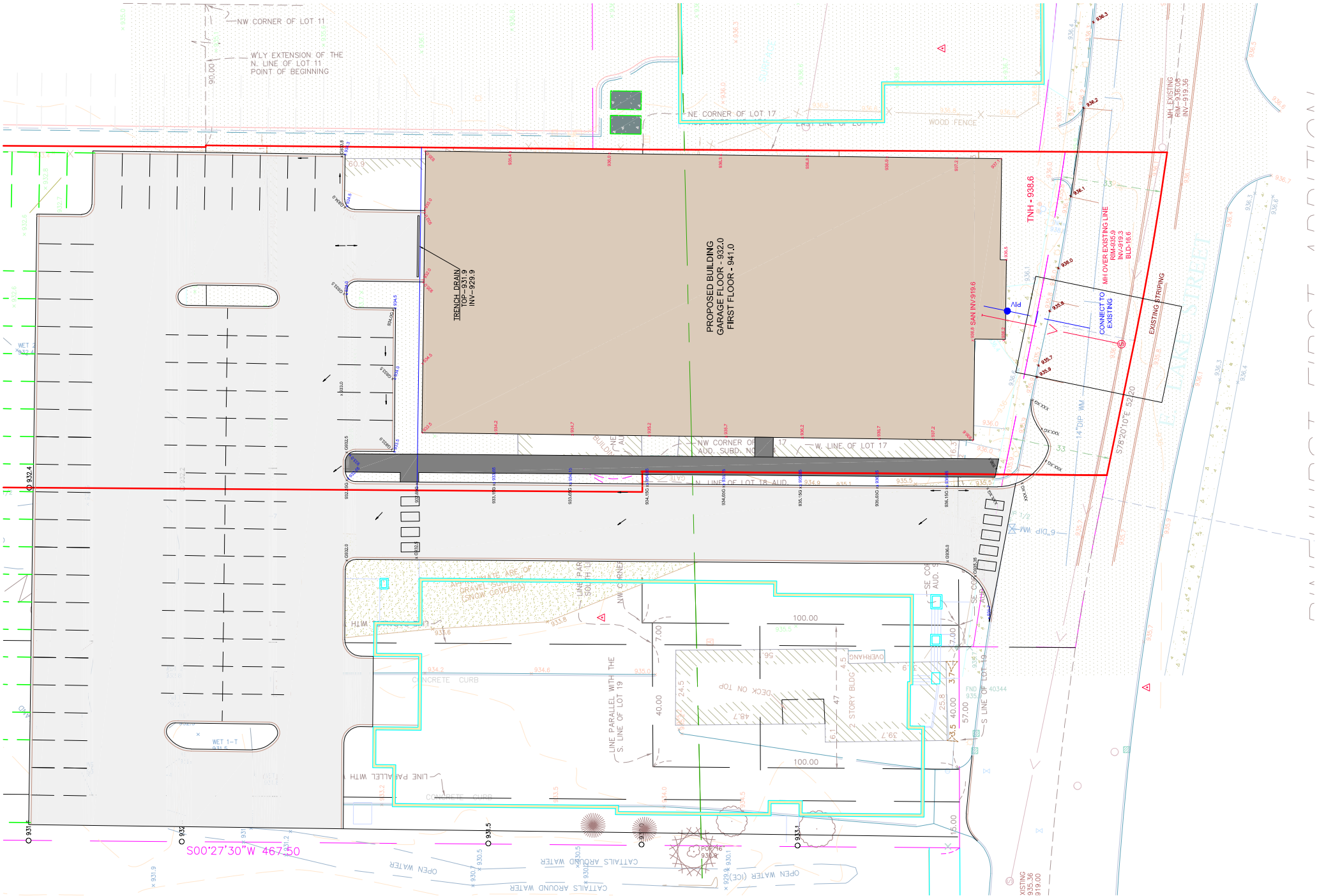
TWP:117-RGE.22-SEC.06 Hennepin County
WAYZATA, MINNESOTA

Preliminary Plat

of:
VENTANA LLC.

FILE NO.
94818-001

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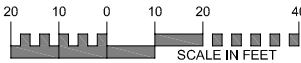
SYMBOL LEGEND		
DESCRIPTION	PROPOSED	EXISTING
MINOR CONTOUR		
MAJOR CONTOUR		
LOT LINE		
WATERMAIN		
BUILDING SETBACK BOUNDARY		
PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
RIGHT-OF-WAY		
DRAINAGE WHOLESALE		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MAINHOLE		
FLARED END SECTION WRAP-UP		
STORM STRUCTURE LABEL		
SANITARY STRUCTURE LABEL		
SANITARY SEWER MAINHOLE		
HYDRANT		
GATE VALVE		
WELL		
DRAIN FLOW/RUNOFF ARROW		
EMERGENCY OVERFLOW SWALE		
SOIL BORING LOCATION		
FENCE AND FILTER LOG		
TREE PRESERVATION FENCE		
BARRICADE		
SPOT ELEVATION		
TBC SPOT ELEVATION		
UTILITY POLE		
LIGHT POLE		
HANDICAP PARKING SPACE		

PREPARED BY	PREPARED FOR
ENGINEER SATHRE-BERQUIST, INC. 150 SOUTH BROADWAY WAYZATA, MINNESOTA 55391 PHONE: (952) 476-6000 FAX: (952) 476-0104 CONTACT: ROBERT MOLSTAD, P.E. EMAIL: MOLSTAD@SATHRE.COM	OWNER VENTANA, LLC 1507 Wayzata Blvd, Suite 250 WAYZATA, MN 55391 CONTACT: TRACI TOMAS PHONE: (952) 746-4137

SPOT ELEVATION LEGEND	
x GXXX.X	PROPOSED GUTTER ELEVATION
x XXX.X	PROPOSED TOP BACK OF CURB
x XXX.X	EXISTING TOP BACK OF CURB
x XXX.X	FINISHED BUILDING GRADE

- POLLUTION PREVENTION MANAGEMENT**
- All solid waste must be disposed of off-site per the MPCA disposal requirements.
 - All hazardous waste must be properly stored with restricted access to storage areas to prevent vandalism. Storage and disposal of hazardous waste must be in compliance with the MPCA regulations.
- UTILITY NOTES**
- Bring watermain into proposed building and cap at floor.
 - Verify all service locations and inverts with mechanical engineer before construction.
 - All watermain to have a minimum of 7.5' of cover.
 - All sewer services to extend to a point 5' from propose building.

- INSPECTION AND MAINTENANCE**
- The site must be inspected once every seven (7) days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in a 24 hour period..
 - All inspections and maintenance conducted must be recorded in writing and records retained with the SWPPP.
 - Areas of the site that have undergone final stabilization, may have the inspection of these areas reduced to once per month.
 - All silt fence must be repaired, replaced or supplemented within 24 hours when they are nonfunctional or the sediment reaches $\frac{1}{2}$ of the height of the fence.
 - Surface waters and conveyance systems must be inspected for evidence of sediment being deposited. Removal and stabilization must take place within seven (7) days of discovery unless precluded by legal, regulatory, or physical access constraints.
 - Construction site vehicle exit locations must have sediment removed from off-site paved surfaces within 24 hours of discovery.



- GRADING NOTES**
- All elevations shown are to finished grade.
 - Contractor is responsible for obtaining a NPDES General Stormwater Permit before construction begins.

- EROSION CONTROL NOTES**
- Contractor is responsible for all notifications and inspections required by NPDES Permit.
 - All erosion control measures shall be installed prior to grading operations and maintained until all areas disturbed have been restored.
 - Sweep paved public streets as necessary where construction sediment has been deposited.
 - Each area disturbed by construction shall be restored per the specifications within 14 days after the construction activity has ceased.
 - Temporary soil stockpiles must have silt fence around them and cant be placed in stormwater conveyance routes.
 - Excess concrete/water from concrete trucks shall be disposed in a concrete basin or in a contained area.
 - Spring/Summer temporary turf establishment: seed shall be MNDOT Mix 21-111 @ 100 lbs/acre and mulch shall be MNDOT type 1.

EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

DRAWING NAME	NO.	BY	DATE	REVISIONS	USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.	I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  ROBERT S. MOLSTAD, P.E. Date: 07/03/18 Lic. No. 24728		SATHRE-BERGQUIST, INC. 150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000	CITY PROJECT NO.	PRELIMINARY CONSTRUCTION PLAN	FILE NO.
BASE WEBER						--			94818-001		
DRAWN BY						WAYZATA, MINNESOTA			VENTANA CONDOS VENTANA, LLC.		CP CP
TCW											
CHECKED BY											
RSM											
DATE											
07/02/18											

Design Review Critique

Ventana Condos

August 20, 2018

The Design Review Critique is based on the following plans submitted by the applicant:

1. Narrative dated July 17, 2018
2. Building Tabulations submitted by Weber Architects and Planners dated August 17, 2018
3. Site Tabulations submitted by Weber Architects and Planners dated August 17, 2018
4. Exterior Elevations prepared by Weber Architects and Planners dated August 16, 2018
5. Floor Plans by Weber Architects and Planners dated August 16, 2018
6. Preliminary Construction Plan by Sathre-Bergquist, Inc, dated July 3, 2018

	Comments	Compliance
Building Uses		
<u>801.09.2.1 – Lake Street District</u> All new buildings east of Barry Avenue on Lake Street shall have retail usage at least eighty percent (80%) of the ground floor facing Lake Street. The remaining twenty percent (20%) of the ground floor frontage may only be used for walkways, public access, or public facilities. Retail activities shall comprise a total of at least fifty percent (50%) of the usage of the total building footprint.	The subject property is located west of Barry Ave on Lake St.	N/A
Building Recesses		
<u>801.09.3.1.A – All Districts</u> Building facades shall be articulated through the use of pilasters and/or recesses that create visible shadow lines and dimensions especially on the street level	The proposed building includes recesses and undulations in the building façade that creates shadow lines and dimensions.	Yes
<u>801.09.3.1.B</u> Street level landscaped courtyards, outdoor seating areas and gathering areas shall be incorporated into building and site plan design.	The front of the building adjacent to the street and public sidewalk would be landscaped.	Yes

Design Review Critique

Ventana Condos

August 20, 2018

	Comments	Compliance
Building Width		
<u>801.09.4.1 All Districts – New Buildings</u> In order to reduce the scale of longer façades and to eliminate the long horizontal expressions of buildings, divisions or breaks in materials shall be included and at least three of the following design strategies shall be incorporated into the design: 1. Window bays 2. Special treatment at entrances 3. Variations in roof lines or parapet detailing 4. Awnings 5. Building setbacks or articulation of the facade 6. Rhythm of elements	The proposed building incorporates awnings, variations in roof line, articulation of facades, and rhythm of form (in the columns and the decks).	Yes
	Comments	Compliance
Upper Story Setbacks		
<u>801.09.5.1.A – All Districts – New Buildings</u> Building height shall conform to the height of the applicable zoning district. Where three (3) story buildings are permitted, the third (3 rd) story must be recessed from all façades fronting public right of ways at least a distance equal to the vertical distance of the 3 rd story height from the second (2 nd) floor footprint, or an average of ten (10) feet across the facade, but no portion of the 3 rd story structure shall be closer than six (6) feet to the 2 nd story façade. The 3 rd story façade shall be designed with railings, pillars, dimensional windows, building recesses or other similar design techniques to break up the 3 rd story façade.	The building has previously received a variance to the building height to allow for a 40-foot building height, but is still only 3 stories. The third story is recessed from the 2 nd story by 6 feet, which is recessed from the 1 st floor by approximately 8 feet. The 3 rd story façade is designed with railings, pillars, very large windows, and building recesses.	Yes

Design Review Critique

Ventana Condos

August 20, 2018

	Comments	Compliance
<u>801.09.5.1.B – All Districts – New Buildings</u> The façades fronting public right-of-ways of every two and three story building, longer than sixty (60) feet, must have a recessed second story of approximately twenty-five percent (25%) of the façade's length, setting back a minimum of six (6) feet from the face of the first floor façade. The required third floor setback must follow the frontal plane of the second story setback.	The building's 2 nd story is fully recessed from the 1 st story by approximately 8 feet.	Yes
<u>801.09.5.1.C – All Districts – New Buildings</u> Wintertime sun orientation, solar access, and views of Lake Minnetonka are significant issues within the Design Districts. Building height should not negatively and significantly impact neighboring properties.	The proposed building will not impede the views of properties to the north. There is significant distance and grade elevation between this proposed building and the next building to the north.	Yes

Design Review Critique

Ventana Condos

August 20, 2018

	Comments	Compliance
Roof Design		
<u>801.09.6.1 – All Districts</u> “Green” roofs, roof garden terraces, arbors and other similar structures are encouraged on roofs of building.	The proposed building does not include any green roofs.	N/A
<u>801.09.6.2.A – All Districts – Roof Materials</u> The roof material for all sloped roofs in all districts shall be slate, untreated copper, pre-finished metal, cedar shake or asphalt shingle in dark colors. <u>801.09.6.2.B – All Districts – Roof Materials</u> The roof material for all flat roofs in all districts shall be treated synthetic membrane or other similar material in dark colors.	The proposed building has a flat roof which would consist of a synthetic membrane in a dark color.	Yes
Screening of Rooftop Equipment		
<u>801.09.7.1 – Lake Street District</u> No mechanical equipment for a building may be located on the roof deck. All such mechanical equipment must be located within the interior of the structure.	The proposed plans do not include mechanical units on the rooftop. The mechanical equipment would be located inside the building, and would not be visible from the public street or adjacent properties.	Yes

Design Review Critique

Ventana Condos

August 20, 2018

	Comments	Compliance
Facade Transparency		
<u>801.09.8.1 – Lake Street District</u> No less than fifty percent (50%) of the ground level façade of any building fronting Lake Street shall be transparent glass. No less than twenty-five percent (25%) of the ground level side and rear façade facing a public right of way, parking area or open space shall be transparent glass.	The first floor of the building has 62.6% glass along the front facing façade of Lake Street, front facing façade. The rear and side façade also exceed 50% of those facades.	Yes
Ground Level Expression		
<u>801.09.9.1 – All Districts</u> In multi-story buildings, the ground floor shall be distinguished from the floors above by the use of at least three of the following elements: 1. An intermediate cornice line 2. A difference in building materials or detailing 3. An offset in the façade 4. An awning, trellis, or loggia 5. Arcade 6. Special window lintels 7. Brick/stone corbels	The ground floor of the proposed building is distinguished from the 2 nd and 3 rd floor by an architectural cornice, a change in building materials from glass to metal, an offset in the façade, and canopies.	Yes
Entries		
<u>801.09.10.1 – All Districts</u> The front facade of all buildings shall be landscaped with window boxes or planters with seasonally appropriate plantings. The main entries shall face the primary street at sidewalk grade.	The front façade has landscaping located in front of the building adjacent to Lake Street. However, the entrance to the building is located at sidewalk level on the side of the building, and not directly on Lake Street.	No. Deviation requested.

Design Review Critique

Ventana Condos

August 20, 2018

	Comments	Compliance
Building Materials and Quality		
<u>801.09.11.1.A – Primary Opaque Surfaces – All Districts</u> Other than the accent materials listed in 801.09.11.G, ninety percent (90%) of the non-glass surfaces of each elevation of the exterior building façade shall be composed of one or more of the following materials: 1. Brick 2. Stone 3. Cast stone 4. Factory finished and certified wood, including, but not limited to: a. Wood shingles (cedar shingles six (6) inch maximum exposure) b. Lap-siding (six (6) inch maximum width) 5. Stucco	The vast majority of the façade is glass. The non-glass surfaces of the building are comprised of stone and stucco, which are permitted primary materials. The building also includes metal canopies, coping, and metal panel deck/balcony railings.	Yes
<u>801.09.11.1.B – Façade Coverage – All Districts</u> The primary opaque surface materials of all free standing buildings must be the same on all facades of the building.	The proposed building would consist of the same primary materials – glass, stone, and stucco – on all sides of the building.	Yes
<u>801.09.11.1.C – Type of Brick – All Districts</u> On all facades of a free-standing building where brick is used, full course modular, Roman, Norman or other standard size brick must be used.	The proposed building does not include any brick.	N/A

Design Review Critique

Ventana Condos

August 20, 2018

<u>801.09.11.1.D – Façade Detail – All Districts</u> 1. Brick and/or stone façades shall be well detailed and dimensionally designed in order to avoid fractional cuts and odd pieces. All outside brick corners must be full bricks (custom if necessary), with no mitering, forming continuous vertical joints. 2. The narrow face of an exposed stone butt joint, at corners, must be a minimum dimension of two (2) inches. Mitered and quirked stone corners are also acceptable.		The proposed building does not include any brick.	N/A
<u>801.09.11.1.E – Brick Joints – All Districts</u> 1. The mortar for brick must be dark grey or in the color range of the brick. All joints must be concave or 'v' joint. No mortar may be used beyond the face of the brick. 2. All brick walls must be built to avoid efflorescence		The proposed building does not include any brick.	N/A
<u>801.09.11.1.F – Stone Joints – All Districts</u> Stone joints shall be no larger than one-fourth (1/4) inch.		The stone joints would be no larger than 1/4 inch.	Yes

Design Review Critique

Ventana Condos

August 20, 2018

<u>801.09.11.1.G – Accent Materials – All Districts</u> Only the following materials may be used for lintels, sills, cornices, bases, and decorative accent trims, and must be no more than 10 percent (10%) of the non-glass surfaces of each elevation of the exterior building façade: 1. Stone 2. Cast stone 3. Copper (untreated) 4. Rock faced stone 5. Aluminum or painted steel structural shapes 6. Fiber cement board 7. Premium grade wood trim with mitered outside corners. Examples of premium grade wood are cedar, redwood, and fir. 8. EIFS	The building includes sills, accents, and cornices that do not consist of more than 10 percent of the surfaces and consist of stone, steel, and metal.	Yes
<u>801.09.11.1.H - Parapets, Flashing, Coping – All Districts</u> 1. Only the following materials may be used for parapets, flashing and coping: a. copper (untreated) b. brick c. stone d. cast stone e. premium grade wood. 2. Pre-finished, painted .032 aluminum may only be used as a standard parapet coping with a maximum exposed edge of five (5) inches.	The parapets, flashing, and coping are metal.	Yes

Design Review Critique

Ventana Condos

August 20, 2018

<u>801.09.11.1.I – Awnings – All Districts</u> 1. Only the following types of awnings may be used: a. Fabric awnings of a heavy canvas in dark solid colors or other colors that are approved as part of the design review process b. Highly detailed, ornate metal in dark colors c. Glass awnings 2. Backlit awnings are prohibited. 3. Awnings with text or graphic material may be permitted but require approval via the sign permit process of the Zoning Ordinance.		The proposed building includes metal canopies but no awnings.	N/A
<u>801.09.11.1.J – Balconies – All Districts</u> Balconies shall be accessible and useable by persons. Fake or unusable balconies are prohibited. All balconies shall remain within the property line. Metal railings with members painted dark, or glass panels are permitted.		The building includes usable decks and balconies with metal railings.	Yes
<u>801.09.11.1.K – Glass – All Districts</u> Glass shall not be mirrored, reflective or darkened. Slight green, bronze and grey tints are acceptable. Spandrel glass shall not be counted as transparent glass for the purposes of calculations under the transparency requirements of Section 801.09.8 of the Standards, but may be used for detailing purposes. Environmentally appropriate glass, such as Low-emissivity glass, shall be used in all projects		The exterior glass will not be mirrored, reflective, or darkened.	Yes

Design Review Critique

Ventana Condos

August 20, 2018

<u>801.09.11.1.L – Door Systems – All Districts</u> Unless there are building security concerns, main entry doors shall be primarily glass. If, for security reasons, a main entry door is not possible or practical, a main entry door must be well detailed. Appropriately designed wood doors may be utilized for retail and office buildings.	All entry doors are glass on the front façade.	Yes
	Comments	Compliance
Franchise Architecture		
<u>801.09.12.1 – All Districts</u> A. Typical or standardized franchise architecture (including building design that is the trade dress of, or identified with a particular chain, franchise or business and is repetitive in nature) is prohibited. B. Large, bold or bright signage, trade dress or logos must be altered and scaled down to meet the purpose of these standards as articulated herein, and must not be repeated on the facades of the principal structure more than once. All new, altered and/or proposed signage for buildings must be submitted for review under Section 801. 09.18 by the Planning Commission at the time of Design Standards Review application	There is no franchise architecture proposed.	N/A

Design Review Critique

Ventana Condos

August 20, 2018

		Comments		Compliance
Walkways				
<u>801.09.13.1 – Lake Street District</u> A. Continuous sidewalks at least twelve (12) feet in width shall be provided along all public street frontages. B. Lighted sidewalks shall extend between rear and side parking areas and building entrances. All sidewalk lighting must project downward. C. Buildings with street frontage exceeding fifty (50) feet shall have at least one (1) bench. D. All sidewalk surfaces		The proposed plans include a 12-foot continuous sidewalk along Lake Street with the required streetscaping elements.		Yes

Design Review Critique

Ventana Condos

August 20, 2018

	Comments	Compliance
Landscaping		
<u>801.09.14.1 – All Districts</u>		
A. Seasonal landscaping shall be used in all Design Districts, including use of window boxes, hanging flowers baskets, vines and/or other similar seasonal landscaping. If feasible, garden areas and ornamental trees shall be used at the street level.	The proposed building indicates landscaping along the front façade of the building adjacent to Lake Street.	Yes
B. Window boxes, hanging baskets and planters with seasonally appropriate plantings shall be used around entries to buildings.		
C. Vines shall be used to cover walls with more than one hundred (100) square feet of uninterrupted surface area.		
D. Streetscaping shall include all of the following: 1. Boulevard species trees, with at least three (3) caliper inches. 2. Exposed aggregate sidewalks with brick accents 3. Street lights 4. Benches (if building length is 50 feet or greater), which utilize existing city bench designs. 5. Flowers		

Design Review Critique

Ventana Condos

August 20, 2018

<u>801.09.14.2 – Lake Street District</u> A. Established Lake Street landscape treatments shall be followed in accordance with the specifications of the Wayzata Engineering Guidelines set forth in Wayzata City Code. Exposed aggregate with brick accent sidewalks shall be used. B. Approved boulevard trees, planted in sidewalk areas, shall be planted no more than twenty six (26) feet on center from each other.	The proposed plans include a 12-foot continuous sidewalk along Lake Street with the required streetscaping elements.	Yes
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Design Review Critique

Ventana Condos

August 20, 2018

	Comments	Compliance
Parking Lot Landscaping		
<u>801.09.15.1 – All Districts</u> A landscaped buffer strip at least five (5) feet wide shall be provided between all parking areas and the sidewalk or street. The buffer strip shall consist of shade trees appropriately spaced for the particular Design District, and a decorative metal fence, masonry wall or hedge. A solid wall or dense hedge shall be no less than three (3) feet and no more than four (4) feet in height.	The proposed parking area is going to be publicly owned and will be located behind the building.	N/A
Surface Parking		
<u>801.09.16.1 – All Districts</u> A. Off-street parking shall be located to the rear of buildings. When parking must be located in a side yard adjacent to the street, a landscaped buffer shall be provided in accordance with the Design Standards. The street frontage occupied by parking shall not exceed sixty (60) feet per property. B. Side-by-side parking lots creating a parking area frontage longer than sixty (60) feet are prohibited, except where a heavily landscaped buffer of at least twenty (20) feet wide completely separates both lots. C. Side yard parking shall not extend beyond the front yard setback of the primary building on the property. D. Front yard parking is prohibited. E. There shall be no corner parking.	The proposed parking area is going to be publicly owned and will be located behind the building.	N/A

Design Review Critique

Ventana Condos

August 20, 2018

	Comments	Compliance
<u>801.09.16.2 – All Districts – Bicycle Parking</u> Commercial developments requiring more than twenty (20) parking spaces shall provide at least four (4) bicycle parking spaces in a convenient, visible, preferably sheltered location.	This proposal is entirely residential.	N/A
Parking Structures		
<u>801.09.17.1 – All Districts</u> Parking structures shall meet the following standards, along with all other applicable building code standards: A. The ground floor façade abutting any public street or walkway shall be architecturally compatible with surrounding commercial or office buildings. B. The parking structure shall be designed in such a way that sloped floors do not dominate the appearance of the façade. C. Windows or openings shall be similar to those of surrounding buildings. D. Vines and other significant landscaping shall be used to minimize the visual impact of the parking structure.	There is no parking structure associated with the project.	N/A

Design Review Critique

Ventana Condos

August 20, 2018

	Comments	Compliance
Signs		
<u>801.09.18.1 – All Districts</u>		
A. Compatibility		N/A
1. Signs shall be architecturally compatible with the style, composition, materials, colors and details of the building, and with other signs on nearby buildings. Signs shall be an integral part of the building and site design.		
2. A sign plan shall be developed for buildings which house more than one (1) business. Signs need not match, but shall be compatible with one another. Franchise or national chains must comply with these Sign Standards to create signs compatible with their context.		
3. When illuminated signs are proposed, only the text and/or logo portion of the sign may be illuminated. Illuminated signs must be compatible with the location. Illumination of the sign to highlight architectural details is permitted. Fixtures shall be small, shielded, and directed towards the sign rather than toward the street, so as to minimize glare for pedestrians and adjacent properties.		
4. Sign plans must be submitted for review as part of an Applicant for Design Approval. Proposed signs must also conform to the requirements of Section 801.27 of the Wayzata Zoning Ordinance.		
	There are no proposed changes to the signage on the property at this time.	

Design Review Critique

Ventana Condos

August 20, 2018

<u>801.09-18.2 – Permitted Signs – Lake Street District</u> A. Lake Street District. Only the following types of signs are permitted in the Lake Street District: 1. Awning, canopy or marquee signs 2. Wall signs 3. Monument or ground signs 4. Projecting signs 5. Window signs (small accent signs) 6. Roof signs if located on pitched-roof buildings, below the peak of the roof	There are no proposed changes to the signage on the property at this time.	N/A
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	Comments	Compliance
Parking Lot and Building Lighting		
<u>801.09.19.1 – All Districts</u> A. Parking lot lighting shall be designed in such a way as to be in scale with its surroundings, and reduce glare. B. Cutoff fixtures shall be located below the mature height of trees located in parking lot islands so as to minimize ambient glow and light pollution. C. Pedestrian-scale lighting, not exceeding thirteen (13) feet in height, shall be located on walkways and adjacent to store entrances. All sidewalk lighting must be projected downwards. City light standard shall be followed for all public streets. D. Light posts shall be of a dark color. E. Lighting fixtures shall be compatible with the architecture of the building. F. Lights attached to buildings shall be screened by the building's architectural features to eliminate glare to adjacent properties. All façade lighting must be projected downwards. G. All lighting fixtures shall comply with City Code Section 801.16.6 as it relates to glare.	The proposed plans do not include any private parking lots improvements.	N/A

EXISTING CONDITIONS

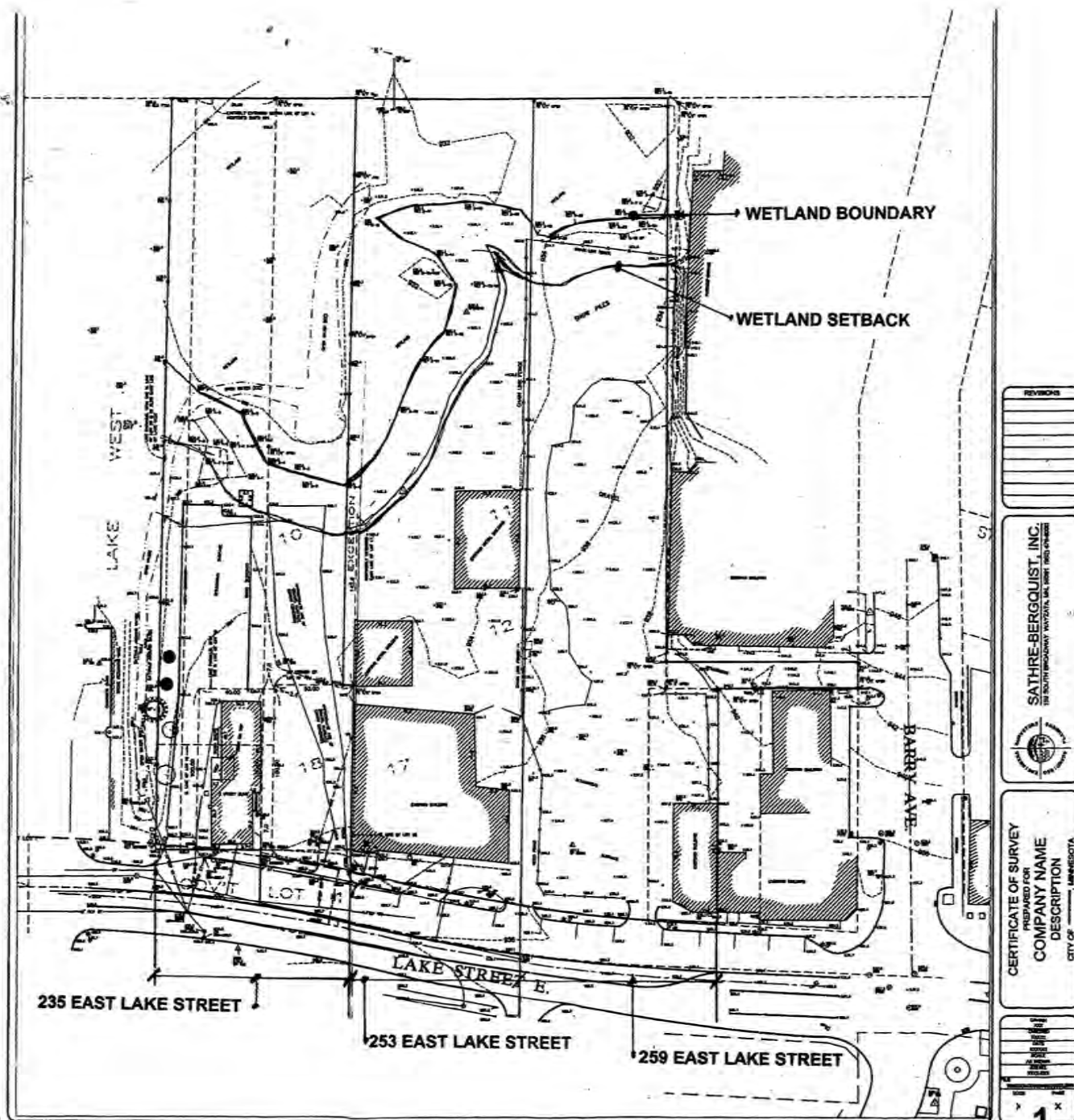
HUGHES PROPERTY
235 EAST LAKE STREET

HOYT PROPERTY
253 EAST LAKE STREET

KAMINSKY PROPERTY
259 EAST LAKE STREET



2280 Watertown Road, Long Lake, MN 55356-9419
952.476.4434 • Fax 952.476.5863 • nw@weberarchitects.com

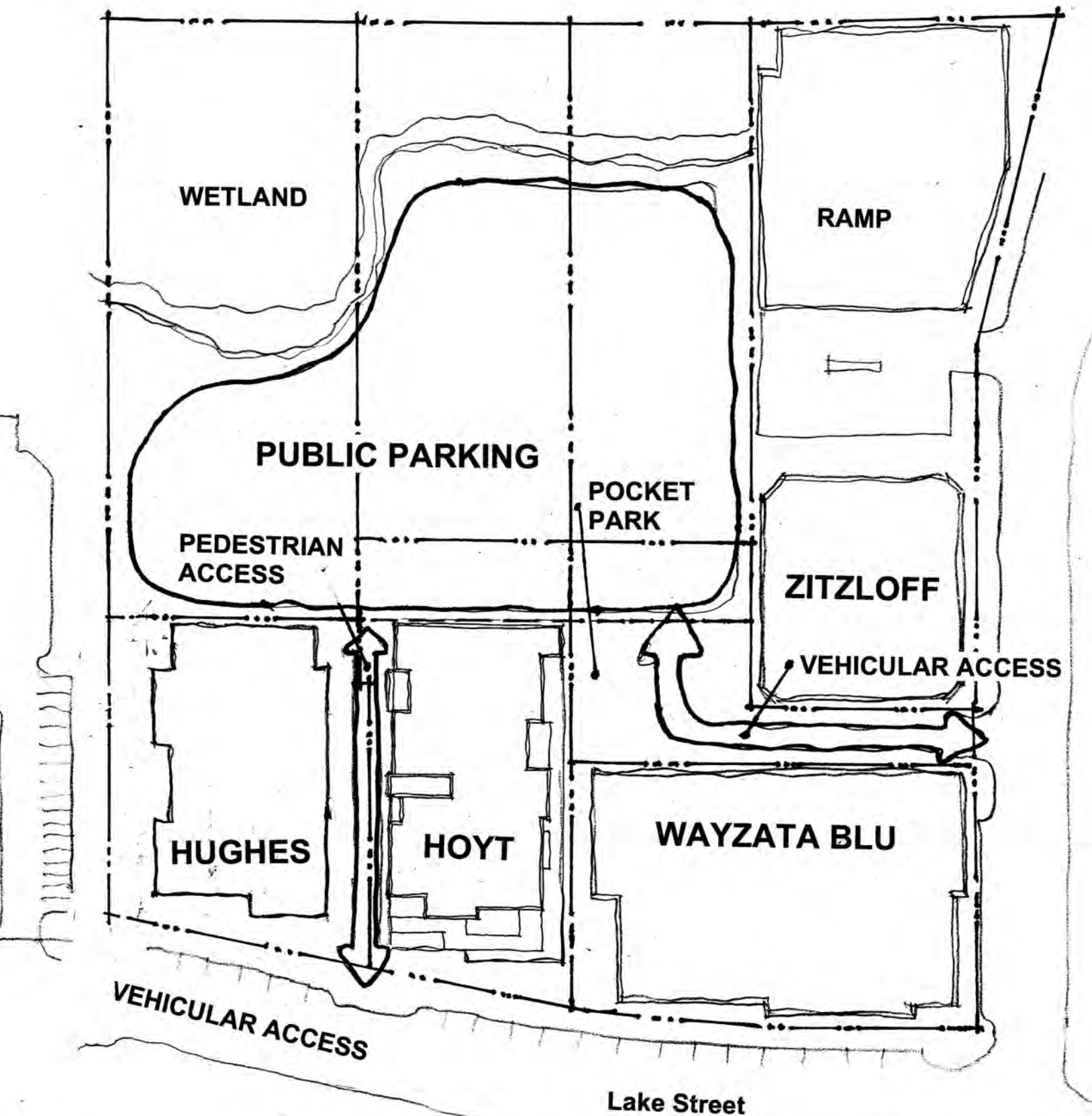


REVISIONS

SATHRE-BERGQUIST, INC.
18 SOUTH BROADWAY, WYOMING, MN 55092-1000

CERTIFICATE OF SURVEY
PREPARED FOR
COMPANY NAME
DESCRIPTION
CITY OF MINNESOTA

REVISIONS



TRITON MANAGEMENT, LLC

 **WEBER**
architects & planners

2280 Waterdown Road, Long Lake, MN 55305-0419
952.476.4424 • Fax 952.476.5903 • info@weberarchitects.com



10 30 60 120

SITE CONCEPT

30 AUGUST 2017

OCT 2017

**PUBLIC
PARKING**

**PEDESTRIAN
CONNECTION**

Setback 42'

**POCKET
PARK**

Setback 0'

HUGHES

HOYT

WAYZATA BLU

Setback 10'

Setback 12'

**SEWER/WATER
CONNECTIONS**

LAKE STREET

TRITON MANAGEMENT, LLC



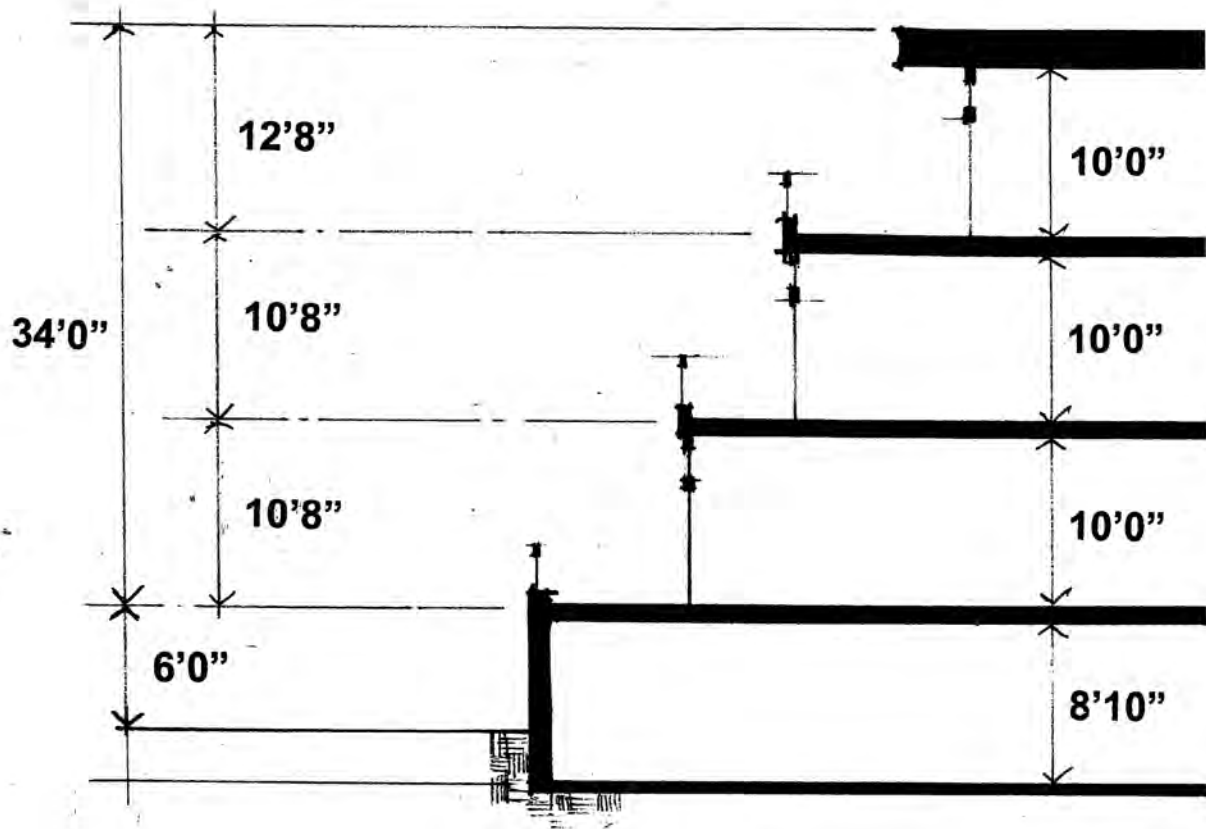
WEBER
architects & planners



2280 Watertown Road, Long Lake, MN 55356-9418
852.476.4434 • Fax 952.476.5863 • info@weberarchitects.com

SITE PLAN

007 2017



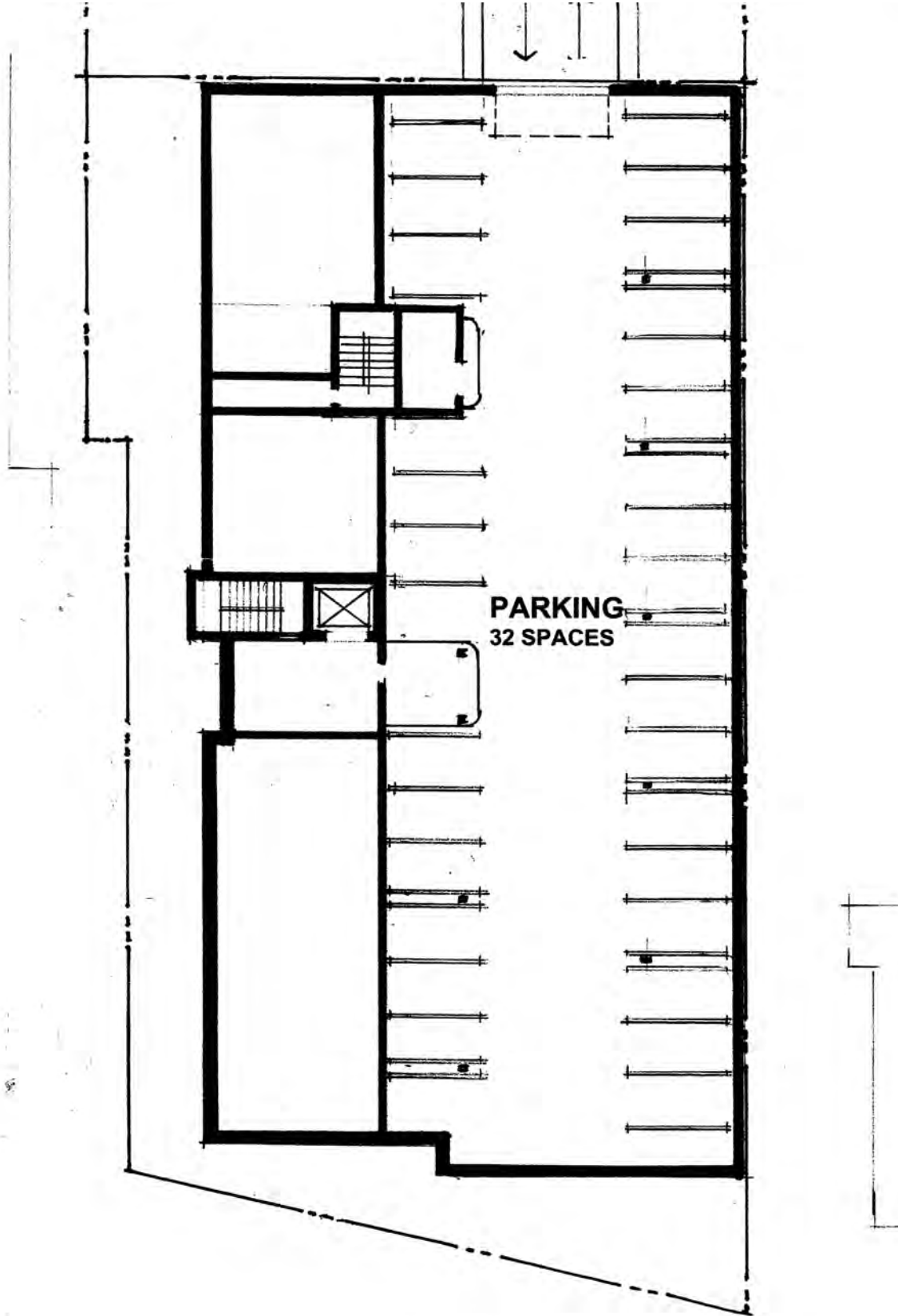
SECTION

TRITON MANAGEMENT, LLC



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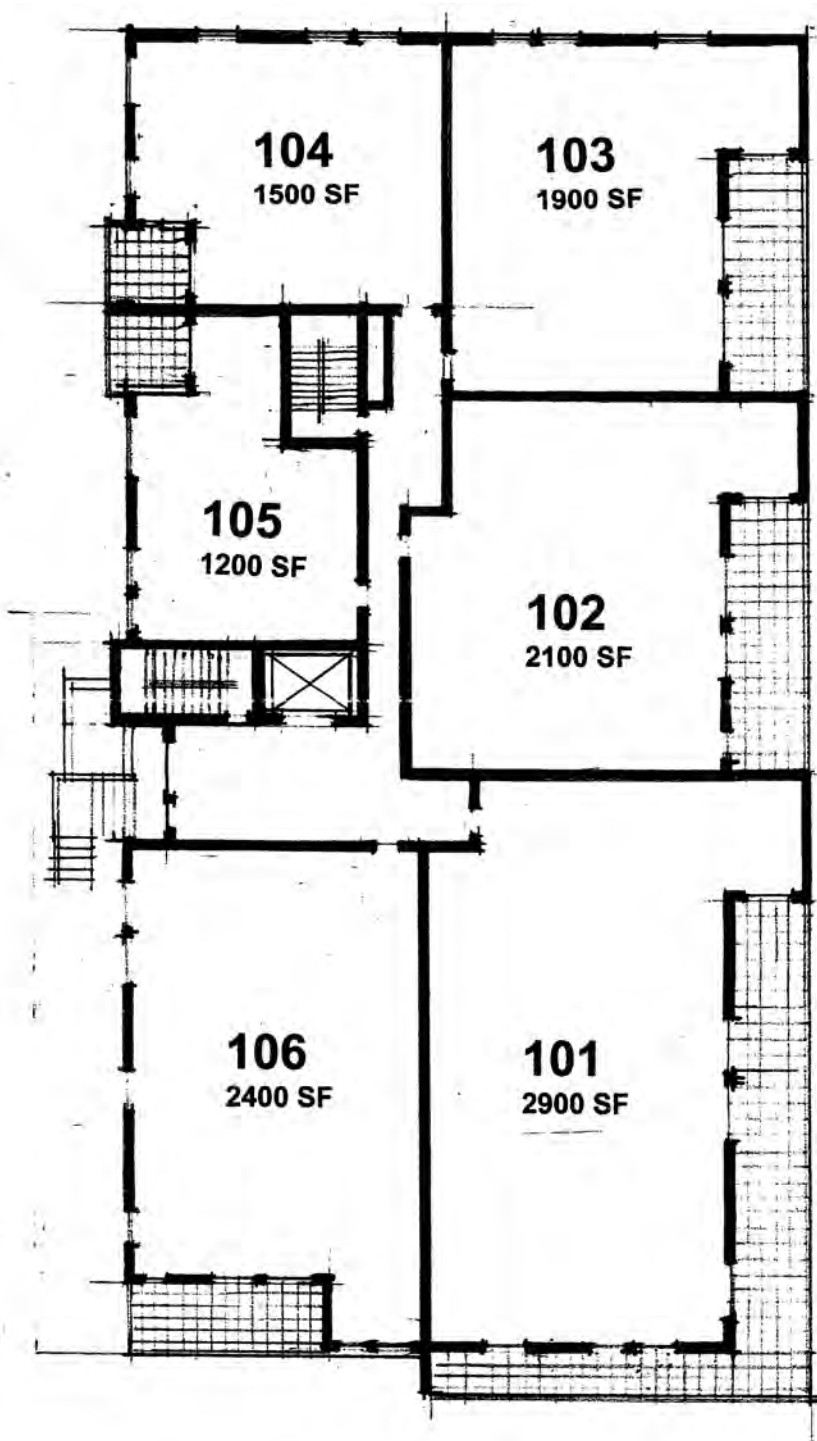
PARKING LEVEL

TRITON MANAGEMENT, LLC



2280 Watertown Road, Long Lake, MN 55356-9419





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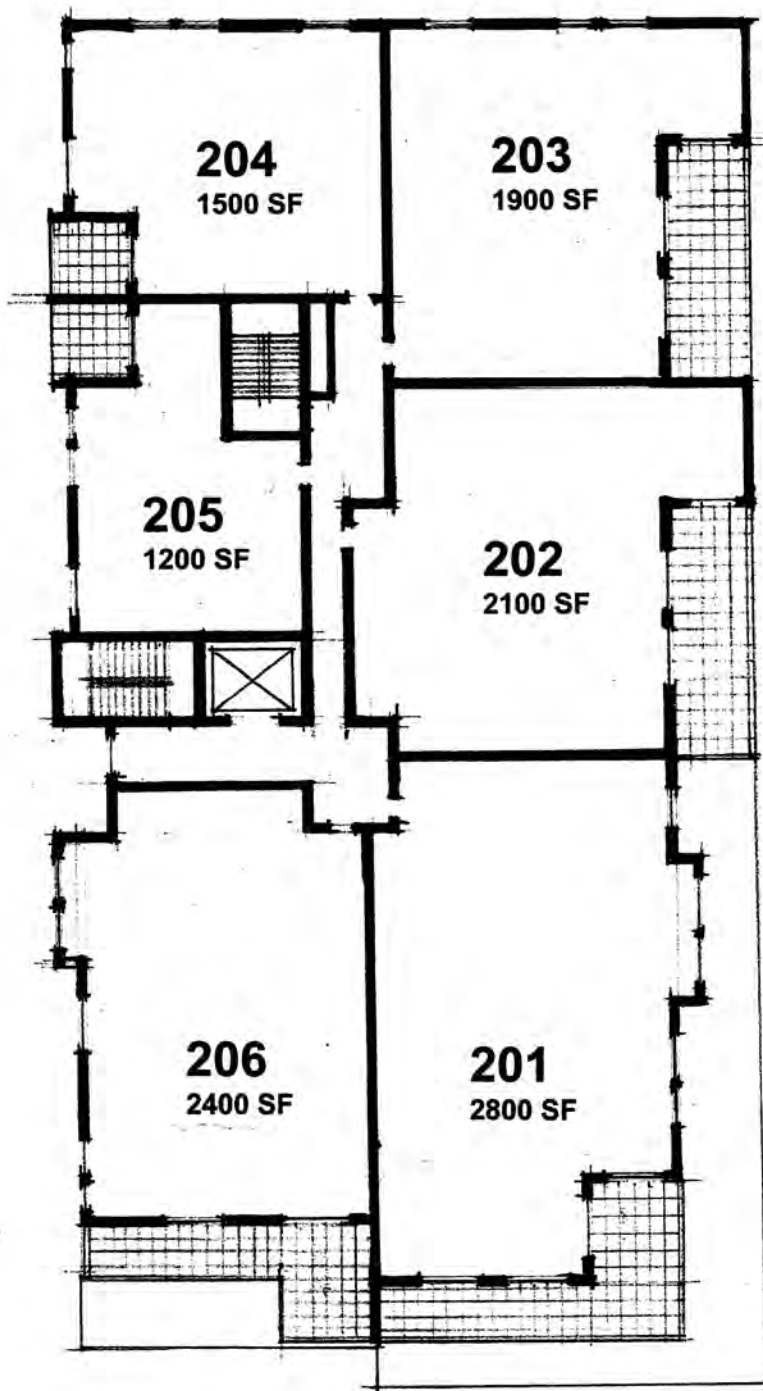
TRITON MANAGEMENT, LLC



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SECOND FLOOR

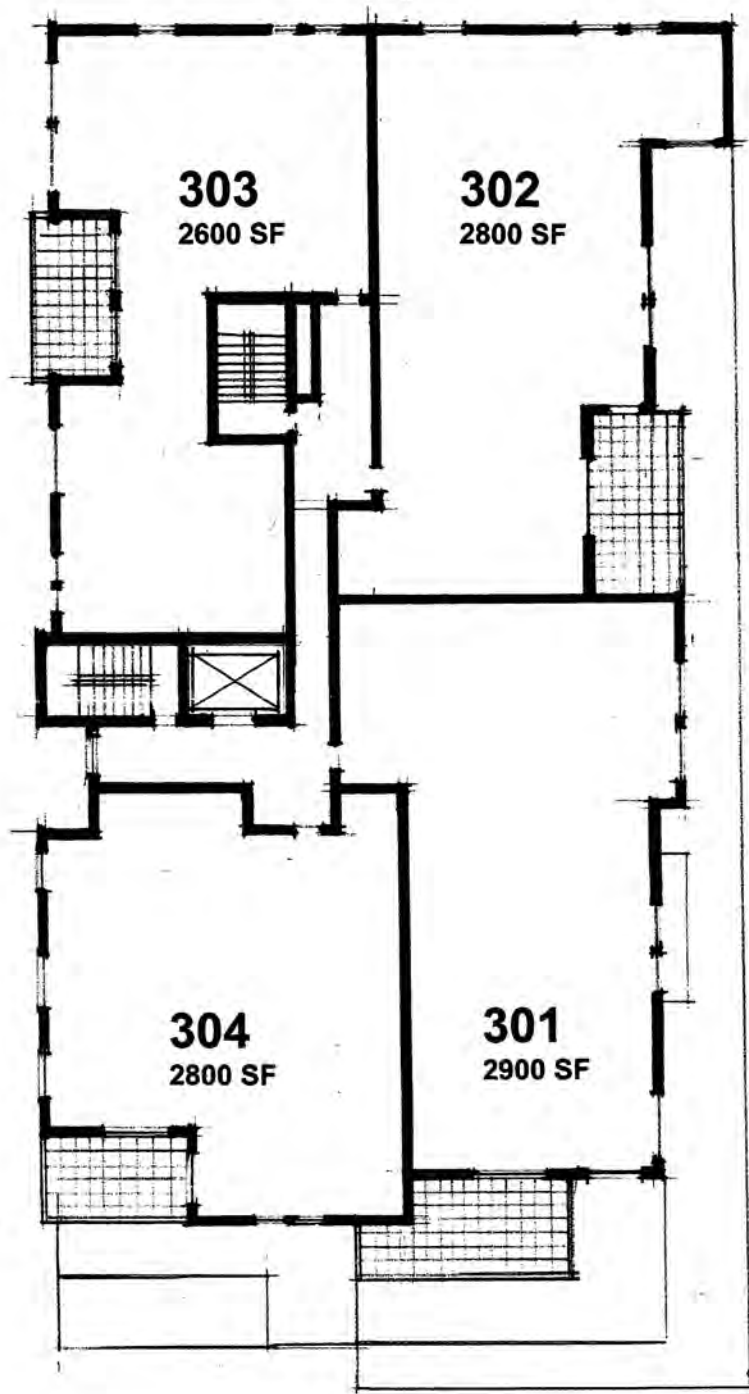
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THIRD FLOOR

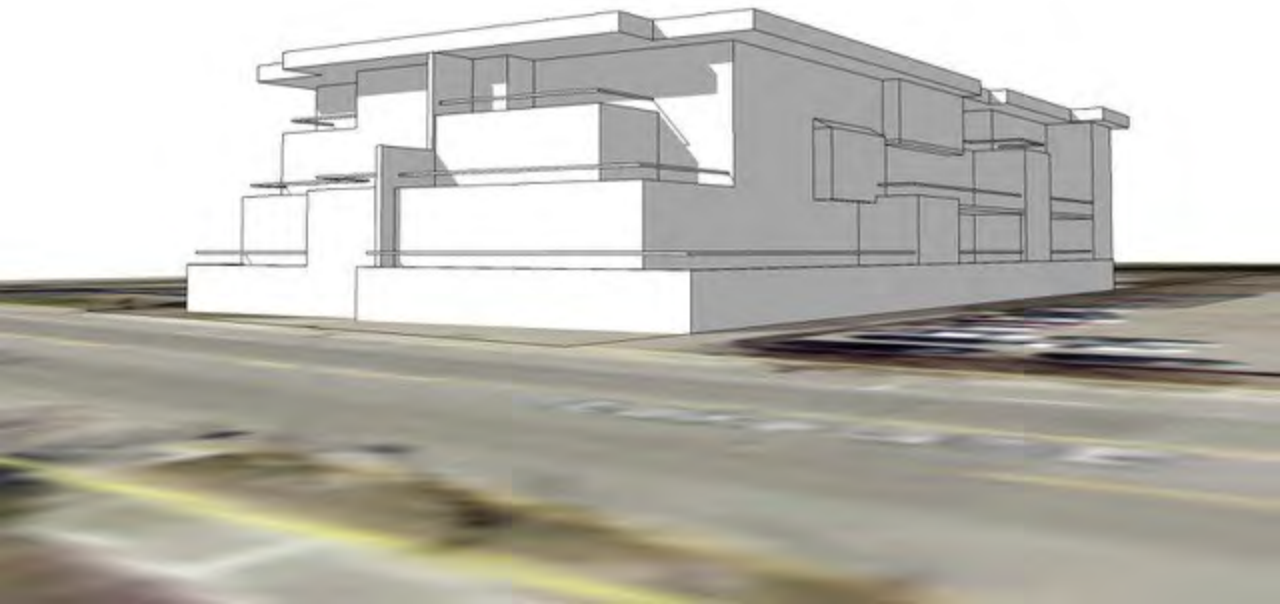
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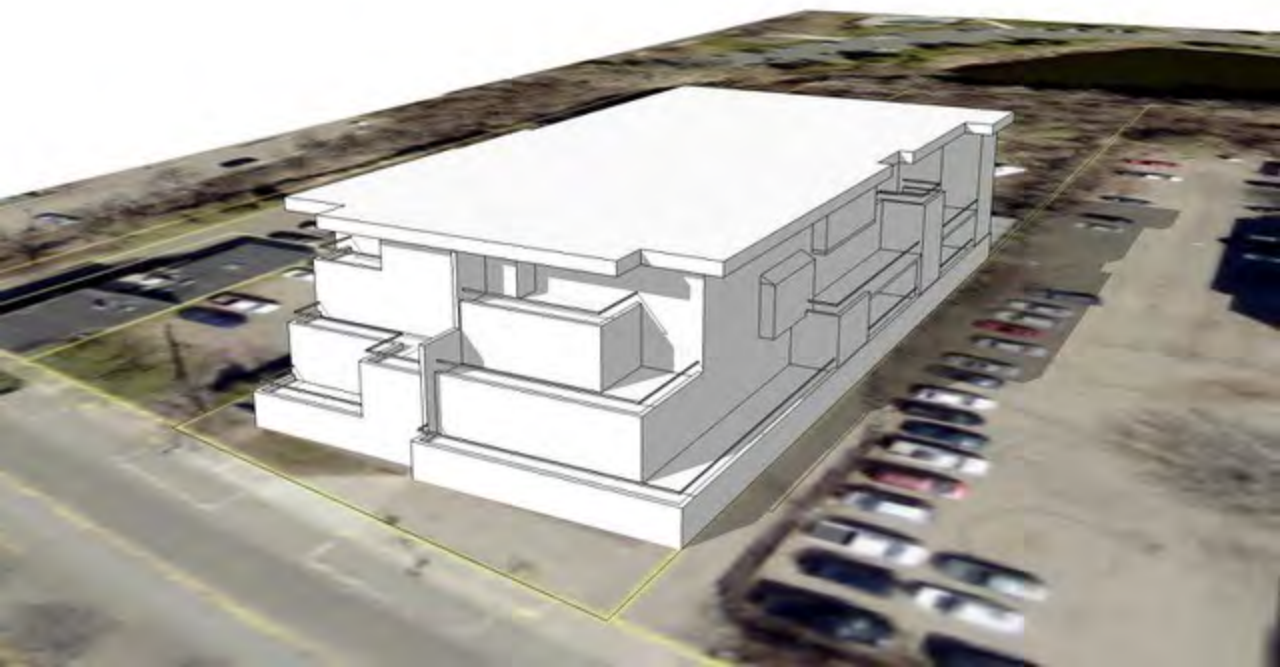
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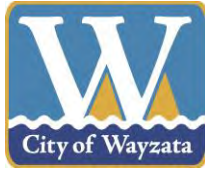












**Staff Report
August 20, 2018**

Project Name: 235 Lake St E
Applicant: Pat Hughes & Tom Dillon
Property Owner Melvin's 235, LLC
Addresses of Request: 235 and 239 Lake St E
Prepared by: Jeff Thomson, Director of Planning and Building
"60 Day" Deadline: October 31, 2018 (120 day extension)

Development Application

Introduction

The applicant, Pat Hughes and Tom Dillon, and the property owner, Melvin's 235, LLC, have submitted a development application to redevelop the properties at 235 and 239 Lake Street East. The applicant is proposing to demolish the existing office building and construct a three story, 37,879 square foot office building. The development application is the second phase for the PUD rezoning, and requests approval of the PUD general plan, design review, building height variance, and a conditional use permit/shoreland impact plan for the building height.

Background Information

Over the past year, the City has been considering redevelopment plans on Lake Street between Manitoba Ave and Ferndale Rd. The redevelopment plans include potential public parking that could be provided behind the buildings on the northwest corner of Lake Street and Barry Ave. This parking would serve the proposed development, the existing easement with the Boatworks property, and provide additional public parking for the downtown area. As each of the individual development projects has been reviewed by the City, the land behind 235, 239, 253 and 275 Lake Street has been reserved for a public parking option.

On February 20, 2018 the City Council approved the rezoning of the subject property from C-4A/Limited Central Business District to PUD/Planned Unit Development along with the PUD concept plan. The current application is similar to the approved concept plan, with the following modifications:

- The access drive has been moved from the west side of the building to the east, between 235 and 253 Lake Street East.
- The building has been increased in size from 35,181 to 37,879 square feet.
- The plans include a lower level parking garage that would include 29 enclosed parking stalls, and would increase the height of the building above the 35-foot height requirement.

Application Requests

As part of the submitted development application, the applicant is requesting approval of the following items:

- A. PUD General Plan of Development Review: A rezoning to PUD requires both concept and general plan of development review. The City Council approved the PUD concept plan of development in February 2018. The applicant is now requesting approval of the PUD general plan of development. (City Code Section 801.33.6)
- B. Design Review: Construction of a new commercial building requires design review. (City Code Section 801.09.1.5)
- C. Height Variance: The maximum building height in the PUD zoning district is 35 feet and 3 stories, whichever is less. The proposed building would be 3 stories in height, but would be 39.7 feet in height, which requires a variance.
- D. Shoreland Impact Plan/Conditional Use Permit for the building height: In addition to the PUD zoning district, the shoreland overlay district also includes a maximum height requirement of 35 feet. The shoreland ordinance states that building heights of over 35 feet may be allowed through approval of a shoreland impact plan/conditional use permit.

Property Information

The property identification number and owner of the property are as follows:

Address	PID	Owner
235 Lake St E	06-117-22-23-0010	Melvin's 235, LLC
235 Lake St E	06-117-22-23-0007	Melvin's 235, LLC
235 Lake St E	06-117-22-32-0003	Melvin's 235, LLC
239 Lake St E	06-117-22-23-0014	Melvin's 235, LLC

The current zoning and comprehensive plan land use designations for the property are as follows:

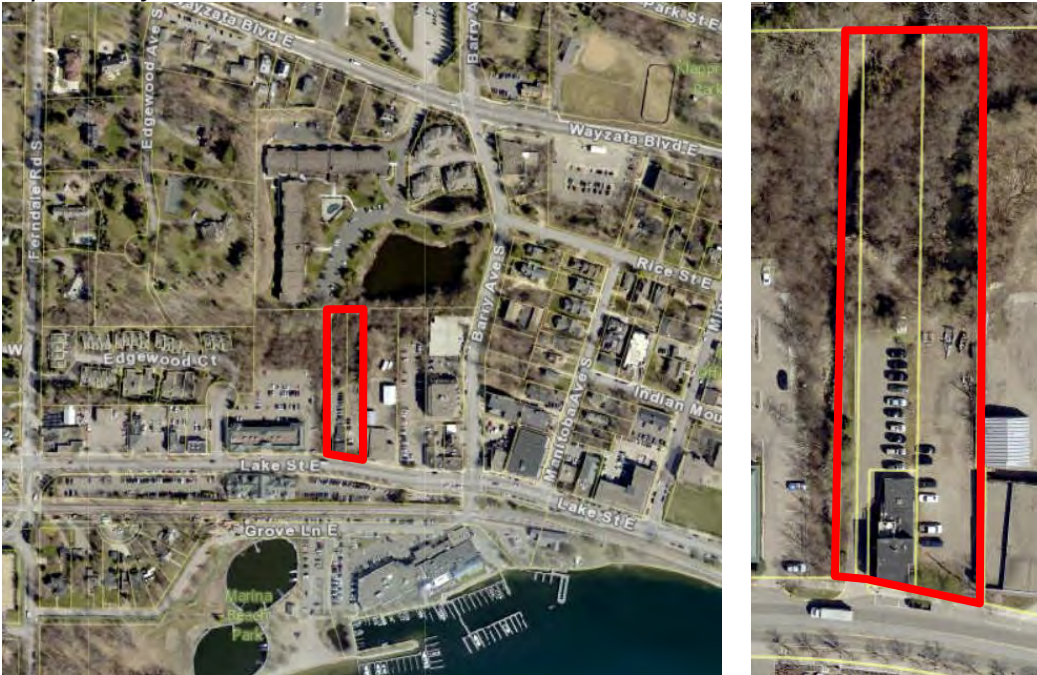
Current zoning:	PUD/Planned Unit Development District
Comp Plan designation:	Central Business District

Overlay districts:	S/Shoreland Overlay District W/Wetland Overlay District
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Project Location

The property is located on the north side of Lake Street, between Barry Avenue and Edgewood Court:

Map 1: Project Location



Adjacent Land Uses

The following table outlines the uses, zoning, and Comprehensive Plan land use designations for adjacent properties:

Direction	Adjacent Use	Zoning	Comp Plan Land Use Designation
North	Wayzata Villa Condominiums	R-5/Average Density Multiple Residential District	High Density Multiple Family
East	Ventana Condos development site	PUD/Planned Unit Development	Central Business District
South	Lake Street	N/A	N/A
	TCF Office Building	PUD/Planned Unit Development	Central Business District
West	Coldwell Banker Burnet Building	C-4A/Limited Central Business District	Central Business District

Map 2: Adjacent Land Uses

Zoning



Comp Plan Land Use Designation



Public Hearing Notice

The public hearing notice was published in the *Lakeshore Weekly News* on August 9, 2018. The public hearing notice was also mailed to all property owners located within 350 feet of the subject property on August 7, 2018.

Project Overview

The development application includes demolition of the existing office building and construction of a new three-story, 37,879 square foot office building. The off-street parking for the building would be provided by a shared surface parking lot on the back of the property. The parking lot would utilize the land given to the City as part of the 253 Lake St E project. Access to the shared parking lot would be provided from Lake St by a new two-way drive aisle on the east side of the site.

Planned Unit Development Process

The planned unit development zoning district is unique compared to a standard zoning district in that the development plans that are submitted with an application and approved by the City Council, are the regulating documents for the zoning of the property. Any future changes to the development must be consistent with the approved plans, or the property owner must apply to amend the PUD.

There is a two phase review of a PUD request. The first phase of PUD review is the concept plans, which provides an overview of the development and a general schematic design of the project, but does not include detailed engineering and architectural design of the buildings and site improvements. The intent of the concept plan is to review the general project characteristics such as consistency with the Comprehensive Plan, consistency with the purpose and intent of the PUD district, and compliance with the general standards outlined in the PUD zoning district. The second phase of a PUD review is the general plan, which is a more detailed review of the site and building design.

In this case, the PUD concept plan was approved on February 20, 2018 and the applicants are now requesting approval of the general plan. The City's previous approval of the rezoning and PUD concept plan does not bind the City to subsequent approval of the general plans.

Analysis of Application

City staff has reviewed the pertinent information and City Code requirements for the PUD concept plan, and provides the following analysis and information:

Comprehensive Plan

The Comprehensive Plan land use designation for the subject property is Central Business District. The Comprehensive Plan includes the following discussion for the Central Business District:

The Central Business District (CBD) includes the main thoroughfare of Lake Street and is generally referred to as downtown. The CBD continues to evolve into a diverse environment of retail stores, offices, restaurants, and residential land uses. This diversity is seen as healthy in that it attracts a wide variety of people into the downtown area at all times of the day. This diversity along with its proximity to Lake Minnetonka, make the CBD a destination place in the region.

Design Review

The project is subject to the design standards for the Lake Street district. A design review critique of the proposed plans is attached to this report. The proposed project does not meet several of the design standards, and the proposal requires the following design deviation:

- Lake Street Façade Transparency: The design standards state that at least 50% of the ground level façade on Lake Street must be transparent glass. The proposed plans include 36% transparent glass for the windows and doors along Lake Street, which requires a deviation.
- Exterior Building Materials: The design standards state that at least 90% of the non-glass surfaces of each elevation must be composed of brick, stone, cast stone, wood, or stucco. The proposed plans meet the material requirements for the south/Lake Street and east elevations, but the use and amount of fiber cement

board on the west and north sides of the building exceeds 10% and requires a design deviation.

- Lake Street Sidewalk and Streetscaping: The design standards state that continuous sidewalks at least 12 feet in width must be provided along Lake Street. The proposed plans include only a 6-foot sidewalk on Lake Street. In addition, the design standards include required streetscaping elements including lighting benches, and boulevard trees that are not included in the proposed plans.
- Building Lighting: The design standards state that all building façade lighting must be projected downwards. The proposed plans include up/down lighting fixtures on the east, south, and west elevations, which requires a deviation.

Zoning

The property is currently zoned PUD/Planned Unit Development and is located within the shoreland and wetland overlay districts. The following table outlines the zoning standards for the PUD and shoreland overlay districts:

	PUD Zoning	Shoreland Overlay District	Proposed PUD
Height (max.)	3 stories and 35 feet, whichever is less	35 feet	3 stories 39.7 feet
Floor Area Ratio (max.)	None	None	0.92
Impervious Surface (max.)	None	25% 75% with stormwater management 100% with shoreland impact plan/CUP	TBD (Final impervious surface coverage is dependent on design of public parking area)
Property Line Setbacks (min.)	None	None	North: 250+ ft. East: 28.5 ft. South: 8 ft. West 10 ft.
Lot Requirements (min.)	None	Same as underlying zoning district	54,909 sq ft

Building Height

Per the zoning ordinance, the building height is measured from the average grade along the building footprint to the top of the parapet/coping of a flat roof. The proposed building would be three stories with an overall height of 39.7 feet, as measured from grade to the top of the parapet/coping. The proposed building also includes a basement level for underground parking, which would extend 6.3 feet above average grade level because of the high water table on the site. The zoning ordinance states that a basement level can extend up to 6 feet above grade before it is considered an additional story. Therefore, as defined by the zoning ordinance, the proposed building is 3 stories with a basement level.

Section 801.33.2 A. of the zoning ordinance stipulates the maximum height in the PUD district is 35 feet or 3 stories, whichever is less, and Section 801.91.10 of the zoning ordinance stipulates structure height in the Shoreland overlay district as follows:

The minimum building structure height for either lake classification shall follow the Individual district requirements of the base zoning districts but shall not exceed 35 feet. Building heights of over 35 feet may be allowed through approval of a shoreland impact plan/conditional use permit as regulated under Section 801.91.19 of this Ordinance.

Therefore the proposed building height of 39.7 requires a variance and a conditional use permit/shoreland impact plan.

Parking

The City's parking ordinance establishes the minimum number of parking stalls that must be provided in a development. For an office development, the parking ordinance requires a minimum of 3 spaces for each 1,000 sq. ft. of floor area. The proposed building consists of 37,879 sq. ft. of gross floor area (subtracting the parking level), which requires 102 parking spaces. The proposed building includes 29 enclosed parking spaces within the underground garage, the balance of the parking would be provided in the surface parking lot to the north of the building, which is shared with the public parking behind the building.

The proposed plans include a conceptual layout for the shared public parking area behind the building. The conceptual plans include 33 surface parking spaces on the 235/239 Lake St. E site and 38 on the 253 Lake St. E site, for a total of 71 stalls, but the plans do not include a connection to the parking area behind Wayzata Blu. The City has prepared a concept plan based on the previous sites plans which indicates that 137 parking stalls could be constructed as part of a phase one project.

Bicycle parking is provided at the rear entrance of the building, adjacent to the parking lot.

Site Access and Circulation

The proposed PUD general development plan shows a 24' wide two-way access drive from Lake St to the shared parking area (with 253 Lake St. E) at the rear of the building. Access to the underground parking garage would be provided at the north end of the building from the shared parking area. As part of the project, the applicant is proposing a pedestrian access along the west side of the property which would connect Lake Street to a side entrance to the building.

Subdivision

The proposed plans do not include a preliminary and final plat to combine the parcels and subdivide into the parcel for the development and the public parking. The applicant would be required to submit a future development application for the preliminary and final plat subdivision.

Action Steps

After considering the items outlined in this report and the public hearing held at the meeting, the Planning Commission should direct staff to prepare a *Planning Commission Report and Recommendation*, with appropriate findings, reflecting a recommendation on the application for review and adoption at the next Planning Commission meeting.

Attachments

Applicant's Narrative

PUD General Plans

Design Critique

Approved PUD Concept Plans

Concept Parking Plan prepared by City

Applicable Code Provisions for Review

Comprehensive Plan

The Comprehensive Plan land use designation for the subject property is Central Business District. The objective of the Central Business District land use category is to promote a diversity of retail, office, service, and residential land uses at a high level of development quality to enhance it as a regional destination. The Comprehensive Plan includes the follow “1st Tier” priorities for the Central Business District:

- Allow a mix of commercial, office, and residential uses that strengthen the CBD as the shopping, employment, and entertainment destination of Wayzata.
- Update development standards continually to assure the highest development quality possible for the Central Business District.
- Complement the CBD and its strong sense of place through land use choices, urban design principles, traffic, parking, and architectural style.
- Investigate strategies to increase retail vitality throughout the CBD.
- Define and evaluate on-street/off-street parking needs consistent with land use, and requirements within the CBD so as to emphasize circulation ease and access control.
- Continue to provide a safe, comfortable, and attractive pedestrian scale environment through the enhancement of the pedestrian circulation system by improving sidewalks, walkways and street furniture; mitigating conflicts with traffic and street intersections, and by providing proper demarcation and sign control.
- Enhance the image and identity of the CBD by emphasizing street trees and landscaping elements.
- Plan for an orderly transition between the CBD development and adjacent residential neighborhoods.
- Accommodate traffic without negatively compromising the integrity of the downtown and its adjacent neighborhoods.
- Consider complementing abutting edges, both residential and retail/commercial.
- Consider public financial support that is fiscally responsible and provides value to the City's infrastructure and community systems.
- Consider ways to assist with redevelopment when properties become a liability to the community.

- Commercial buildings on Lake Street, west of Barry Avenue, should not be required to have a first floor retail use, although it is allowed and encouraged. Transparency requirements under the Lake Street District of the Design Standards remain in effect.
- Identify ecological and water quality impacts on the lake and other water bodies caused by proposed land use developments, for example stormwater runoff, and work to mitigate these impacts.

In addition, the Comprehensive Plan includes the following “2nd Tier” priorities:

- Plan development of parking so that it is not a focal point but rather placed behind buildings with appropriate buffers and landscaping.
- Adjust City’s Zoning Ordinance to address concerns of sun-orientation on southern side of Lake Street by requiring upper story setbacks for all new construction to avoid shading the north side of Lake Street.
- Continue to evaluate ways to encourage a variety of housing options for upper-story housing.
- Consider 3rd story’ uses with appropriate considerations for design and scale. Commercial and residential uses are allowed as a third story, but the third story must be set back significantly more from the front facade of the floor below.

Purpose of PUDs: Section 801.33 of the Zoning Ordinance provides for the establishment of Planned Unit Developments to allow greater flexibility in the development of neighborhoods and/or non-residential areas by incorporating design modifications as part of a PUD conditional use permit or a mixture of uses when applied to a PUD District. The PUD process, by allowing deviation from the strict provisions of the Zoning Ordinance related to setbacks, lot area, width and depth, yards, etc., is intended to encourage:

- A. Innovations in development to the end that the growing demands for all styles of economic expansion may be met by greater variety in type, design, and placement of structures and by the conservation and more efficient use of land in such developments.
- B. Higher standards of site and building design through the use of trained and experienced land planners, architects, landscape architects, and engineers.
- C. More convenience in location and design of development and service facilities.
- D. The preservation and enhancement of desirable site characteristics such as natural topography and geologic features and the prevention of soil erosion.

- E. A creative use of land and related physical development which allows a phased and orderly development and use pattern.
- F. An efficient use of land resulting in smaller networks of utilities and streets thereby lower development costs and public investments.
- G. A development pattern in harmony with the objectives of the Wayzata Comprehensive Plan. (PUD is not intended as a means to vary applicable planning and zoning principles.)
- H. A more desirable and creative environment than might be possible through the strict application on zoning and subdivision regulations of the City.

PUD General Standards. Section 801.33.2.A sets forth the general standards for review of a PUD application. These are:

- A. Health Safety and Welfare. In reviewing the PUD application, the Council shall evaluate the effects of the proposed project upon the health, safety and welfare of residents of the community and the surrounding area.
- B. Intent and Purpose of PUDs. In reviewing the PUD application, the Council shall evaluate the project's conformance with the overall intent and purpose of Section 33 of the Zoning Ordinance.
- C. Ownership. Applicant/s must own all of the property to be included in the PUD.
- D. Comprehensive Plan. The PUD project must be consistent with the City's Comprehensive Plan.
- E. Sanitary Sewer Plan. The PUD project must be consistent with the City's Sanitary Sewer Plan.
- F. Common Space. The PUD project must provide common private or public open space and facilities at least sufficient enough to meet the minimum requirements established in the Comprehensive Plan, and contain provisions to assure the continued operation and maintenance of such.
- G. Density. The PUD project must meet the density standards agreed upon by the applicant and City, which must be consistent with the Comprehensive Plan.
- H. Utilities. All utilities associated with the PUD must be installed underground and meet the utility connection requirements of Section 801.33.2.A.10.
- I. Roadways. All roadways associated with the PUD must conform to the Design Standards and Wayzata Subdivision Regulations, unless otherwise approved by City Council.

- J. Landscaping. All landscaping associated with the PUD must be according to a detailed plan approved by the City Council. In assessing the plan, the City Council shall consider the natural features of the particular site, the architectural characteristics of the proposed structure and the overall scheme of the PUD plan.
- K. Setbacks. The front, rear and side yard restrictions on the periphery of the PUD shall be the same as imposed in the respective districts.

Design Standards (City Code Section 801.09): The design standards set forth in Section 9 of the Wayzata City Zoning Ordinance are referred to collectively as the “Design Standards” or the “Standards”. The purpose of the Design Standards is to shape the City’s physical form and to promote the quality, character and compatibility of new development in the City. The Standards function to:

- A. To guide the expansion and renovation of existing structures and the construction of new buildings and parking, within the commercial districts of the City;
- B. To assist the City in reviewing development proposals;
- C. To improve the City’s public spaces including its streets, sidewalks, walkways, streetscape, and landscape treatments.

With the exception of Section 7 of the Design Standards, a deviation from any section of the Design Standards shall require a finding by the City Council (after considering the Planning Commission’s recommendation) that the negative impact of such deviation is outweighed by one or more of the following factors:

- 1. The extent to which the project advances specific policies and provisions of the City’s Comprehensive Plan.
- 2. The extent to which the deviation permits greater conformity with other Standards, policies behind the Standards, or with other Zoning Ordinance standards.
- 3. The positive effect of the project on the area in which the project is proposed.
- 4. The alleviation of an undue burden, taking into account current leasing, housing and commercial conditions.
- 5. The accommodation of future possible uses contemplated by the Design Standards, the Zoning Ordinance or the Comprehensive Plan.
- 6. A national, state or local historic designation.

7. The project is the remodeling of an existing building which largely otherwise conforms to the Design Standards.

Variance Standards: Section 801.05.1.C provides the criteria for reviewing variances from the zoning ordinance, which are as follows:

- A. Variances shall only be permitted when they are:
 - (i) in harmony with the general purposes and intent of this Ordinance; and
 - (ii) consistent with the Comprehensive Plan.
- B. Variances may be granted when the Applicant for the variance establishes that there are practical difficulties in complying with this Ordinance.
- C. "Practical difficulties," as used in connection with the granting of a variance, means that:
 - (i) the property owner's proposal for the property is reasonable but not permitted by this Ordinance;
 - (ii) the plight of the landowner is due to circumstances unique to the property, and not created by the landowner; and
 - (iii) the variance, if granted, will not alter the essential character of the locality.
- D. Economic considerations alone do not constitute practical difficulties. Practical difficulties include, but are not limited to, inadequate access to direct sunlight for solar energy systems.
- E. Variances shall be granted for earth sheltered construction as defined in Minnesota Statutes, section 216C.06, subdivision 14, when in harmony with this Ordinance.
- F. The City Council shall not permit as a variance any use that is not allowed under this Ordinance for property in the zoning district where the affected person's land is located, except the City Council may permit as a variance the temporary use of a one family dwelling as a two family dwelling.
- G. The City Council may impose conditions in the granting of variances. A condition must be directly related to and must bear a rough proportionality to the impact created by the variance.
- H. An application for a variance shall set forth reasons that the variance is justified under the criteria of this section in order to make reasonable use of the land, structure or building.

Conditional Use Permits: City Code Section 801.04.2.F. states that the Planning Commission and City Council shall consider possible adverse effects of the proposed conditional use. Their judgment shall be based upon (but not limited to) the following factors:

- A. The proposed action in relation to the specific policies and provisions of the official City Comprehensive Plan.
- B. The proposed use's compatibility with present and future uses of the area.
- C. The proposed use's conformity with all performance standards contained herein (i.e., parking, loading, noise, etc.).
- D. The proposed use's effect on the area in which it is proposed.
- E. The proposed use's impact upon property values in the area in which it is developed.
- F. Traffic generated by the proposed use is in relation to capabilities of streets serving the property.
- G. The proposed use's impact upon existing public services and facilities including parks, schools, streets and utilities, and the City's service capacity.

Shoreland Impact Plan/Conditional Use Permit: Section 801.91.19.A states that landowners or developers desiring to develop land or construct any dwelling or any other artificial obstruction on land located within any Shoreland District within the City of Wayzata shall first submit a conditional use permit application as regulated by Section 801.04 of this Ordinance and a plan of development, hereinafter referred to as "Shoreland Impact Plan", which shall set forth proposed provisions for sediment control, water management, maintenance of landscaped features, and any additional matters intended to set forth proposed changes requested by the applicant and affirmatively disclose what, if any, change will be made in the natural condition of the earth, including loss of change of earth ground cover, destruction of trees, grade courses and marshes. The plan shall minimize tree removal, ground cover change, loss of natural vegetation, and grade changes as much as possible, and shall affirmatively provide for the relocation or replanting of as many trees as possible which are proposed to be removed. The purpose of the shoreland impact plan shall be to eliminate and minimize as much as possible potential pollution, erosion and siltation.

Section 801.91.19.C states that all conditional use permits for consideration under the Shoreland District shall be subject to the following stipulations:

1. The projects shall be analyzed to determine the impact of impervious surfaces, storm water runoff, floodplain, and water quality implications. Only those projects shall be allowed where the adverse impacts have been mitigated through approved means to the extent possible.
2. Storm water treatment measures including, but not limited to, sediment basins (debris basins), desilting basins or silt traps, installation of debris guards, and

- microsilt basins on storm water inlets, oil skimming devices, etc. shall be required subject to the review of the City Engineer and the Minnehaha Creek Watershed District on projects where applicable.
3. Projects shall be analyzed in terms of provisions for maintenance and enhancement of landscape features, and change in the natural condition of the soil, trees, grade courses and marshes. The vegetative planting plan shall contain trees, when fully mature, that will exceed the building height. The plan shall also minimize tree removal, ground cover change, loss of natural vegetation, and grade changes as much as possible. It shall further provide for the relocation or replanting of trees which are proposed to be removed.
 4. Projects shall be analyzed in terms of the appearance of the structure when viewed from the lake's surface. Building materials, and color shall be analyzed to determine which facade and roof materials minimize the appearance and blend the structure into the shoreland and vegetation.
 5. Building heights shall be analyzed to determine the impact on surrounding structures and views from the lake surface or other shores. Structures shall not be allowed to exceed a height beyond that is allowed by the base zoning district or cannot be screened by landscaping or other design measures.
 6. Residential densities on a project basis shall not be allowed to exceed the maximum allowed density of the base zoning district for which the project is proposed. For higher density residential development and planned unit developments, the density shall not be allowed to exceed the density standards as specified in the R-5 District of this Ordinance.
 7. Lot coverage on a project basis shall be restricted to the provisions for maximum impervious surface coverage as provided for in this Ordinance.
 8. Overall residential densities in the shoreland area shall not exceed the surplus development capacity for residential density, as calculated for Lake Minnetonka, Gleason and Peavey Lakes, as specified in the Wayzata Comprehensive Plan/Shoreland Management Plan, as may be amended.
 9. Overall lot coverage in the shoreland area shall not exceed the surplus development capacity for impervious surface coverage calculated for Lake Minnetonka, Gleason and Peavey Lakes, as specified in the Wayzata Comprehensive Plan/Shoreland Management Plan, as may be amended.
 10. All projects shall be in conformance with the Stormwater Management Plan for the City of Wayzata, May 1988, as may be amended and/or approved by the City Engineer.

11. All projects shall be in conformance with the Wayzata Comprehensive Plan/Shoreland Management Plan, as may be amended.
12. All projects shall be subject to the review of the Minnehaha Creek Watershed District.

**GENERAL PLAN APPLICATION
235/239 LAKE STREET EAST, WAYZATA
Melvin's 235, LLC, Applicant**

July 3, 2018

NARRATIVE SUMMARY

Introduction:

The 235/239 Lake Street East property is planned to be developed into a three story multi-tenant office building. The current property consists of four tax parcels which will be combined into a single tax parcel for the development. The new office building is currently designed to contain 37,879 of gross leasable square feet of area. The building will contain approximately 28 lower level parking stalls as well as surface parking for tenants and/or visitors located on the north side of the property. We are requesting General Plan and Design Review approval by the City of Wayzata.

The 235/239 Lake Street East development is intended to serve the local multi-tenant office market. The property owner Melvin's 235, LLC is expected to lease a portion of the building for their own company use and offices. The balance of the office space will be leased to local general office space users.

The 235/239 Development team currently includes:

Developer/Owner
Melvin's 235, LLC – Pat Hughes Principal
235 Lake Street East
Wayzata, MN 55391

Project Manager
McSharry Real Estate, LLC – Tom Dillon
229 Minnetonka Avenue South, #52
Wayzata, MN 55391

Project Architect
Momentum Design Group – Craig Hartman
765 North Hampden Avenue, #180
St. Paul, MN 55114

Project Surveyor
Sathre-Bergquist, Inc. – Dave Pemberton
150 Broadway Avenue South
Wayzata, MN 55391

Civil Engineer
Rehder and Associates, Inc.
3440 Federal Drive, Suite #110
Eagan, MN. 55122

Application Request:

The 235 Lake Street General Plan application includes the following requests for approval:

- 1) Rezoning property from C-4A to Planned Unit Development (PUD), to allow for the development of a three story multi-tenant office building
- 2) Planned Unit Development (PUD) approval, to allow for the development of a three story multi-tenant office building
- 3) Variance from maximum building height from 35 feet to 39 feet 6 inches, due to the high level of ground water present on this site, will not allow for building the parking garage completely below grade
- 4) Shoreland Impact Plan/Conditional Use Permit (CUP) for height variance from 35 feet to 39 feet 6 inches, due to the high level of ground water present on this site, will not allow for building the parking garage completely below grade

Present Site Status:

The property has been owned by Melvin's 235, LLC for the past 13 years. There currently exists one two story office building on the property which was built in 1953. The property is currently zoned C-4A and we are requesting a PUD rezoning. An existing zoning summary of neighboring properties within 350-foot radius of 235/239 Lake Street East has been requested of the City of Wayzata.

Site Conditions:

The site is a flat site with a low-quality wetland located on the northern edge of the property. There are no other buildings, structures, significant trees or significant landscaping located on the site. Soil conditions are expected to be structurally unsuitable to support a new building and will need driven piles for foundation support. Ground water is expected to be found very near the surface of the site. Required utilities for the new office building are located in the Lake Street East right of way.

Building Plans:

The office building plans show the following gross floor sizes:

Parking Level	12,608 square feet of gross building area
First Floor	12,839 square feet of gross building area
Second Floor	12,975 square feet of gross building area
Third Floor	<u>12,065 square feet of gross building area</u>
Total GBA	50,488 square feet of gross building area

All building space is planned as general office space and approximately 29 parking stalls provided in the basement of the 235 building. The balance of required parking will be provided the on surface parking lot on the north side of building. The office building steps back from Lake Street on floor two by five feet and by an additional twelve feet on level three. The schematic building plans provide a building height of thirty-nine and one-half feet.

Statement of Area Use:

The surrounding properties on Lake Street East is mostly a combination of commercial and business uses. The planned redevelopments immediately to the east of the 235/239 property which would change uses from commercial use to high density residential use. Both the existing surrounding uses and the proposed future surrounding uses are compatible with the planned office building use at 235/239 Lake Street East.

Site:

First floor building setback from Lake Street is estimated at between five feet to ten feet based on the varying property line along Lake Street. The proposed development would require approximately 92 parking stalls including one loading stall at the rear of the building based on one stall per thousand square feet of leasable office space. Melvin's 235, LLC and the City of Wayzata are working on a mutually beneficial parking arrangement that would provide surface parking for the 235/239 building and City of Wayzata provide public parking during off peak business hours. This arrangement would involve a conveyance of a northern portion of Melvin's 235 land and northern portion of some of the 253 Lake Street land to create this City owned surface parking area.

Access to and from the 235/239 property to Lake Street will be located on the east side of the proposed 235 building and completely on 235/239 property. It is expected that a private/public parking lot use agreement will be formalized with the City prior to approval of the 235 Lake Street General Plan.

Site Tabulation:

Total Site Area:	56,954 square feet of land
First Floor	12,839 square feet of gross building area
Second Floor	12,975 square feet of gross building area
Third Floor	12,065 square feet of gross building area

Proposed FAR .61 FAR based on current site area

Project Schedule:	City Approvals	September 2018
	Construction Start	October 2018
	Construction Completion	August 2019
	Building Occupancy	September 2019

Public or Common Space:

There are several planned public or common spaces at the 235/239 Lake Street East property and include a planned driveway and walkway connecting the north surface parking lot and Lake Street East. The driveway and walkway are planned to be located on the 235/239 building and west of the 253 Lake Street East building property line.

Easements/Utilities:

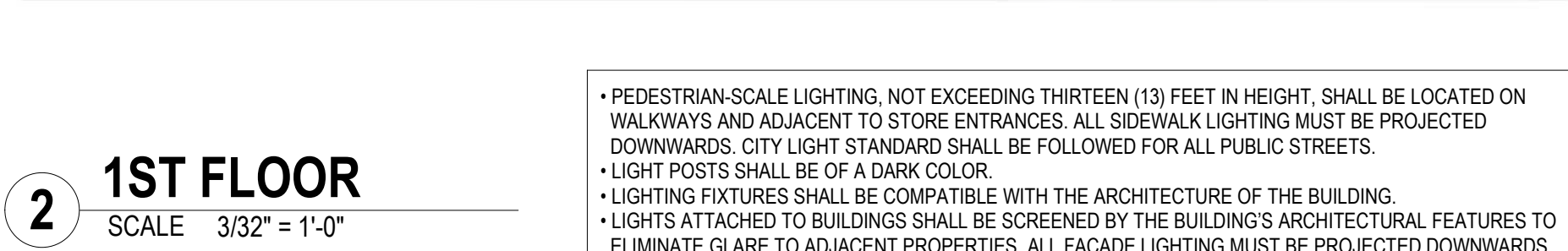
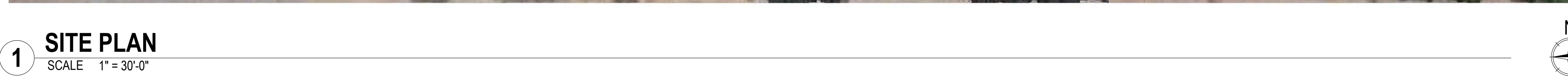
It is anticipated that Melvin's 235, LLC will have a shared driveway/access easement with the City of Wayzata and a parking easement with the City of Wayzata when the development is completed in 2019. Building required utilities are currently located in the right of way of Lake Street East and include sanitary sewer, watermain and storm sewer. All utilities are expected to be adequate to serve the needs of the new 235 office building.

Tax Increment Financing District (TIF):

Melvin's 235, LLC has been supportive of the City of Wayzata's effort to create a tax increment district in this area of Lake Street East. The proposed TIF district would include approximately 24 land parcels and would generate the ability for the City to invest in several meaningful infrastructure projects. Melvin's 235 LLC intends to apply for TIF financing through the City and be a supportive member of this TIF district for the benefit of the City.

Application Conclusion:

We are requesting favorable review and approval of this General Plan submittal and Design review.





1 EAST ELEVATION
SCALE 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE 1/8" = 1'-0"



3 NORTH ELEVATION
SCALE 1/8" = 1'-0"



4 WEST ELEVATION
SCALE 1/8" = 1'-0"



EXTERIOR RENDERING 1



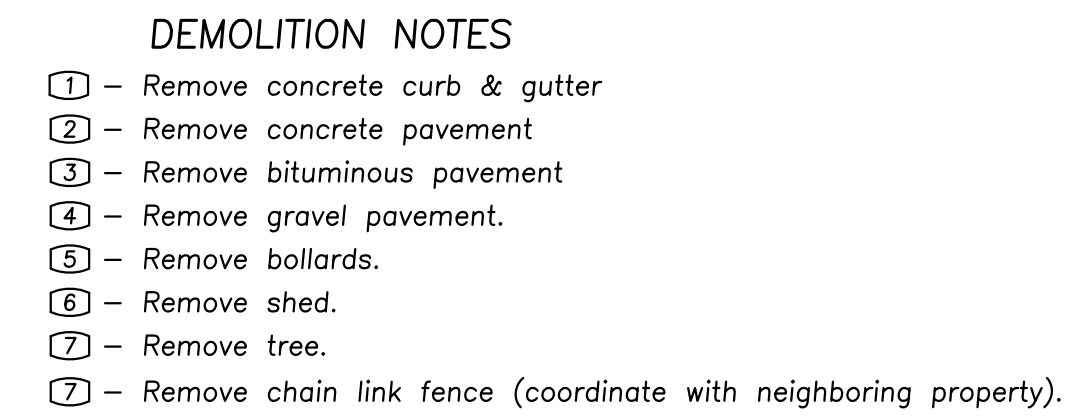
EXTERIOR RENDERING 2

235 Lake Street East Office Building
Wayzata, Minnesota

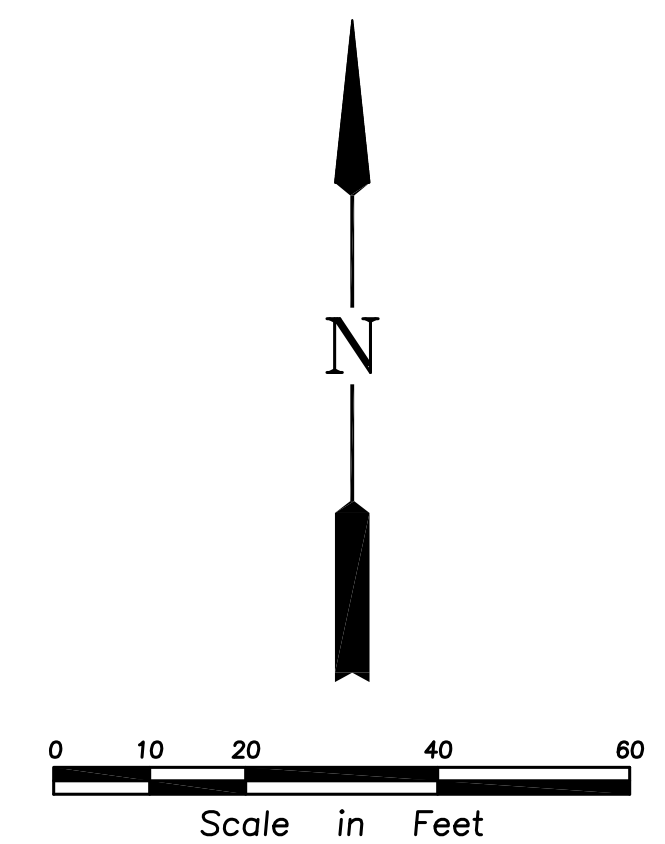
ALL ARCHITECTURAL AND ENGINEERING DRAWINGS ARE IN CONFIDENCE AND DISSEMINATION MAY NOT BE PERMITTED WITHOUT THE WRITTEN CONSENT OF MOMENTUM DESIGN GROUP. ANY REPRODUCTION, COPIING, OR OTHER USE OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF MOMENTUM DESIGN GROUP IS STRICTLY PROHIBITED. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE OR LOSS OF PROFITS, BUSINESS, OR REVENUE, OR FOR ANY SPECIAL, CONSEQUENTIAL, OR INCIDENTAL DAMAGES, EVEN IF ADVISED OF THE POSSIBILITY OF SUCH DAMAGE. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL FEES PAID TO THE ARCHITECT. THE ARCHITECT'S SUPERVISION AND THAT IT IS A LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
PRINT NAME: BRIAN GADIENT LICENSE #: 52490
DATE: 07/03/2018 SIGNATURE: _____

Date: 07/03/18
Project Architect: Checker
Project Number: 16009

EXTERIOR
RENDERINGS



NOTE: CONTRACTOR TO COORDINATE REMOVAL/ABANDONMENT AND RELOCATION OF EXISTING POWER POLES, OVERHEAD ELECTRIC LINES, BURIED ELECTRIC LINES, BURIED COMMUNICATION LINES AND BURIED GAS LINES WITH THE APPROPRAITE UTILITY COMPANY.



SHEET NUMBER

C1

I hereby certify that this plan was prepared by _____ Date _____
me or under my direct supervision and was _____ Reg. No. _____
by a duly Licensed Professional Engineer under _____
the laws of the State of Minnesota.

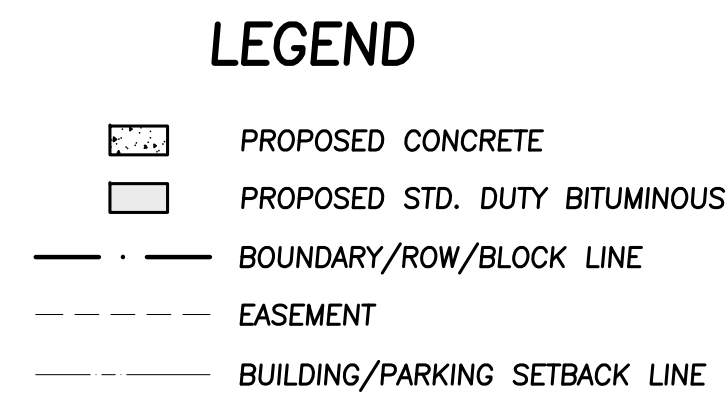
PRELIMINARY

Name _____

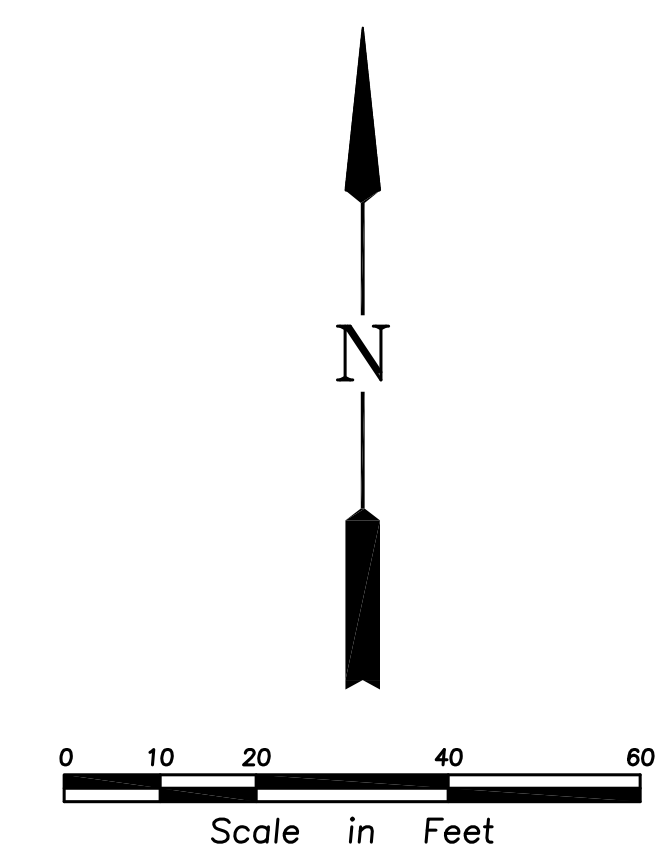
[illegible]

Rehder & Associates, Inc.
Civil Engineers, Planners and Land Surveyors
 3440 Federal Drive, Suite 110 • Eagan, Minnesota 55122
 651-452-5051 • Fax: 651-452-3797 • email: info@rehder.com

PROJECT NO.: 181—2807.013 DRAWING FILE: 2807013.DWG



- ① - All dimensions between curbing and to radius points are to face of curb.
- ② - All dimensions abutting curbs are to back of curb.
- ③ - All curb and gutter on private property shall be type B612 unless otherwise noted.
- ④ - All parking stall striping width is 9.00' unless otherwise noted.



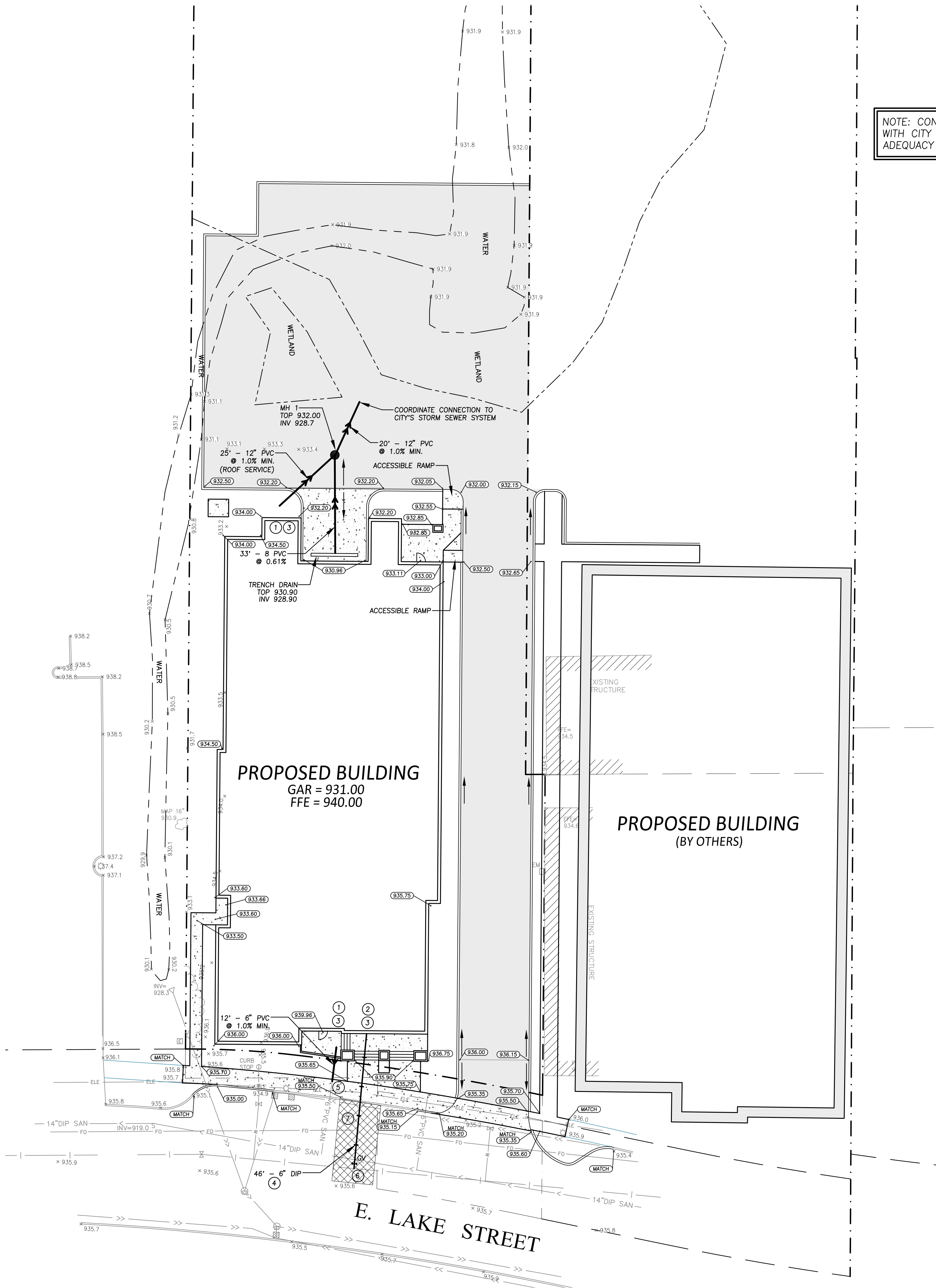
SHEET NUMBER

C2

I hereby certify that this plan was prepared by _____ Date _____
me or under my direct supervision and that _____ Reg. No. _____
I am a duly Licensed Professional Engineer under _____
the laws of the State of Minnesota _____

PRELIMINARY

Rehder & Associates, Inc.
Civil Engineers, Planners and Land Surveyors
3440 Federal Drive, Suite 110 • Eagan, Minnesota, 55122
651-432-5051 • Fax: 651-432-9797 • email: info@rehder.com



NOTE: CONTRACTOR TO COORDINATE
WITH CITY THE SIZE AND
ADEQUACY OF SANITARY SERVICE.

GRADING NOTES

- 1 - All elevations shown are to final surfaces.
- 2 - Contractor is responsible for obtaining a National Pollutant Discharge Elimination System (NPDES) General Storm Water Permit for Construction Activity before construction begins.

EROSION CONTROL NOTES

- 1 - Contractor is responsible for all notifications and inspections required by General Storm Water Permit.
- 2 - All erosion control measures shown shall be installed prior to grading operations and maintained until all areas disturbed have been restored.
- 3 - Sweep paved public streets as necessary where construction sediment has been deposited.
- 4 - Each area disturbed by construction shall be restored per the specifications within 14 days after the construction activity in that portion of the site has temporarily or permanently ceased.
- 5 - Temporary soil stockpiles must have silt fence around them and cannot be placed in surface waters, including storm water conveyances such as curb and gutter systems, or conduits and ditches.
- 6 - Excess concrete/water from concrete trucks shall be disposed of in portable washout concrete basin or disposed of in a contained area.
- 7 - Spring/summer temporary turf establishment: seed shall be MNDOT Mixture 21-111 @ 100 lbs/acre and mulch shall be MNDOT Type 1.
Winter temporary turf establishment: seed shall be MNDOT Mixture 21-112 @ 100 lbs/acre and mulch shall be MNDOT Type 1.

INSPECTION AND MAINTENANCE

- The site must be inspected once every seven (7) days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours.
- All inspections and maintenance conducted must be recorded in writing and records retained with the SWPPP.
- Areas of the site that have undergone final stabilization, may have the inspection of these areas reduced to once per month.
- All silt fence must be repaired, replaced, or supplemented within 24 hours when they become nonfunctional or the sediment reaches 1/3 of the height of the fence.
- Surface waters and conveyance systems must be inspected for evidence of sediment being deposited. Removal and stabilization must take place within seven (7) days of discovery unless precluded by legal, regulatory, or physical access constraints.
- Construction site vehicle exit locations must have sediment removed from off-site paved surfaces within 24 hours of discovery.

POLLUTION PREVENTION MANAGEMENT

- All solid waste must be disposed of off-site per the MPCA disposal requirements.
- All hazardous waste must be properly stored with restricted access to storage areas to prevent vandalism. Storage and disposal of hazardous waste must be in compliance with MPCA Regulations.

UTILITY NOTES

- 1 - All sewer services to extend to a point 5' from proposed building.
- 2 - Bring water main into proposed building and cap at the floor.
- 3 - Verify all service locations and inverts with mechanical engineer before construction.
- 4 - All watermain to have a minimum of 7.5' of cover.
- 5 - Connect to existing sanitary sewer service.
- 6 - Wet tap existing water main per City requirements.
- 7 - Repair street and curb/gutter matching existing pavement sections.

LEGEND

- PROPOSED CATCH BASIN/MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATERMAIN
- ▨ PROPOSED CONCRETE
- ▨ PROPOSED STD. DUTY BITUMINOUS
- PROPOSED CONTOUR
- PROPOSED ELEVATION
- SILT FENCE
- INLET PROTECTION DEVICE
- BOUNDARY/ROW/BLOCK LINE
- EASEMENT
- LOT LINE
- BUILDING/PARKING SETBACK LINE
- DRAINAGE ARROW
- W EXISTING WATERMAIN
- S EXISTING SANITARY SEWER
- ST EXISTING STORM SEWER
- G EXISTING BURIED GAS LINE
- E EXISTING BURIED ELECTRIC LINE
- C EXISTING BURIED COMMUNICATION LINE
- 980 EXISTING CONTOUR
- x 995.50 EXISTING ELEVATION

Issued

GENERAL PLAN OF DEVELOPMENT

GRADING, DRAINAGE, EROSION CONTROL
& UTILITY PLAN
235 E. LAKE STREET OFFICE BLDG
CITY OF WAYZATA

SHEET NUMBER

C3

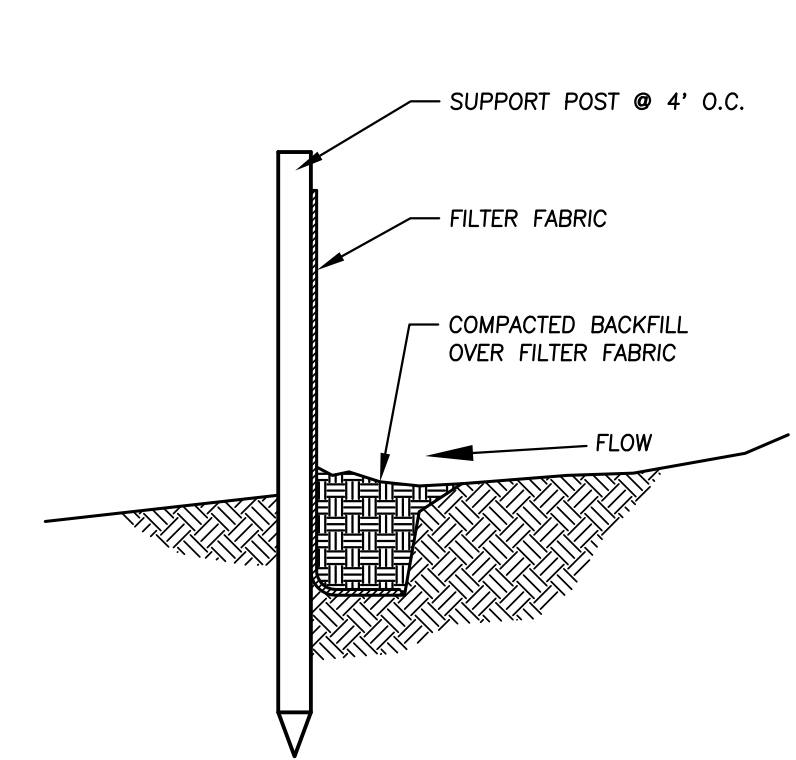
I hereby certify that this plan was prepared by
a duly Licensed Professional Engineer
under the laws of the State of Minnesota.

PRELIMINARY
Name _____ Date _____
Reg. No. _____

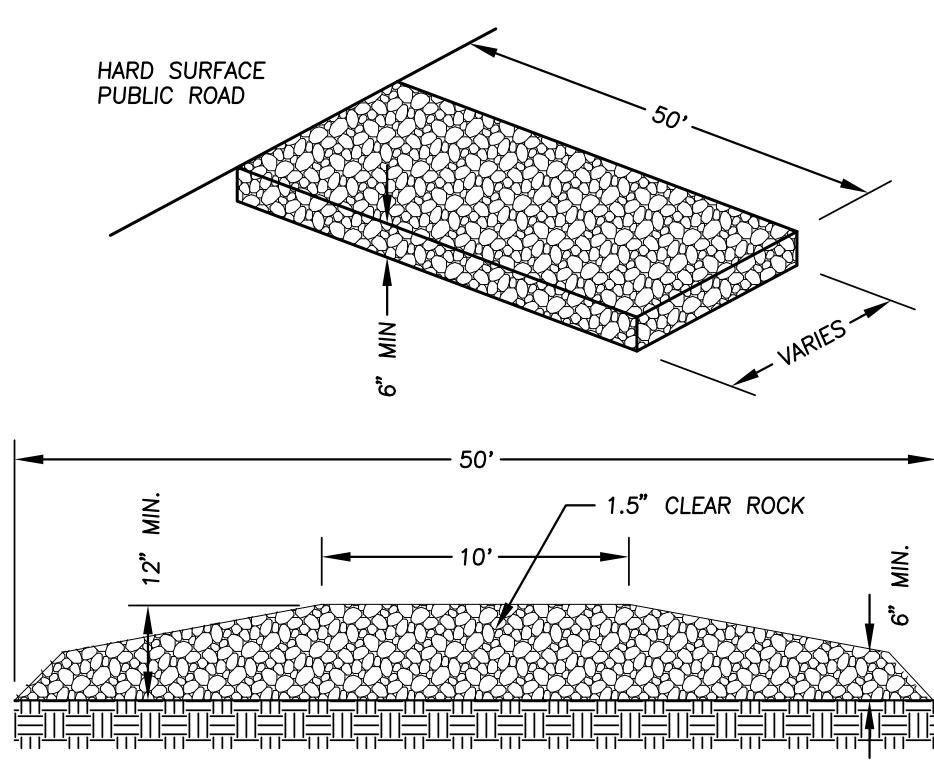
Rehder & Associates, Inc.

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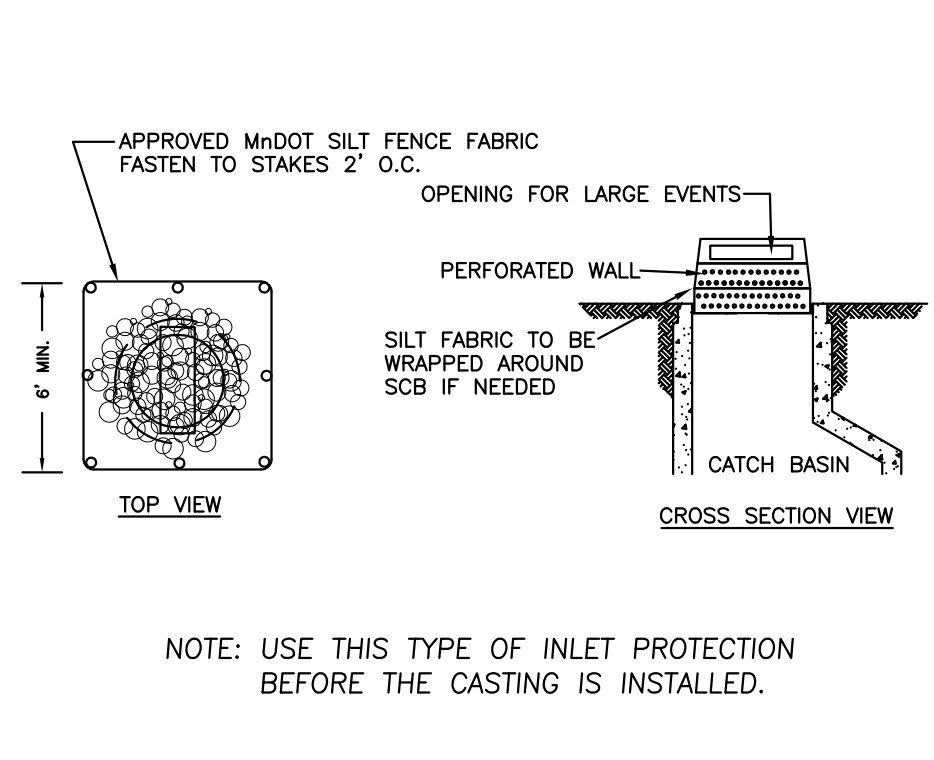
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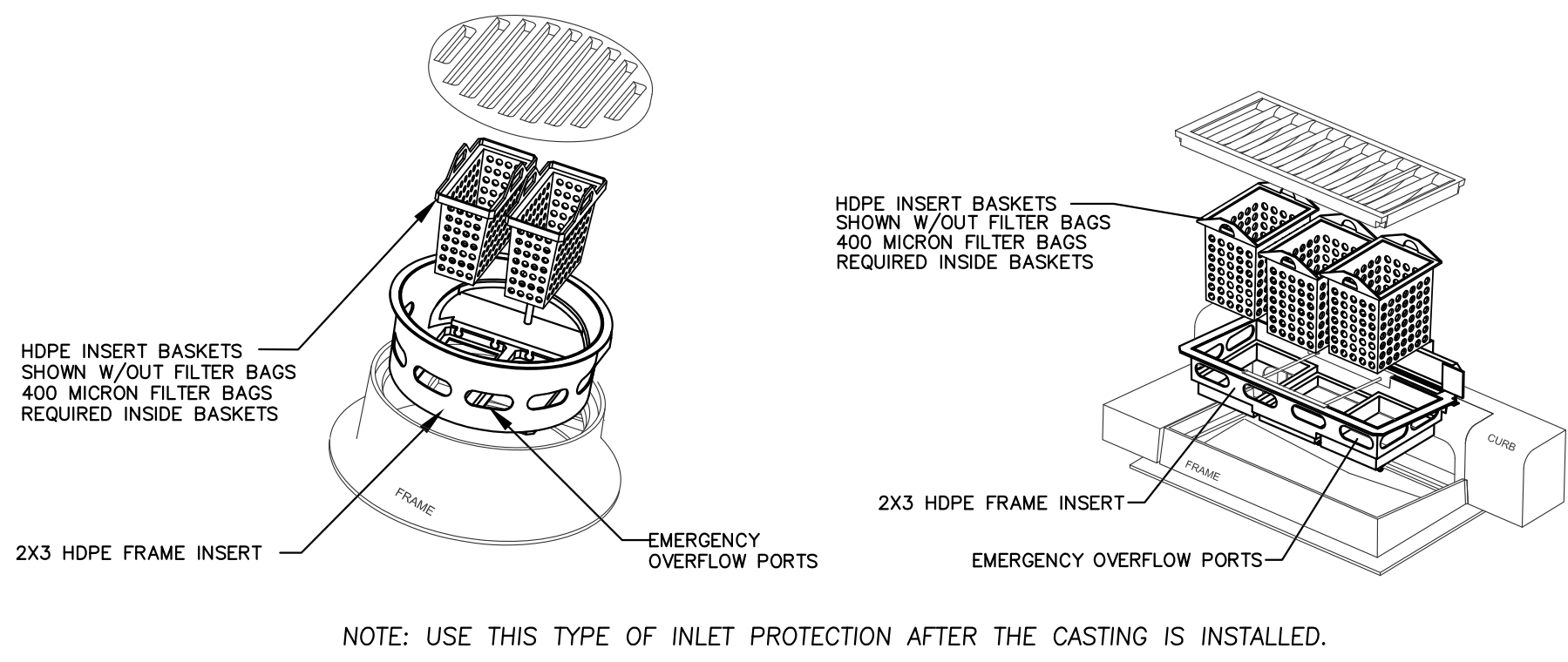
1
C4
SILT FENCE
NO SCALE



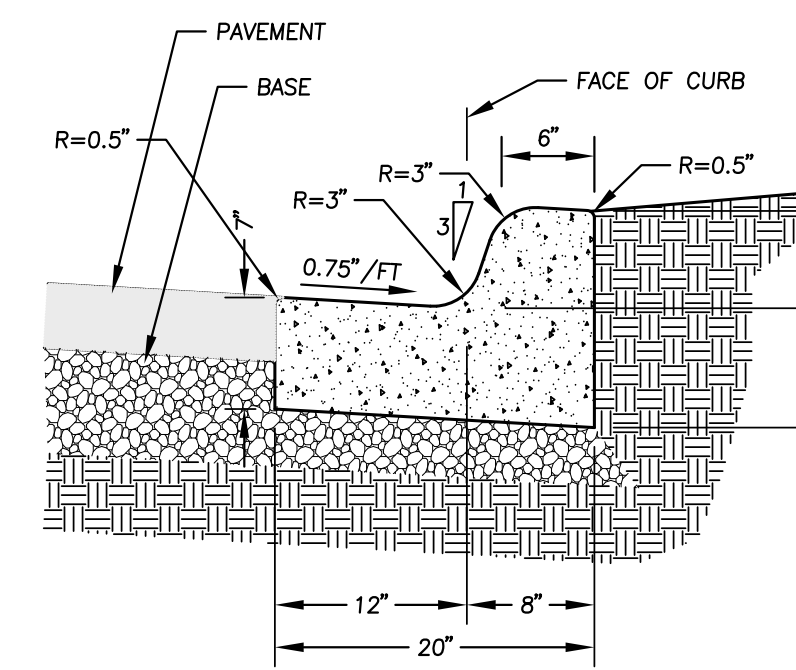
2
C4
ROCK CONSTRUCTION ENTRANCE
NO SCALE



3
C4
INLET PROTECTION
(INFRASAFE OR EQUAL)
NO SCALE

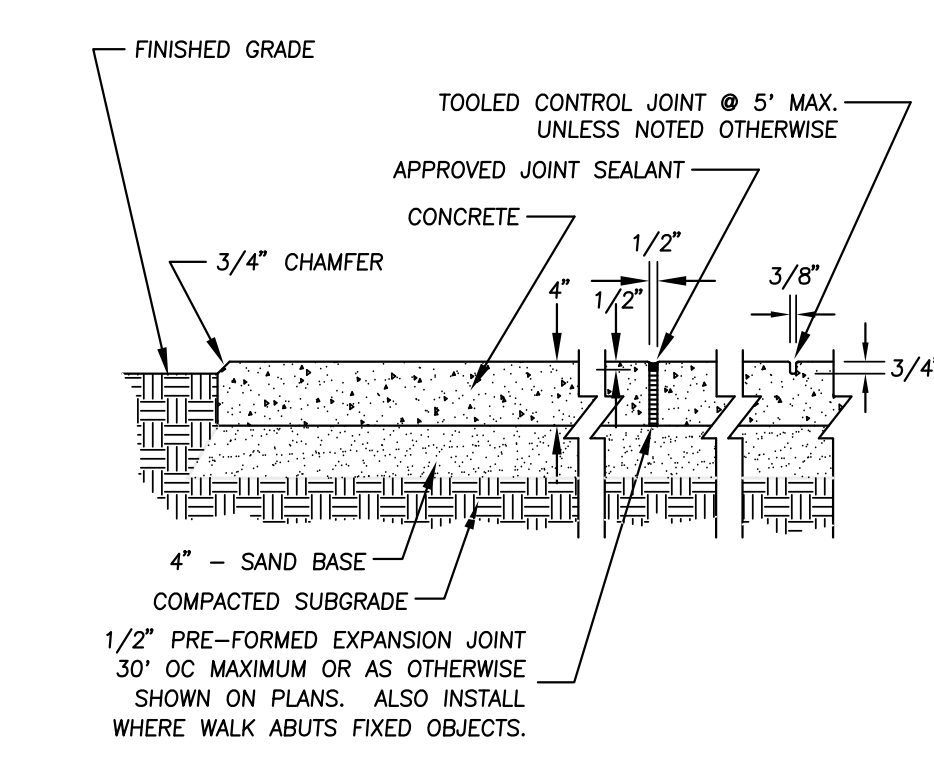


4
C4
INLET PROTECTION
(INFRASAFE OR EQUAL)
NO SCALE

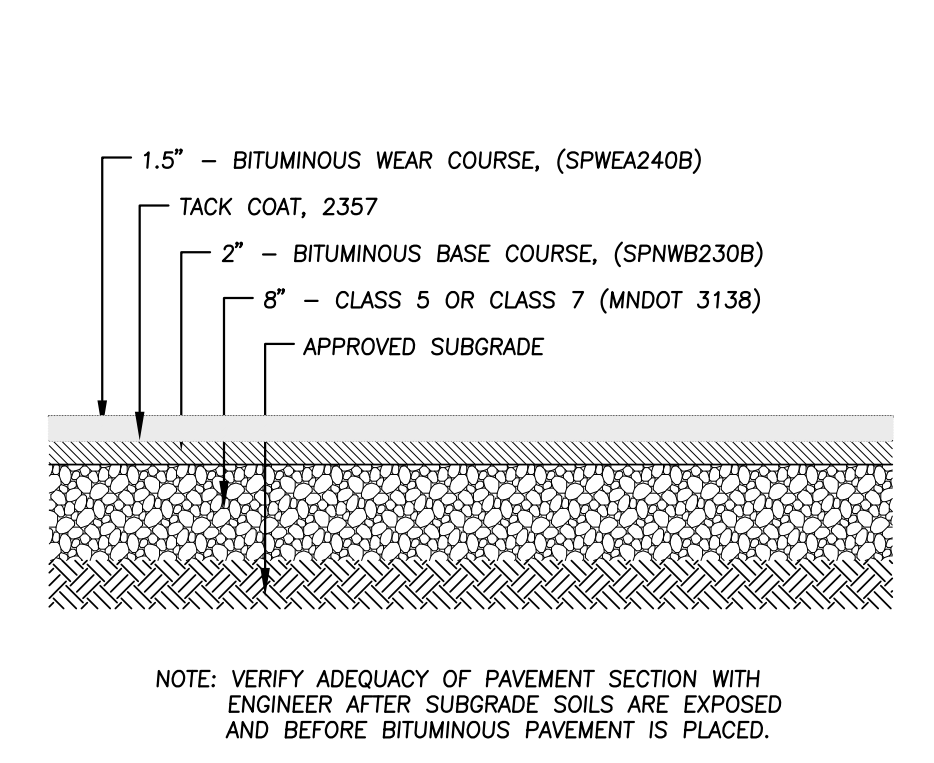


Note: Where contours indicate, ignore 0.75'/ft slope indicated above and match adjoining pavement slope to prevent gutter from "ponding".

5
C4
B612 CONCRETE CURB & GUTTER
NO SCALE



6
C4
CONCRETE SIDEWALK
NO SCALE



7
C4
STANDARD PAVEMENT SECTION
NO SCALE

DETAILS & SPECIFICATIONS
235 E. LAKE STREET OFFICE BLDG
CITY OF WAYZATA

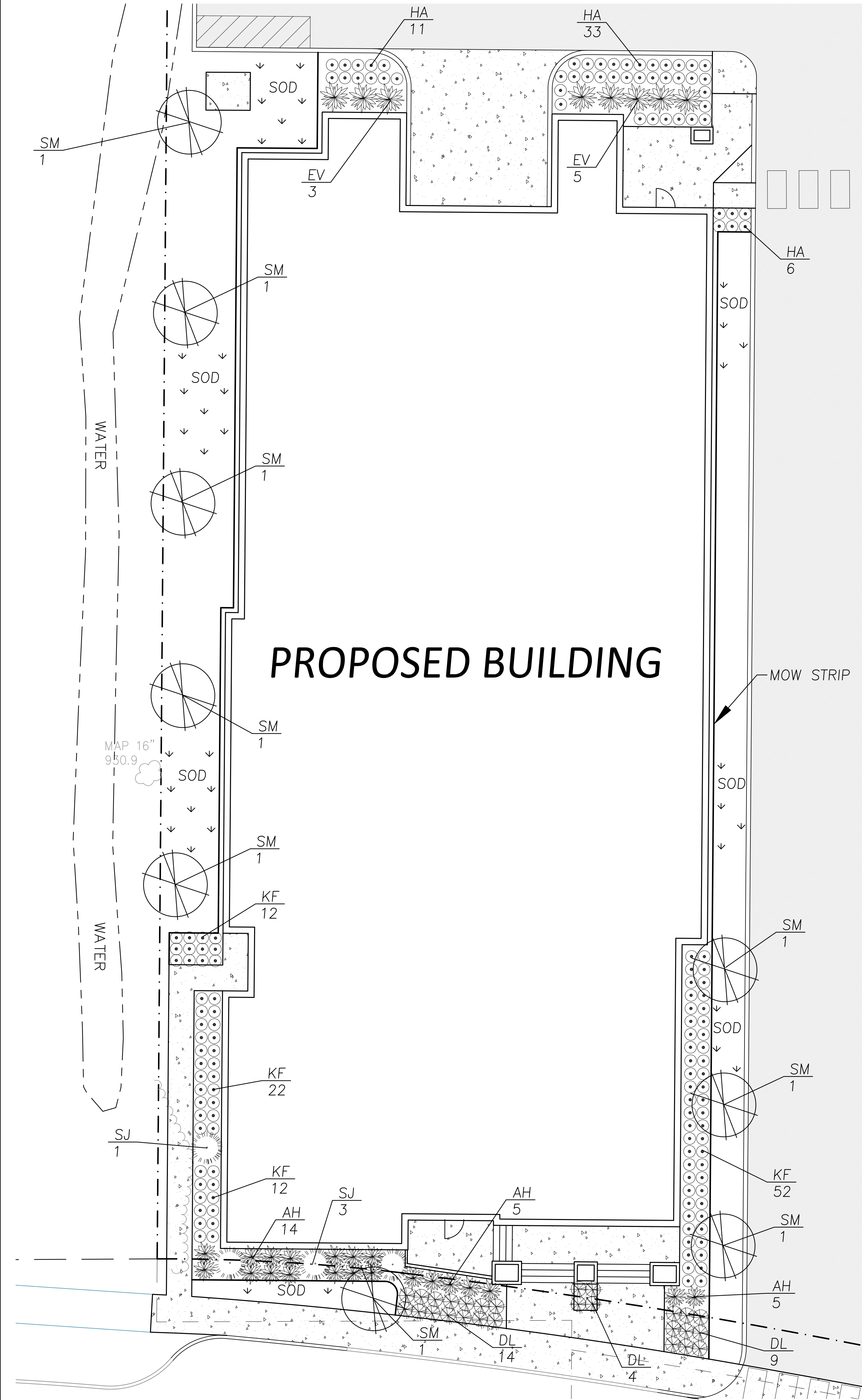
SHEET NUMBER
C4

Issued
GENERAL PLAN OF DEVELOPMENT

7-3-18

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
PRELIMINARY
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Reg. No. _____

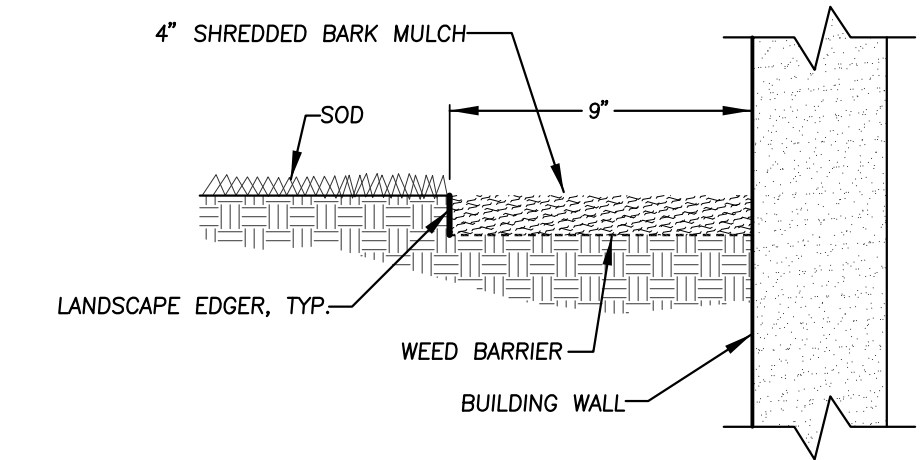
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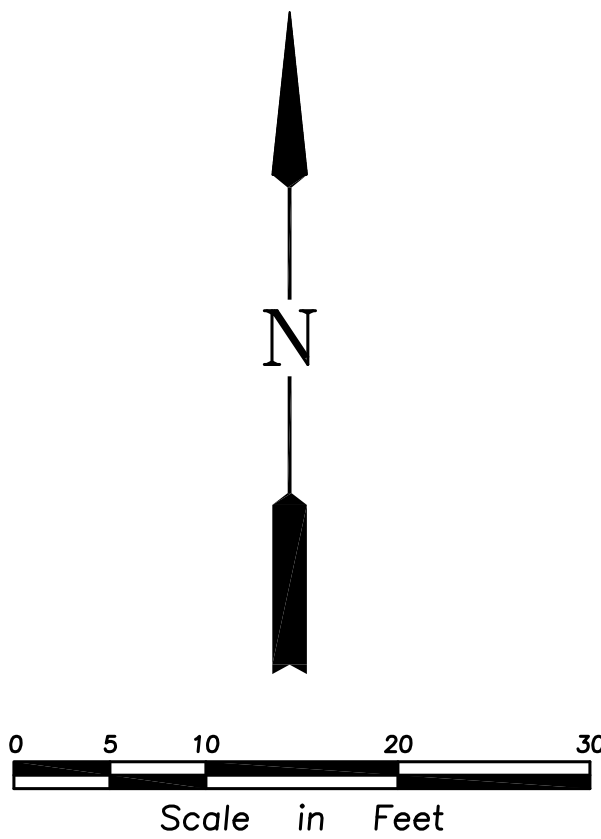
PLANT, SHRUB AND TREE LIST

PLANTS & SHRUBS				
SYMBOL	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE/ROOT
HA	50	Hosta	Hosta	#1 Pot
EV	8	Viburnum opulus 'Compactum'	Compact European Viburnum	#5 Pot
AH	21	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	#5 Pot
DL	27	Hemerocallis 'Stella de Oro'	Stella de Oro Daylily	#1 Pot
KF	98	Calamagrostis acutiflora	Karl Foerster	#2 Pot
SJ	4	Juniperus chinensis 'Spartan'	Spartan Juniper	#7 Pot
TOTAL	208			

TREES				
SYMBOL	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE/ROOT
SM	9	Acer Saccharum 'Sugar Cone'	Sugar Cone Maple	2 - 1/2" B&B
TOTAL	9			



1
L1
MAINTENANCE STRIP @ BLDG EDGE
NO SCALE



LEGEND	
●	PROPOSED MANHOLE
■	PROPOSED CATCH BASIN
⬆	PROPOSED HYDRANT
⋈	PROPOSED GATE VALVE
◄	PROPOSED FLARED END
➡➡	PROPOSED STORM SEWER
➡➡	PROPOSED SANITARY SEWER
⬆➡	PROPOSED WATERMAIN
▤	PROPOSED CONCRETE
▥	PROPOSED STD. DUTY BITUMINOUS
▧	PROPOSED HEAVY DUTY BITUMINOUS
—1000—	PROPOSED CONTOUR
•1023.56•	PROPOSED ELEVATION
—	SILT FENCE
⊙	INLET PROTECTION DEVICE
— · — · —	CONSTRUCTION LIMITS
— · — · —	BOUNDARY/ROW/BLOCK LINE
- - - - -	EASEMENT
- - - - -	LOT LINE
- · - · -	BUILDING/PARKING SETBACK LINE
⊙	SOIL BORING
➡	DRAINAGE ARROW
—W—	EXISTING WATERMAIN
—S—	EXISTING SANITARY SEWER
—ST—	EXISTING STORM SEWER
—G—	EXISTING BURIED GAS LINE
—E—	EXISTING BURIED ELECTRIC LINE
—T—	EXISTING BURIED TELEPHONE LINE
—TV—	EXISTING BURIED TELEVISION LINE
—980—	EXISTING CONTOUR
x 995.50	EXISTING ELEVATION

Design Review Critique

235 & 239 Lake Street E.

August 20, 2018

The Design Review Critique is based on the following plans submitted by the applicant:

1. Site Plan/First Floor Plan prepared by Momentum Design Group and dated July 3, 2018
2. Floor Plans prepared by Momentum Design Group and dated July 3, 2018
3. Exterior Elevations prepared by Momentum Design Group and dated July 3, 2018
4. Exterior Renderings prepared by Momentum Design Group and dated July 3, 2018
5. Site Dimension Plan prepared by Rehder & Associates Inc. and dated July 3, 2018
6. Grading, Drainage & Erosion Control Plan prepared by Rehder & Associates Inc. and dated July 3, 2018

	Comments	Compliance
Building Recesses		
<u>801.09.2.1 – Lake Street District</u> All new buildings east of Barry Avenue on Lake Street shall have retail usage at least eighty percent (80%) of the ground floor facing Lake Street. The remaining twenty percent (20%) of the ground floor frontage may only be used for walkways, public access, or public facilities. Retail activities shall comprise a total of at least fifty percent (50%) of the usage of the total building footprint.	The subject property is located west of Barry Ave on Lake St.	N/A
Building Recesses		
<u>801.09.3.1.A – All Districts</u> Building facades shall be articulated through the use of pilasters and/or recesses that create visible shadow lines and dimensions especially on the street level	The proposed building includes recessed entryways on the south elevation (facing Lake Street, a trellis at street level, and rails on the second and third floors to create visible shadow lines.	Yes
<u>801.09.3.1.B</u> Street level landscaped courtyards, outdoor seating areas and gathering areas shall be incorporated into building and site plan design.	A porch is planned for the southern elevation of the building along Lake Street, and the front of the building adjacent to the street and public sidewalk would be landscaped.	Yes

Design Review Critique

235 & 239 Lake Street E.

August 20, 2018

	Comments	Compliance
Building Width		
<u>801.09.4.1 All Districts – New Buildings</u> In order to reduce the scale of longer façades and to eliminate the long horizontal expressions of buildings, divisions or breaks in materials shall be included and at least three of the following design strategies shall be incorporated into the design: 1. Window bays 2. Special treatment at entrances 3. Variations in roof lines or parapet detailing 4. Awnings 5. Building setbacks or articulation of the facade 6. Rhythm of elements	The proposed building does not include long horizontal expressions. The front elevation includes a recessed porch, special treatment at the entrance, recesses in the facades, changes in colors and window sizes, and variations in roof lines.	Yes

Design Review Critique

235 & 239 Lake Street E.

August 20, 2018

	Comments	Compliance
Upper Story Setbacks		
<u>801.09.5.1.A – All Districts – New Buildings</u> Building height shall conform to the height of the applicable zoning district. Where three (3) story buildings are permitted, the third (3 rd) story must be recessed from all façades fronting public right of ways at least a distance equal to the vertical distance of the 3 rd story height from the second (2 nd) floor footprint, or an average of ten (10) feet across the facade, but no portion of the 3 rd story structure shall be closer than six (6) feet to the 2 nd story façade. The 3 rd story façade shall be designed with railings, pillars, dimensional windows, building recesses or other similar design techniques to break up the 3 rd story façade.	The applicant is requesting a variance from the maximum height in the PUD district (39.5 feet where 35 feet is permitted). The 3rd story is recessed from the second story a distance equal to the vertical distance of the 3rd story height from the 2nd floor. The 3rd story façade (along Lake Street) is designed with aluminum railings and building recesses to break up the façade.	Yes, if variance is granted
<u>801.09.5.1.B – All Districts – New Buildings</u> The façades fronting public right-of-ways of every two and three story building, longer than sixty (60) feet, must have a recessed second story of approximately twenty-five percent (25%) of the façade's length, setting back a minimum of six (6) feet from the face of the first floor façade. The required third floor setback must follow the frontal plane of the second story setback.	Approximately 50% of the building's 2 nd story is recessed 6-feet from the first story.	Yes
<u>801.09.5.1.C – All Districts – New Buildings</u> Wintertime sun orientation, solar access, and views of Lake Minnetonka are significant issues within the Design Districts. Building height should not negatively and significantly impact neighboring properties.	The applicant has requested a height variance for an additional 4.5 feet of building height in the PUD district. The additional height of the building will not negatively impact lake views nor neighboring properties.	Yes

Design Review Critique

235 & 239 Lake Street E.

August 20, 2018

	Comments	Compliance
Roof Design		
<u>801.09.6.1 – All Districts</u> “Green” roofs, roof garden terraces, arbors and other similar structures are encouraged on roofs of building.	Green roof design is not included in this proposal.	N/A
<u>801.09.6.2.A – All Districts – Roof Materials</u> The roof material for all sloped roofs in all districts shall be slate, untreated copper, pre-finished metal, cedar shake or asphalt shingle in dark colors. <u>801.09.6.2.B – All Districts – Roof Materials</u> The roof material for all flat roofs in all districts shall be treated synthetic membrane or other similar material in dark colors.	The roof material has not been provided; the color is dark.	Yes
Screening of Rooftop Equipment		
<u>801.09.7.1 – Lake Street District</u> No mechanical equipment for a building may be located on the roof deck. All such mechanical equipment must be located within the interior of the structure.	No rooftop equipment is included in the proposed design.	Yes

Design Review Critique

235 & 239 Lake Street E.

August 20, 2018

	Comments	Compliance
Facade Transparency		
<u>801.09.8.1 – Lake Street District</u> No less than fifty percent (50%) of the ground level façade of any building fronting Lake Street shall be transparent glass. No less than twenty-five percent (25%) of the ground level side and rear façade facing a public right of way, parking area or open space shall be transparent glass.	The Lake Street façade is comprised of 36% windows and doors (glass). The other facades include between 34 and 42% glass.	No (Lake St. façade)
Ground Level Expression		
<u>801.09.9.1 – All Districts</u> In multi-story buildings, the ground floor shall be distinguished from the floors above by the use of at least three of the following elements: 1. An intermediate cornice line 2. A difference in building materials or detailing 3. An offset in the façade 4. An awning, trellis, or loggia 5. Arcade 6. Special window lintels 7. Brick/stone corbels	The ground floor is distinguished by a difference in building material detailing, trellis, and inset porch areas.	Yes
Entries		
<u>801.09.10.1 – All Districts</u> The front facade of all buildings shall be landscaped with window boxes or planters with seasonally appropriate plantings. The main entries shall face the primary street at sidewalk grade.	Foundation plantings are proposed along the Lake Street. The main entry faces the primary street with steps leading up to the porch and entry doors.	Yes

Design Review Critique
235 & 239 Lake Street E.
August 20, 2018

	Comments	Compliance
Building Materials and Quality		
<u>801.09.11.1.A – Primary Opaque Surfaces – All Districts</u> Other than the accent materials listed in 801.09.11.G, ninety percent (90%) of the non-glass surfaces of each elevation of the exterior building façade shall be composed of one or more of the following materials: 1. Brick 2. Stone 3. Cast stone 4. Factory finished and certified wood, including, but not limited to: a. Wood shingles (cedar shingles six (6) inch maximum exposure) b. Lap-siding (six (6) inch maximum width) 5. Stucco	The exterior building materials are comprised of masonry base, stone panel, and fiber cement panels. Stone is a permitted primary material, but the proposed fiber cement board panels require a deviation. The following is the material calculations for the individual building elevations: <u>South (Lake St)</u> Masonry base 22% Stone panels 76.5% Fiber cement panels 1.5% <u>East</u> Masonry base 31% Stone panels 60% Fiber cement panels 9%* <u>West*</u> Masonry base 21% Stone panels 66% Fiber cement panels 13%* <u>North*</u> Masonry base 22% Stone panels 59% Fiber cement panels 19%* *Deviations	No. Deviation needed.

Design Review Critique

235 & 239 Lake Street E.

August 20, 2018

<u>801.09.11.1.B – Façade Coverage – All Districts</u> The primary opaque surface materials of all free standing buildings must be the same on all facades of the building.	The development includes the same materials – masonry, stone and cement panel – on all four sides of the building.	Yes
<u>801.09.11.1.C – Type of Brick – All Districts</u> On all facades of a free-standing building where brick is used, full course modular, Roman, Norman or other standard size brick must be used.	The proposed building does not include any brick.	N/A
<u>801.09.11.1.D – Façade Detail – All Districts</u> 1. Brick and/or stone façades shall be well detailed and dimensionally designed in order to avoid fractional cuts and odd pieces. All outside brick corners must be full bricks (custom if necessary), with no mitering, forming continuous vertical joints. 2. The narrow face of an exposed stone butt joint, at corners, must be a minimum dimension of two (2) inches. Mitered and quirked stone corners are also acceptable.	The proposed building does not include any brick.	N/A
<u>801.09.11.1.E – Brick Joints – All Districts</u> 1. The mortar for brick must be dark grey or in the color range of the brick. All joints must be concave or 'v' joint. No mortar may be used beyond the face of the brick. 2. All brick walls must be built to avoid efflorescence	The proposed building does not include any brick.	N/A
<u>801.09.11.1.F – Stone Joints – All Districts</u> Stone joints shall be no larger than one-fourth (1/4) inch.	The stone joints would be no larger than ¼ inch.	Yes

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<u>801.09.11.1.G – Accent Materials – All Districts</u> Only the following materials may be used for lintels, sills, cornices, bases, and decorative accent trims, and must be no more than 10 percent (10%) of the non-glass surfaces of each elevation of the exterior building façade: 1. Stone 2. Cast stone 3. Copper (untreated) 4. Rock faced stone 5. Aluminum or painted steel structural shapes 6. Fiber cement board 7. Premium grade wood trim with mitered outside corners. Examples of premium grade wood are cedar, redwood, and fir. 8. EIFS	The lintels, sills, cornices, and building case are comprised of the same stone as the primary building materials.	Yes
<u>801.09.11.1.H - Parapets, Flashing, Coping – All Districts</u> 1. Only the following materials may be used for parapets, flashing and coping: a. copper (untreated) b. brick c. stone d. cast stone e. premium grade wood. 2. Pre-finished, painted .032 aluminum may only be used as a standard parapet coping with a maximum exposed edge of five (5) inches.	The parapet, flashing, and coping materials are the same as the primary building materials.	Yes

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<u>801.09.11.1.I – Awnings – All Districts</u> 1. Only the following types of awnings may be used: a. Fabric awnings of a heavy canvas in dark solid colors or other colors that are approved as part of the design review process b. Highly detailed, ornate metal in dark colors c. Glass awnings 2. Backlit awnings are prohibited. 3. Awnings with text or graphic material may be permitted but require approval via the sign permit process of the Zoning Ordinance.	No awnings are proposed.	N/A
<u>801.09.11.1.J – Balconies – All Districts</u> Balconies shall be accessible and useable by persons. Fake or unusable balconies are prohibited. All balconies shall remain within the property line. Metal railings with members painted dark, or glass panels are permitted.	The proposed third floor has a balcony all along the south elevation. A second floor balcony is located above the lake street entryway. All balconies are useable and do not project over the property line. All balconies will have dark metal railings.	Yes
<u>801.09.11.1.K – Glass – All Districts</u> Glass shall not be mirrored, reflective or darkened. Slight green, bronze and grey tints are acceptable. Spandrel glass shall not be counted as transparent glass for the purposes of calculations under the transparency requirements of Section 801.09.8 of the Standards, but may be used for detailing purposes. Environmentally appropriate glass, such as Low-emissivity glass, shall be used in all projects	No information has been provided regarding the transparency or reflectiveness of the glass.	Unknown

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<u>801.09.11.1.L – Door Systems – All Districts</u> Unless there are building security concerns, main entry doors shall be primarily glass. If, for security reasons, a main entry door is not possible or practical, a main entry door must be well detailed. Appropriately designed wood doors may be utilized for retail and office buildings.	The submitted plan specifies that the main entry door will be full glass with aluminum frames.	Yes
	Comments	Compliance
Franchise Architecture		
<u>801.09.12.1 – All Districts</u> A. Typical or standardized franchise architecture (including building design that is the trade dress of, or identified with a particular chain, franchise or business and is repetitive in nature) is prohibited. B. Large, bold or bright signage, trade dress or logos must be altered and scaled down to meet the purpose of these standards as articulated herein, and must not be repeated on the facades of the principal structure more than once. All new, altered and/or proposed signage for buildings must be submitted for review under Section 801. 09.18 by the Planning Commission at the time of Design Standards Review application	The proposed building would not be franchise architecture.	N/A

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	Comments	Compliance
Walkways		
<u>801.09.13.1 – Lake Street District</u> A. Continuous sidewalks at least twelve (12) feet in width shall be provided along all public street frontages. B. Lighted sidewalks shall extend between rear and side parking areas and building entrances. All sidewalk lighting must project downward. C. Buildings with street frontage exceeding fifty (50) feet shall have at least one (1) bench. D. All sidewalk surfaces must match the exposed aggregate/brick accent sidewalks on Lake Street.	The proposed plans include only a 6-foot sidewalk along Lake Street. The plans also do not include the required streetscaping items, including lighting, landscaping and benches.	No

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	Comments	Compliance
Landscaping		
<u>801.09.14.1 – All Districts</u>		
A. Seasonal landscaping shall be used in all Design Districts, including use of window boxes, hanging flowers baskets, vines and/or other similar seasonal landscaping. If feasible, garden areas and ornamental trees shall be used at the street level.	Ornamental landscaping is proposed around the building in the form of boulevard trees at street level As noted above, the plans do not include the required streetscaping elements.	No
B. Window boxes, hanging baskets and planters with seasonally appropriate plantings shall be used around entries to buildings.		
C. Vines shall be used to cover walls with more than one hundred (100) square feet of uninterrupted surface area.		
D. Streetscaping shall include all of the following: 1. Boulevard species trees, with at least three (3) caliper inches. 2. Exposed aggregate sidewalks with brick accents 3. Street lights 4. Benches (if building length is 50 feet or greater), which utilize existing city bench designs. 5. Flowers		

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<u>801.09.14.2 – Lake Street District</u> A. Established Lake Street landscape treatments shall be followed in accordance with the specifications of the Wayzata Engineering Guidelines set forth in Wayzata City Code. Exposed aggregate with brick accent sidewalks shall be used. B. Approved boulevard trees, planted in sidewalk areas, shall be planted no more than twenty six (26) feet on center from each other.	As noted above, the plans do not include the required streetscaping elements.	No
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Design Review Critique
 235 & 239 Lake Street E.
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	Comments	Compliance
Parking Lot Landscaping		
<u>801.09.15.1 – All Districts</u> A landscaped buffer strip at least five (5) feet wide shall be provided between all parking areas and the sidewalk or street. The buffer strip shall consist of shade trees appropriately spaced for the particular Design District, and a decorative metal fence, masonry wall or hedge. A solid wall or dense hedge shall be no less than three (3) feet and no more than four (4) feet in height.	No parking area is proposed between Lake Street and the parking area on the site.	N/A
Surface Parking		
<u>801.09.16.1 – All Districts</u> A. Off-street parking shall be located to the rear of buildings. When parking must be located in a side yard adjacent to the street, a landscaped buffer shall be provided in accordance with the Design Standards. The street frontage occupied by parking shall not exceed sixty (60) feet per property. B. Side-by-side parking lots creating a parking area frontage longer than sixty (60) feet are prohibited, except where a heavily landscaped buffer of at least twenty (20) feet wide completely separates both lots. C. Side yard parking shall not extend beyond the front yard setback of the primary building on the property. D. Front yard parking is prohibited. E. There shall be no corner parking.	The proposed plans include parking (by others) at the rear of the building.	Yes

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	Comments	Compliance
<u>801.09.16.2 – All Districts – Bicycle Parking</u> Commercial developments requiring more than twenty (20) parking spaces shall provide at least four (4) bicycle parking spaces in a convenient, visible, preferably sheltered location.	The proposed plans include 4 bicycle stalls at the rear entrance to the building (adjacent to the parking lot).	Yes
Parking Structures		
<u>801.09.17.1 – All Districts</u> Parking structures shall meet the following standards, along with all other applicable building code standards: A. The ground floor façade abutting any public street or walkway shall be architecturally compatible with surrounding commercial or office buildings. B. The parking structure shall be designed in such a way that sloped floors do not dominate the appearance of the façade. C. Windows or openings shall be similar to those of surrounding buildings. D. Vines and other significant landscaping shall be used to minimize the visual impact of the parking structure.	There is no parking structure associated with the project.	N/A

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	Comments	Compliance
Signs		
<u>801.09.18.1 – All Districts</u>		
A. Compatibility - Signs shall be architecturally compatible with the style, composition, materials, colors and details of the building, and with other signs on nearby buildings. Signs shall be an integral part of the building and site design. - A sign plan shall be developed for buildings which house more than one (1) business. Signs need not match, but shall be compatible with one another. Franchise or national chains must comply with these Sign Standards to create signs compatible with their context. - When illuminated signs are proposed, only the text and/or logo portion of the sign may be illuminated. Illuminated signs must be compatible with the location. Illumination of the sign to highlight architectural details is permitted. Fixtures shall be small, shielded, and directed towards the sign rather than toward the street, so as to minimize glare for pedestrians and adjacent properties. - Sign plans must be submitted for review as part of an Applicant for Design Approval. Proposed signs must also conform to the requirements of Section 801.27 of the Wayzata Zoning Ordinance.	The sign plan includes illuminated wall signs between the second and third floors on the south elevation. The signs shown include only text for future tenants.	Yes

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<u>801.09-18.2 – Permitted Signs – Lake Street District</u> A. Lake Street District. Only the following types of signs are permitted in the Lake Street District: 1. Awning, canopy or marquee signs 2. Wall signs 3. Monument or ground signs 4. Projecting signs 5. Window signs (small accent signs) 6. Roof signs if located on pitched-roof buildings, below the peak of the roof	Only wall signs are proposed	Yes
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	Comments	Compliance
Parking Lot and Building Lighting		
<u>801.09.19.1 – All Districts</u> A. Parking lot lighting shall be designed in such a way as to be in scale with its surroundings, and reduce glare. B. Cutoff fixtures shall be located below the mature height of trees located in parking lot islands so as to minimize ambient glow and light pollution. C. Pedestrian-scale lighting, not exceeding thirteen (13) feet in height, shall be located on walkways and adjacent to store entrances. All sidewalk lighting must be projected downwards. City light standard shall be followed for all public streets. D. Light posts shall be of a dark color. E. Lighting fixtures shall be compatible with the architecture of the building. F. Lights attached to buildings shall be screened by the building's architectural features to eliminate glare to adjacent properties. All façade lighting must be projected downwards. G. All lighting fixtures shall comply with City Code Section 801.16.6 as it relates to glare.	No parking lot lighting is included with this proposal. The building fixtures shown are "up/down" lighting. Fixtures are compatible with the architecture of the building.	No. Deviation required.

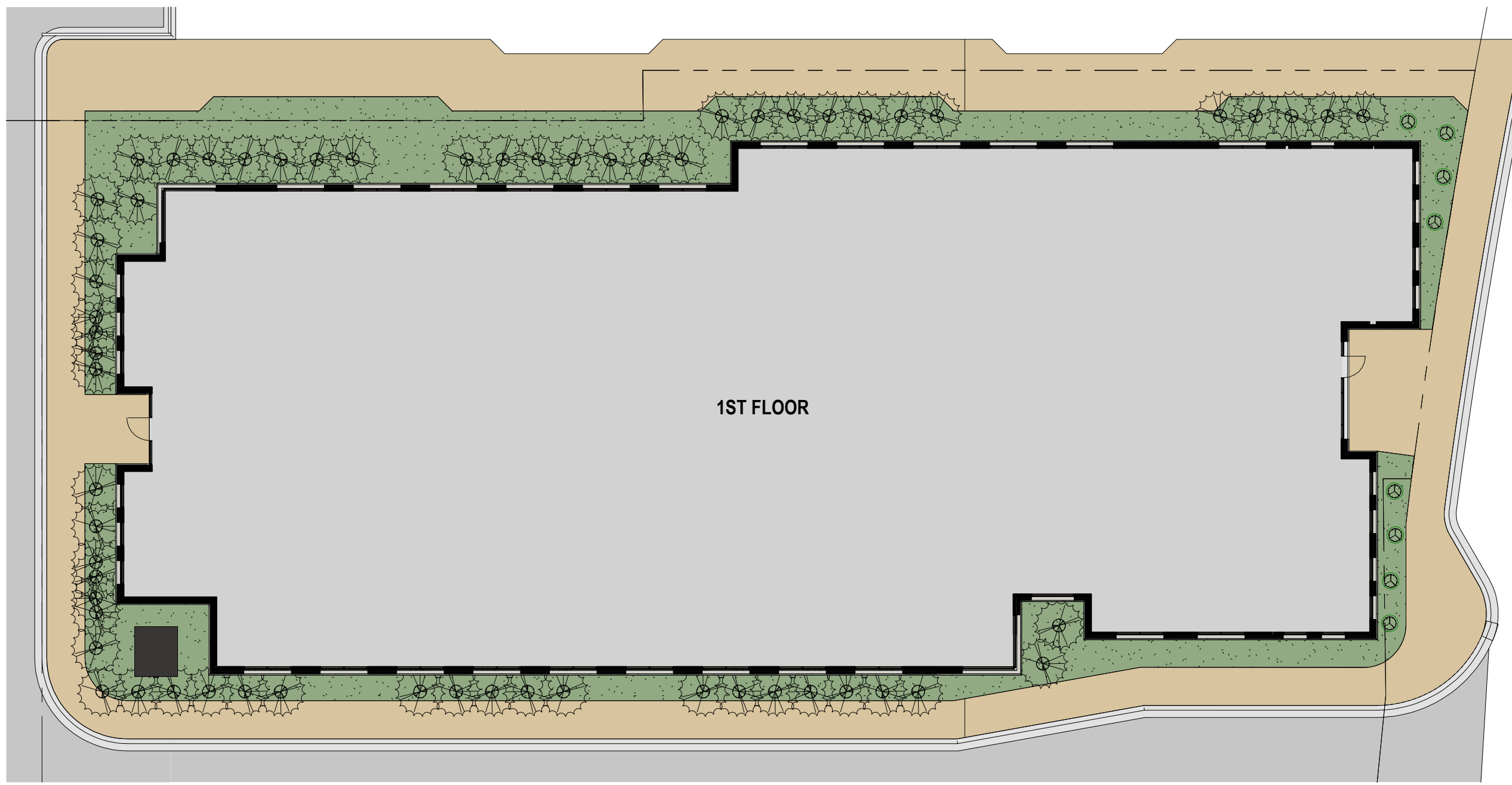
F.A.R. CALCULATION

22,681 TOTAL SITE AREA (NEW)
54,910 S.F. EXISTING PROPERTY AREA (APPROXIMATE)
35,181 S.F. PROPOSED BUILDING
35,181 S.F. BUILDING / 22,681 S.F. SITE = 1.55 PROPOSED F.A.R.

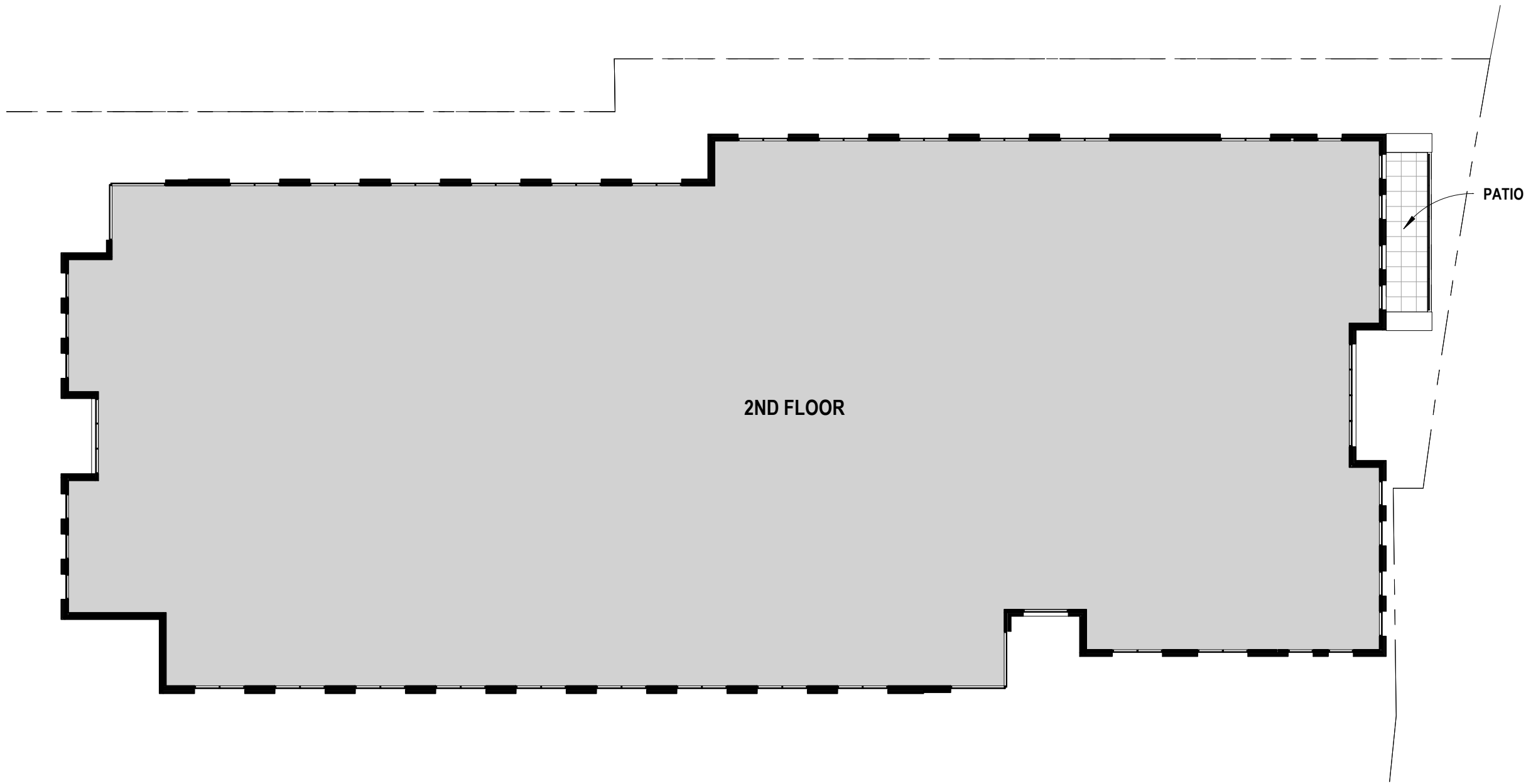
GROSS BUILDING AREA

1ST FLOOR	12106 SF
2ND FLOOR	11954 SF
3RD FLOOR	11121 SF
TOTAL	35181 SF

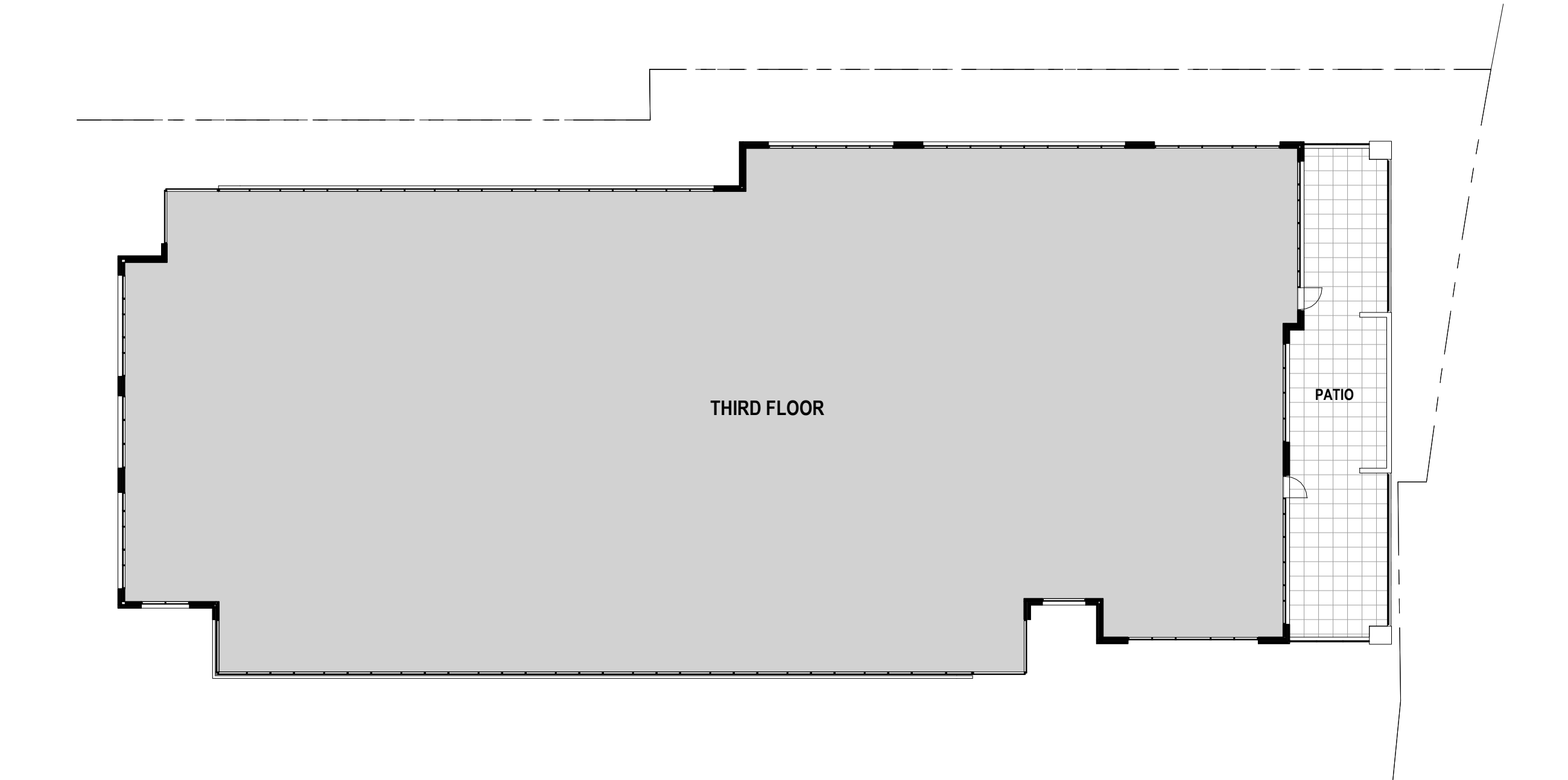
2 1ST FLOOR
SCALE 1/16" = 1'-0"



3 2ND FLOOR
SCALE 1/16" = 1'-0"



4 3RD FLOOR
SCALE 1/16" = 1'-0"



1 CONCEPT SITE PLAN - 235 LAKE STREET EAST
SCALE 1" = 20'-0"



CONCEPT SUBMITTAL 12-8-17 - NOT FOR CONSTRUCTION

Date	12/8/17	CH
Project Architect		
Permit Submit Date	N/A	
Project Number	16309	

SITE / FLOOR PLANS

A090

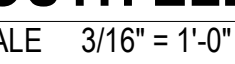
235 Lake Street East Office Building
Wayzata, Minnesota



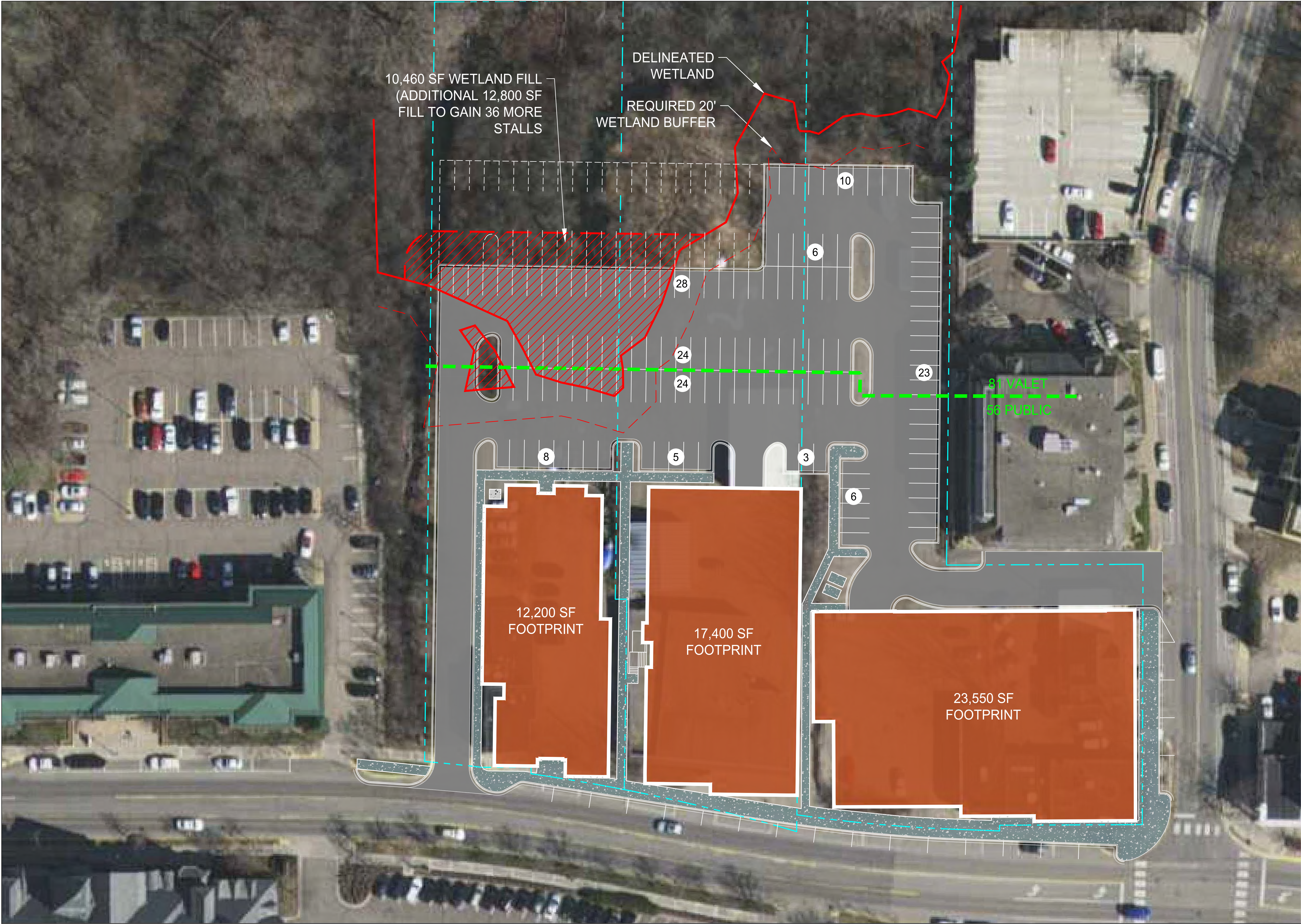
Wayzata, Minnesota

EXTERIOR ELEVATIONS

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Date	12/5/17
Project Architect	CH
Permit Submit Date	N/A
Project Number	16009



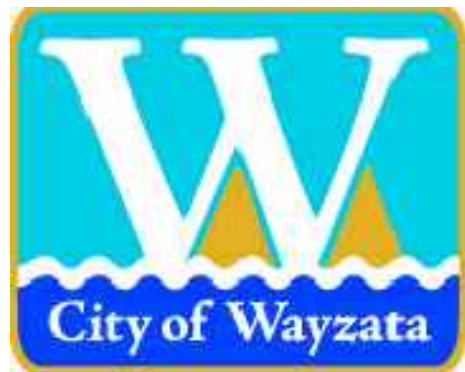
REQUIRED PARKING:	
284 GROVE LN (BOATWORKS):	265
MARINA:	60
235 LAKE ST:	180
TOTAL:	505

PROVIDED PARKING:	
PHASE 1:	
284 GROVE LN (BOATWORKS):	200
MARINA:	60
BARRY & LAKE:	137*
TOTAL:	397
AVAILABLE @ TCF:	138
REQUIRED @ TCF:	108

PHASE 1 (ADD'L WETLAND FILL):	
284 GROVE LN (BOATWORKS):	200
MARINA:	60
BARRY & LAKE:	173*
TOTAL:	433
AVAILABLE @ TCF:	138
REQUIRED @ TCF:	72

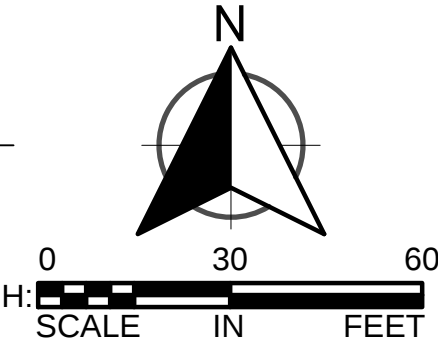
PHASE 2 (WITH RAMP):	
284 GROVE LN (BOATWORKS):	200
MARINA:	60
BARRY & LAKE:	235*
TOTAL:	495
AVAILABLE @ TCF:	138
REQUIRED @ TCF:	10

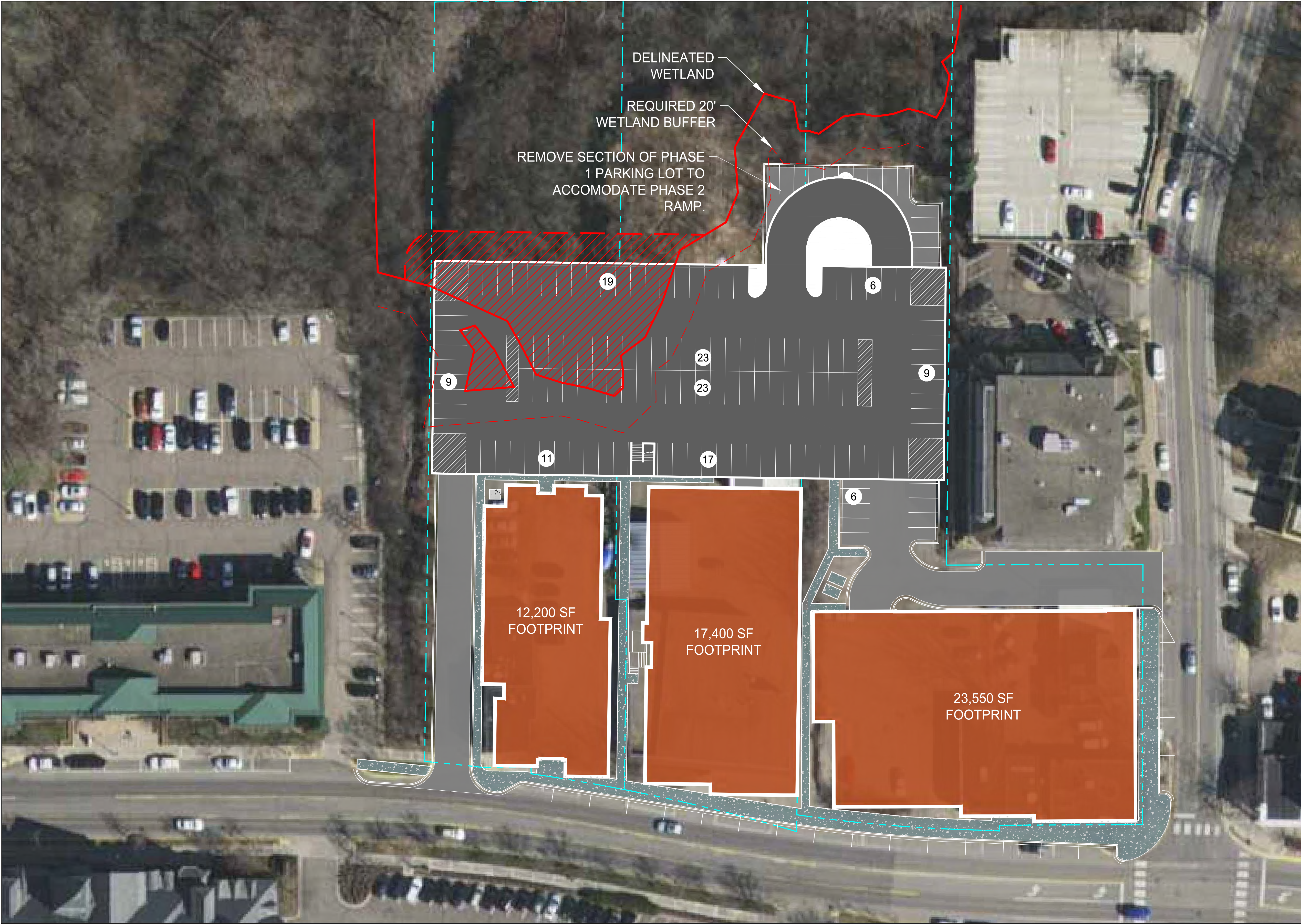
*DOES NOT INCLUDE ADJACENT STREET PARKING



BARRY AVENUE & LAKE STREET PARKING LOT

Concept Plan G
Wayzata, Minnesota
03/15/18 | 011513-000





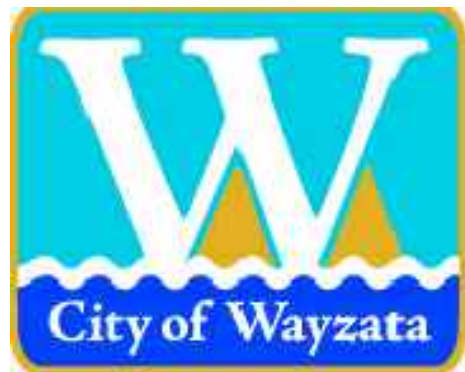
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BARRY AVENUE & LAKE STREET PARKING LOT

Concept Plan G (with Ramp)
Wayzata, Minnesota
03/15/18 | 011513-000

