



Wayzata Planning Commission

Meeting Agenda

Monday, September 17, 2018
7:00 p.m.

Community Room
600 Rice Street East
Wayzata, Minnesota 55391

1. **Call to Order & Roll Call**
2. **Approval of Agenda**
3. **Consent Agenda**
 - a. Approval of September 5, 2018 Meeting Minutes
 - b. Adoption of Report and Recommendation of Approval of Preliminary and Final Plat Subdivision for Benton Harbor at 310 Benton Ave N and 1023 Gardner St E
4. **Old Business Items**
 - a. Sanborn Residence – 1406 Holdridge La
Review of House Plans
 - b. Cadogen Residence – 321 Wise Ave S
Review of House Plans
5. **Public Hearing Items**
 - a. None
6. **Other Items:**
 - a. Review of Development Activities
 - b. Next meeting is October 1, 2018
7. **Adjournment**

NOTES:

- ¹ Members of the Planning Commission and some staff may gather at the Wayzata Bar and Grill immediately after the meeting for a purely social event. All members of the public are welcome.

**WAYZATA PLANNING COMMISSION
MEETING MINUTES
SEPTEMBER 5, 2018**

AGENDA ITEM 1. Call to Order and Roll Call

Chair Buchanan called the meeting to order at 7:00 p.m.

Present at roll call were Commissioners: Plantan, Murray, Buchanan, Iverson, Flannigan and Douglas. Absent and Excused: None. Director of Planning and Building Jeff Thomson, and City Attorney David Schelzel were also present.

AGENDA ITEM 2. Approval of Agenda

Chair Buchanan asked for a motion to approve the agenda for the meeting.

Commissioner Plantan made a motion, seconded by Commissioner Douglas to approve the September 5, 2018 meeting agenda as presented. The motion carried unanimously.

AGENDA ITEM 3. Consent Agenda

- a.) Approval of August 20, 2018 Meeting Minutes
- b.) Adoption of Report and Recommendation of Approval of PUD General Plan and Design Review for Ventana Condos at 253 Lake St E
- c.) Adoption of Report and Recommendation of Approval of PUD General Plan. Design Review, Variance, and Shoreland Impact Plan/Conditional Use Permit for Hughes Redevelopment at 253 and 239 Lake St E

Chair Buchanan read the items on the consent agenda and asked if any commissioner wanted to pull any item for further discussion. Hearing no such request, he asked for a motion to approve the consent agendas as presented.

Commissioner Iverson made a motion, seconded by Commissioner Plantan, to approve the Consent Agenda as presented. The motion carried unanimously.

AGENDA ITEM 4. Old Business Items:

- a.) Enclave at Crossdale Fence – 205, 211, 223 Byrondale Ave N
 - a. Conditional Use Permit

Director of Planning and Building Jeff Thomson stated the applicant Susan Seeland, on behalf of the property owners, Scott and Sarah Johnson, Douglas and Sarah Carter, and Bruce Gates, has

1 submitted a development application to construct a 6-foot tall solid fence in the side yard between
2 the properties at 217 and 223 Byrondale Ave N. The Planning Commission reviewed the
3 application and held a public hearing at its meeting on July 16, 2018. The original application
4 requested approval of a conditional use permit for a 6-foot tall solid wood fence along Wooddale
5 Ave at 205 and 211 Byrondale Ave N and a 6-foot tall solid wood fence along the side property
6 line between 217 and 223 Byrondale N. During its review at the July 16 meeting, the Planning
7 Commission expressed concerns about the distance of the fence from Wooddale Ave and directed
8 the applicant to address the impacts to the city street and apply for a variance if the fence did not
9 meet the setback requirement. After the Planning Commission meeting, the applicant submitted a
10 letter to the City that disagreed with City staff's interpretation that the fence along Wooddale Ave
11 is subject to the front yard fence requirements and therefore required a conditional use permit.
12 After reviewing the zoning ordinance, City staff has determined that the fence is subject to the rear
13 yard setback requirements and not the front yard fence requirements as originally determined.
14 Under this determination, the proposed 6-foot fence meets the rear yard fence requirements and
15 does not require a conditional use permit. Since the fence would be located in a City utility
16 easement, the applicant has agreed that the fence must be setback at least 5-feet from Wooddale
17 Ave, which is the recommendation of the City engineer to ensure the fence does not obstruct the
18 use and maintenance of the public street. The application still requires a conditional use permit
19 for the 6-foot solid fence located in the side yard between 217 and 223 Byrondale Ave N properties
20 since the City's side yard fence requirements state the fence must be at least 50% open.

21
22 Commissioner Iverson stated the Planning Commission had previously struggled with allowing
23 the fence along Central Avenue. There had been a number of residents that had come forward to
24 speak against it at that time. The applicant had originally agreed to not put up a fence along the
25 rear or side of the property in the 2011 application. It was then determined that they could have a
26 fence that would stop kids from going from the trail onto Central Avenue. She stated she talked
27 to residents who had been at the original meetings and they are upset. The applicant had agreed
28 to keep this open as a walkway to get to Lunds. She would like to see the gate removed on the
29 trail that goes to Central Avenue. She would not support the application because it is against what
30 the applicant had previously agreed to.

31
32 Chair Buchanan stated the application is only for the side yard fence, and the rear yard fence is in
33 compliance with the City's ordinances.

34
35 Mr. Thomson stated the gate had been previously discussed at the last meeting, and it is not part
36 of the current CUP request. The City has more discretion on the gate being installed or not because
37 the City has a public trail easement over this area. At the last meeting, the Planning Commission
38 expressed concerns about the gate, and the applicant agreed to not include the gate across the trail
39 as part of its application.

40
41 Commissioner Douglas made a motion, seconded by Commissioner Plantan, to approve and adopt
42 the draft Planning Report and Recommendation as presented, recommending approval of the
43 conditional use permit for a 6-foot tall solid wood fence at 217 and 223 Byrondale Ave N with
44 conditions. The motion carried 5 ayes and 2 nays (Iverson and Flannigan)

45
46 **b.) Vanderheyden Fence – 105 Walker Ave N**

1 **a. Conditional Use Permit**
2

3 Director of Planning and Building Jeff Thomson stated the applicant and property owners, Tom
4 and Debra Vanderheyden, have submitted an application for a conditional use permit to construct
5 a 100% opaque, wooden fence measuring 6-feet in height and located in the side and rear yard of
6 their home located at 105 Walker Ave N. The applicant requests approval of a conditional use
7 permit opacity requirement for fences located in the side yard of a residential property. The
8 Planning Commission reviewed the application and held a public hearing at its meeting on August
9 20. The Planning Commission expressed concerns about original proposal which asked for a 100%
10 opaque, wooden fence measuring 8-feet in height. The Commission requested the applicant
11 provide information about the landscaping around the fence, as well as voiced support for a fence
12 that would be no more that 6-feet in height. Since the August 20 meeting, the applicant submitted
13 a revised plan for the fence and an updated landscape plan for the screening of the fence. In the
14 revised application, the height of the fence has been reduced to 6-feet, which is allowed for a fence
15 located in the side yard of a residential property.
16

17 Commissioner Iverson made a motion, seconded by Commissioner Flannigan, to approve and
18 adopt the draft Planning Commission Report and Recommendation as presented, recommending
19 approval of a conditional use permit for a fence at 105 Walker Ave N. with conditions. The motion
20 carried unanimously.
21
22

23 **AGENDA ITEM 5. Public Hearing Items:**
24

25 **a.) Benton Harbor – 310 Benton Ave N and 1023 Gardner ST E**
26

27 **i. Preliminary and Final Plat Subdivision**
28

29 Director of Planning and Building Jeff Thomson stated the applicant and property owner, Invest
30 Capital Group, LLC, have submitted a development application to subdivide the properties at 310
31 Benton Avenue and 1023 Gardner St E. The applicant is proposing to subdivide the two existing
32 properties into four single-family residential lots. The existing homes would be demolished and
33 four new homes would be constructed. The proposal requires preliminary and final plat review to
34 subdivide the two existing lots. The Planning Commission reviewed the development application
35 and held a public hearing at its meeting on May 21, 2018. At the meeting, the Planning
36 Commission continued the public hearing and directed the applicant to submit all information
37 required by the City's subdivision ordinance. The Planning Commission noted the application did
38 not include a preliminary grading, drainage, and erosion control plan, tree preservation plan, and
39 utility plan. At its June 18th meeting, the Planning Commission reviewed the revised plans
40 submitted by the applicant, which included alteration and fill of floodplain on the property.
41 Alterations to the floodplain are reviewed and approved by the Minnehaha Creek Watershed
42 District. Since the proposed house pads shown on the grading plan would result in alterations to
43 the floodplain, the Planning Commission tabled the application and directed the applicant to obtain
44 approval from MCWD before the City considers the subdivision. The applicant subsequently
45 obtained approval from MCWD for the floodplain alteration. There had been concerns from the
46 neighbors regarding drainage, and this has been reviewed to ensure the drainage patterns would
not impact the neighboring properties.

1
2 Applicant representative, Mr. Mike Sharratt, Sharratt Design, 464 2nd ST, Excelsior, stated they
3 are creating approximately 120 cubic yards of floodplain volume. They are changing the grading
4 to make pads for the homes so that they are no to high that they are filling the floodplain or to low
5 that the homes would flood. This increases the area that water can be. The vision is for these to
6 be smaller and more affordable houses. This will fill a void in the City. These homes would not
7 have basements because you cannot have a floor below the floodplain.
8

9 Commissioner Iverson asked if a condition of approval could be added that required permanent
10 tree fences to be installed around the maple tree and the cherry tree on the first lot.
11

12 Mr. Sharratt clarified this would be during construction only, and they would agree to install a
13 more rigid fence with posts driven into the ground.
14

15 Chair Buchanan opened the public hearing at 7:39 p.m.
16

17 There being no one wishing to address the Planning Commission on this application, Chair
18 Buchanan closed the public hearing at 7:40 p.m.
19

20 Commissioner Flannigan stated this is a nice project for this area.
21

22 Commissioner Iverson made a motion, seconded by Commission Murray, to direct staff to prepare
23 a draft Planning Commission Report and Recommendation with appropriate findings of fact to
24 recommend approval of the preliminary and final plat for the subdivision at 2130 Benton Avenue
25 and 1023 Gardner St E. The motion carried unanimously.
26
27

28 **AGENDA ITEM 6. Other Items:**

29 **a.) September 4th City Council Meeting Report – Commissioner Plantan**

30
31
32 Commissioner Plantan provided a report of the September 4, 2018 City Council meeting. She
33 noted that Mike Kelly had been introduced as the new Public Works Director, and there had been
34 an update on the design features along Lake Street as part of the Lake Effect. The City Engineer
35 was asked to look at the intersection of Walker and Rice Street due to safety concerns. The City
36 approved the amended Police Services contract with the City of Long Lake ,and the new design
37 for the police memorial.
38

39 **b.) Review of Development Activities**

40
41 Director of Planning and Building Jeff Thomson stated upcoming development activities include
42 the review of two new homes on Wise and Circle East and the Utilitarian Church property. The
43 Commission will also be reviewing an amendment to the subdivision ordinance to address park
44 dedication fees. October 15 is when the public hearing for the Comp Plan is scheduled. There are
45 three meetings scheduled in October.
46

1 **c.) Next Meeting**
2

3 Director of Planning and Building Jeff Thomson stated the next Planning Commissioner meeting
4 was scheduled for September 17, 2018.

5
6 Commissioner Flannigan suggested the City review the ordinances and revise the permitted
7 construction times to make it more neighborhood friendly.

8
9 Mr. Thomson stated this is an issue that has been brought to the City Council's attention, and in
10 October they will be reviewing their strategic plan and prioritizing these items.
11

12
13 **AGENDA ITEM 7. Adjournment.**
14

15 There being no further business on the agenda, Chair Buchannan asked for a motion to adjourn.
16

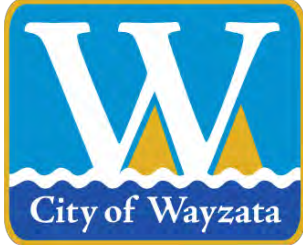
17 Commissioner Iverson made a motion, seconded by Commissioner Murray, to adjourn the
18 Planning Commission meeting. The motion carried unanimously.
19

20 The Planning Commission meeting was adjourned at 7:54 p.m.
21

22 Respectfully submitted,

23 Tina Borg

24 *TimeSaver Off Site Secretarial, Inc.*



City of Wayzata Planning Commission Agenda Report

MEETING DATE: September 17, 2018	AGENDA ITEM: 3b
TITLE: Adoption of Report and Recommendation of Approval of Preliminary and Final Plat Subdivision for Benton Harbor at 310 Benton Ave N and 1023 Gardner St E	
PROJECT NAME: Benton Harbor	
ADDRESS: 310 Benton Ave N and 1023 Gardner St E	
PREPARED BY: Jeff Thomson, Director of Planning and Building	

BACKGROUND:

Application Overview

The applicant and property owner, Invest Capital Group, LLC, has submitted a development application to subdivide the properties at 310 Benton Ave N and 1023 Gardner St E. The applicant is proposing to subdivide the two existing properties into four single-family residential lots. The existing homes would be demolished and four new homes would be constructed. The development application requests approval of the preliminary plat and final plat.

Planning Commission Review

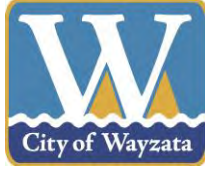
The Planning Commission reviewed the development application and held a public hearing at its meeting on September 5, 2018. After discussing the application, the Planning Commission voted six (6) in favor and zero (0) opposed to direct staff to prepare a Report and Recommendation of approval of the development application for adoption at the next Planning Commission meeting.

PLANNING COMMISSION ACTION:

City Staff has drafted the attached Planning Commission Report and Recommendation which recommends approval of the development application. The Report and Recommendation includes the findings and conditions of approval discussed by the Planning Commission.

ATTACHMENTS:

1. Draft Planning Commission Report and Recommendation



WAYZATA PLANNING COMMISSION

September 17, 2018

REPORT AND RECOMMENDATION OF APPROVAL OF CONCURRENT PRELIMINARY AND FINAL PLAT SUBDIVISION AT 310 BENTON AVE N AND 1023 GARDNER ST E

SUMMARY OF RECOMMENDATION

Approval* of Concurrent Preliminary and Final Plat Subdivision

** subject to certain conditions noted in Section 4 of this Report*

REPORT AND RECOMMENDATION

Section 1. BACKGROUND

- 1.1 Project. The applicant and property owner, Invest Capital Group, LLC, (the “Applicant”) has submitted a development application to subdivide two existing properties at 310 Benton Ave N and 1023 Gardner St E (collectively, the “Property”) into four single-family residential lots (the “Application”). The two existing homes on the Property would be demolished and four new homes would be constructed (the “Project”).
- 1.2 Application Requests. The Application requests simultaneous review and approval of preliminary and final plats to subdivide the two existing lots that comprise the Property into four single-family residential lots as depicted on the plans included as Attachment A (the “Subdivision” or “Preliminary and Final Plats”).
- 1.3 Property. The addresses, property identification numbers and owner of the Property are:

310 Benton Ave N	06-117-22-11-0005	Invest Capital Group, LLC
1023 Gardner St E	06-117-22-11-0003	Invest Capital Group, LLC

- 1.4 Land Use. The Property is zoned R-3A/Single and Two Family Residential District, and is designated Low Density Single Family in the Comprehensive Plan. The Property falls within the S/Shoreland, FP/Floodplain, and W/Wetland Overlay Districts.
- 1.5 Notice and Public Hearing. Notice of the public hearing on the Application was published in the *Wayzata Sun Sailor* on August 23, 2018 and notices were mailed to all properties within 350 feet of the Property on August 24, 2018. The public hearing on the Application was conducted at the September 5, 2018 Planning Commission meeting.
- 1.6 Planning Commission Action. After the conclusion of the public hearing on the Application at the September 5, 2018 Planning Commission meeting, the Planning Commission voted unanimously to direct staff prepare a draft Planning Commission Report and Recommendation recommending approval of the Application.

Section 2. STANDARDS

2.1 Subdivision / Preliminary and Final Plat.

- A. Review and approval of lot combinations and subdivisions of property are governed by the City's Subdivision Ordinance, Ch. 805 of City Code. The City may agree to review a proposed preliminary and final plat simultaneously. Sec. 805.15.A.
- B. In reviewing requests for approval under the Subdivision Ordinance, the Planning Commission shall consider possible adverse effects of the proposed subdivision or lot combination reflected in the preliminary plat. Its judgment shall be based upon, but not limited to, the following factors found in Section 805.14.E:
1. The proposed subdivision or lot combination shall be consistent with the Wayzata Comprehensive Plan.
 2. Building pads that result from a subdivision or lot combination shall preserve sensitive areas such as lakes, streams, wetlands, wildlife habitat, trees and vegetation, scenic points, historical locations, or similar community assets.
 3. Building pads that result from subdivision or lot combination shall be selected and located with respect to natural topography to minimize filing or grading.
 4. Existing stands of significant trees shall be retained where possible. Building pads that result from a subdivision or lot combination shall be sensitively integrated into existing trees.

5. The creation of a lot or lots shall not adversely impact the scale, pattern or character of the City, its neighborhoods, or its commercial areas.
6. The design of a lot, the building pad, and the site layout shall respond to and be reflective of the surrounding lots and neighborhood character.
7. The lot size that results from a subdivision or lot combination shall not be dissimilar from adjacent lots or lots found in the surrounding neighborhood or commercial area.
8. The architectural appearance, scale, mass, construction materials, proportion and scale of roof line and functional plan of a building proposed on a lot to be divided or combined shall be similar to the characteristics and quality of existing development in the City, a neighborhood or commercial area.
9. The design, scale and massing of buildings proposed on a subdivided or combined lot shall be subject to the architectural guidelines and criteria for the Downtown Architectural District, Commercial and Institutional Architectural Districts, and Residential Architectural Districts and the Design Review Board/City Council review process outline in Section 9 of the Wayzata Zoning Ordinance.
10. The proposed lot layout and building pads shall conform with all performance standards contained herein.
11. The proposed subdivision or lot combination shall not tend to or actually depreciate the values of neighboring properties in the area in which the subdivision or lot combination is proposed.
12. The proposed subdivision or lot combination shall be accommodated with existing public services, primarily related to transportation and utility systems, and will not overburden the City's service capacity.

Section 3. FINDINGS

Based on the Application materials, additional materials submitted by the Applicant, staff reports, public comment and information presented at the public hearing, and the standards of the Wayzata Subdivision Ordinances, the Planning Commission of the City of Wayzata makes the following findings of fact:

3.1 Subdivision / Preliminary and Final Plat.

- A. City review of the Preliminary and Final Plat simultaneously is appropriate under City Code Sec. 805.15.A.
- B. The Planning Commission finds that there would be no significant adverse effects of the proposed Preliminary and Final Plats based upon the following factors found in Section 805.14.E:
 - 1. The Subdivision and Project is consistent with the Wayzata Comprehensive Plan, which guides the Property to Low Density Single Family residential.
 - 2. The building pads associated with the Project have been carefully positioned so as to not impact sensitive areas on the Property, including the wetland and flood plain areas of the Property.
 - 3. The building pads associated with the Project have been selected and located with respect to natural topography and the existing residence to minimize filing or grading, and the alterations being proposed have received the required approvals of Minnehaha Creek Watershed District (MCWD) and would increase the cubic yards of the existing floodplain area.
 - 4. There are no existing stands of significant trees on the Property impacted by the Project.
 - 5. The Subdivision does not adversely impact the scale, pattern or character of the City, its neighborhoods, or its commercial areas, and would maintain the existing scale, pattern and character. The Project would help add to the more affordable housing stock in the City.
 - 6. The design of the lots, the building pads, and the site layout responds to and is reflective of the surrounding lots and neighborhood character.
 - 7. The lot sizes resulting from the Subdivision are similar to adjacent lots and lots found in the surrounding neighborhood.
 - 8. The architectural appearance, scale, mass, construction materials, proportion and scale of roof line and functional plan of the garage expansion proposed as part of the Project is planned to be similar to the characteristics and quality of existing residence and those in the surrounding neighborhood, though detailed plans are not known at this time.
 - 9. The Design Standards outlined in Section 9 of the Wayzata Zoning

Ordinance do not apply to the Property.

10. The proposed lot layout and building pads conforms with all performance standards contained in the Subdivision Ordinance.
11. The Subdivision will not tend to or actually depreciate the values of neighboring properties in the area in which it is proposed.
12. The Subdivision will be accommodated with existing public services, including those related to transportation and utility systems, and will not overburden the City's service capacity.

Section 4. RECOMMENDATION

4.1 Planning Commission Recommendation. Based on the findings in section 3 of this Report, the Planning Commission recommends approval of the Proposed Subdivision and Preliminary and Final Plats, subject to all of the following conditions:

- A. The Applicant must record the final plat with Hennepin County within one hundred twenty (120) days in conformance with Section 805.15.E.7 of the Subdivision Ordinance, and provide a recorded copy to the City.
- B. Prior to release of the final plat for filing at Hennepin County, the Applicant must pay the park dedication fees required by the subdivision ordinance in an amount of \$2,500 per new lot.
- C. The Applicant must enter into a development agreement with the City for the public utility improvements constructed as part of the Subdivision.
- D. Prior to construction activity on the Property, the Applicant or future homeowner must apply for and obtain all necessary building permits from the City. The building permit application must also include the following:
 1. The final grading & drainage plan, erosion control plan, utility plan, and civil details for each lot that have been reviewed and approved by the City Engineer.
 2. The final tree inventory, tree preservation plan, and tree replacement plan for each lot and any impacted right of way areas, that have been reviewed and approved by the City Forester.
 3. During construction, the Applicant must install chain-link tree protection fencing at the drip line of all trees to be preserved.

- E. The Applicant must build and complete the Project in conformance in all material respects with the plans depicted in the Application.
- F. All expenses of the City of Wayzata, including consultant, expert, legal, and planning incurred must be fully reimbursed by the Applicant.

Adopted by the Wayzata Planning Commission this 17th day of September 2018.

Voting For Approval Recommendation: Buchanan, Douglas, Flannigan, Iverson, Murray, Plantan

Voting Against Approval Recommendation: None

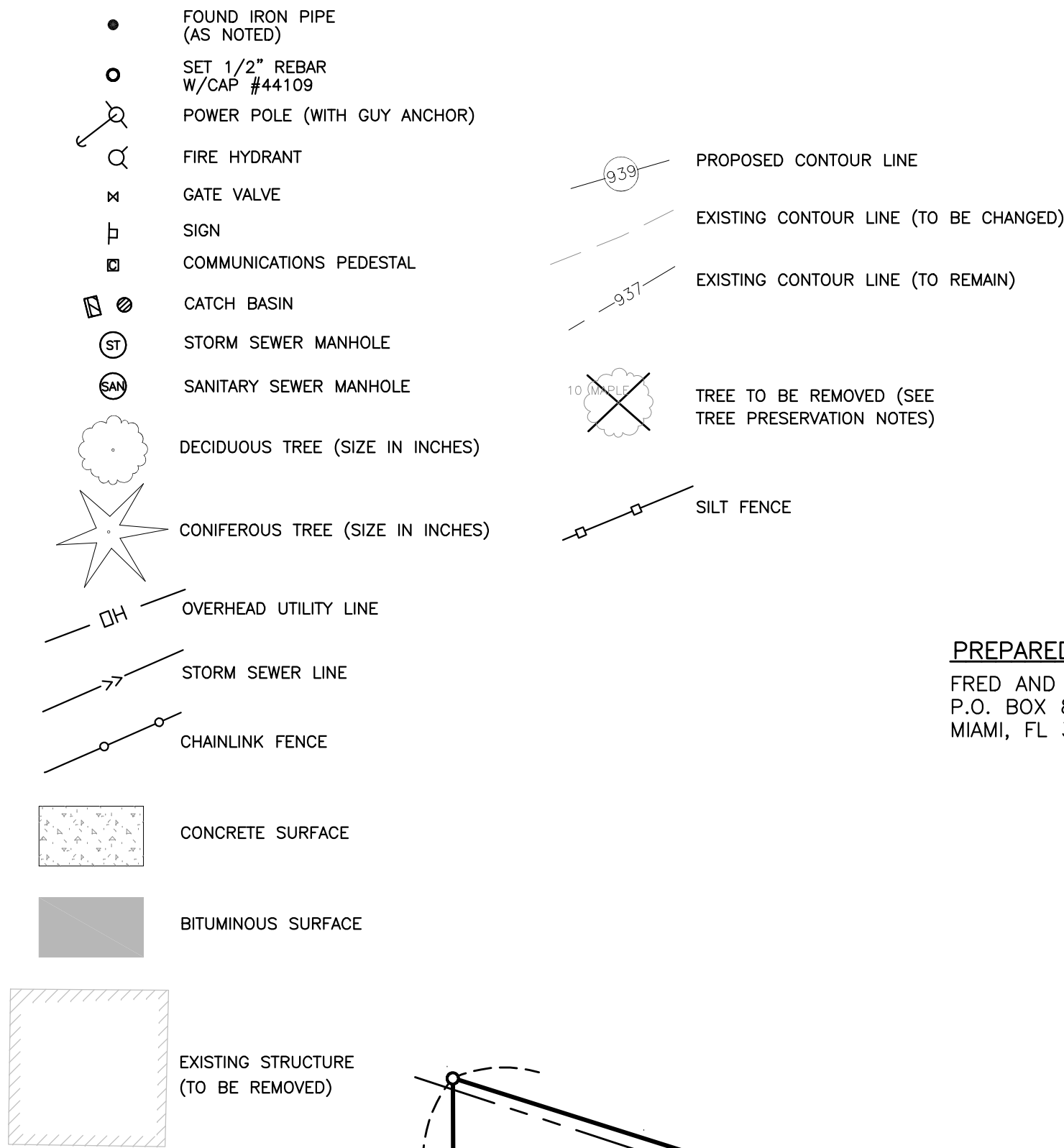
Abstaining: None

Absent: None

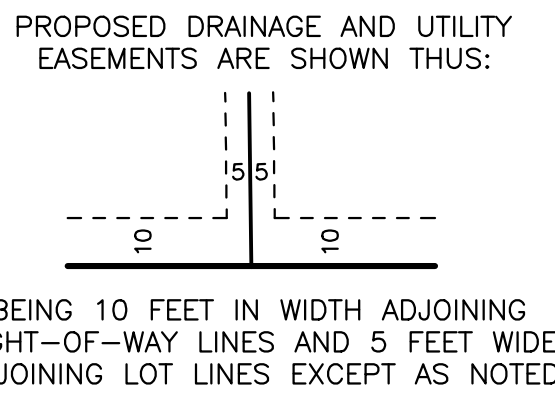
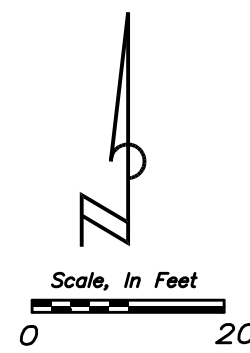
Attachment A
Subdivision Plans

DRAFT

LEGEND:



PRELIMINARY PLAT OF BENTON HARBOR
EXISTING AND PROPOSED GRADING AND TREE PRESERVATION



EXISTING PARCEL LEGAL DESCRIPTION (PID 06-117-22-11-0003) :

The South 165 feet of Lot Four, Dean's Park Outlots to Wayzata, except the East 175 feet and the South 25 feet thereof, and

The West 25 feet of the East 175 feet of the North 210 feet of the South 235 feet of Lot 4, Dean's Park Outlots to Wayzata.

EXCEPT: All that part of the following described tract:

The South 165 feet of Lot 4, except the East 175 feet and the South 25 feet thereof, Dean's Park Outlots to Wayzata,

which lies northerly of a line run parallel with and distant 115 feet southwesterly of the following described line:

Beginning at a point on the East line of Section 6, Township 117 North, Range 22 West, distant 1175.09 feet South of the northeast corner thereof; thence run northwesterly at an angle of 71°56'02" with said East section line for 400 feet and there terminating.

PROPOSED LEGAL DESCRIPTIONS:

LOTS 1-4, BLOCK 1, BENTON HARBOR, HENNEPIN COUNTY, MINNESOTA

EXISTING PARCEL LEGAL DESCRIPTION (PID 06-117-22-11-0005) :

That part of the East 1/2 front and rear of Lot 5, "Dean's Park Outlots To Wayzata" described as follows: Commencing at the Southwest corner of said Tract; thence North along the West line of said Tract 330 feet; thence East parallel with the South line of said Lot to the East line of said Lot; thence South along the East line of said Lot to the Southeast corner thereof; thence West along the South line of said Lot to the point of beginning; Which lies Southerly of a line run parallel with and distant 115 feet Southwesterly of the following described line: Beginning at a point on the East line of Section 6, Township 117, Range 22, distant 1175.09 feet South of the Northeast corner thereof; thence run Northwesterly at an angle of 71 degrees 56 minutes 02 seconds with said East Section line for 700 feet and there terminating;

Except that part of the above described Tract which lies Southerly of a line run parallel with and distant 20 feet Northerly of the following described line: Beginning at a point on the East line of said Section 6 distant 1333.11 feet South of the Northeast corner thereof; thence run Westerly at an angle of 89 degrees 06 minutes 30 seconds with said East Section line (when measured from South to West) for 500 feet and there terminating, Hennepin County, Minnesota.

GENERAL NOTES:

1) ADDRESS OF THE SUBJECT PROPERTY:
310 BENTON AVENUE NORTH, WAYZATA, MN 55391 (P.I.D.: 06-117-22-11-0005)
1023 GARDNER STREET, WAYZATA, MN 55391 (P.I.D.: 06-117-22-11-0003)

2) EXISTING PARCEL AREAS:
P.I.D.: 06-117-22-11-0005: 25,236 SQ. FT.
P.I.D.: 06-117-22-11-0003: 13,967 SQ. FT.

PROPOSED LOT AREAS:
LOT 1, BLOCK 1, BENTON HARBOR: 11,274 SQ. FT.
LOT 2, BLOCK 1, BENTON HARBOR: 9,806 SQ. FT.
LOT 3, BLOCK 1, BENTON HARBOR: 9,070 SQ. FT.
LOT 4, BLOCK 1, BENTON HARBOR: 9,024 SQ. FT.

4) BEARING BASIS IS ASSUMED.

5) DATE OF FIELDWORK: 1-11-2018

HARDCOVER CALCULATIONS:

NO LOT BUILDING COVERAGE TO EXCEED 30%
NO LOT TOTAL HARDCOVER TO EXCEED 35%

TREE PRESERVATION NOTES:

76 TOTAL CALIPER INCHES OF SIGNIFICANT TREES
76 X .25 = 19 TOTAL CALIPER INCHES REMOVAL ALLOWED
18+10+12 = 40 TOTAL CALIPER INCHES PROPOSED FOR REMOVAL
40-19 = 21 CALIPER INCHES OF NEW TREES NEEDED - PLACEMENT TO BE DETERMINED

REMAINING TREES TO BE PROTECTED BEHIND SILT FENCE / TREE PROTECTION FENCE AS SHOWN ON MAP

EROSION PROTECTION:

1) SILT FENCE TO BE PLACED ON SITE PERIMETER AS SHOWN ON MAP.
2) SEE EROSION CONTROL PLAN FOR MORE DETAIL

EARTHWORK VOLUMES:

EXISTING VOLUME OF WATER STORAGE WITHIN SITE (BELOW 937 ELEVATION) 528 CU. YDS

PROPOSED VOLUME OF WATER STORAGE WITHIN SITE (BELOW 937 ELEVATION) 649 CU. YDS

TOTAL ADDITIONAL FILL NEEDED: (55 CU. YDS.)

CERTIFICATION :

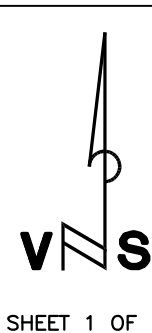
I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the state of Minnesota.

SIGNED : *Travis W. Van NESTE*

Travis W. Van NESTE, Minnesota Professional Surveyor #44109
Michigan Professional Surveyor #46695

JOB # 2017030	ISSUED: 6-29-2018
DRAWN BY: TWN	REV: 8-2-2018
SCALE: 1" = 20 FEET	

VAN NESTE SURVEYING
PROFESSIONAL SURVEYING SERVICES
85 WILDHURST ROAD EXCELSIOR, MN 55331
PHONE (952) 686-3055 TOLL-FREE FAX (866) 473-0120
WWW.VANNESTESURVEYING.COM



BENTON HARBOR ADDITION

Project Site Address:
310 Benton Avenue North, Wayzata, MN
1023 Gardener Street, Wayzata, MN

Project Owner: Fred and Patricia Johnson
PO Box 800345
Miami, FL 33280

I. Introduction

The purpose of this project is to remove the existing homes on the two addresses noted above. The combined property will be subdivided into four new lots for residential home construction. Improvements will consist of residential properties and new driveways.

Project Area:

Total Site Area – 39,173 square feet
Existing Area of Impervious Surface – 4,630 square feet (Existing buildings and driveways)
Post-Construction Area of Impervious Surface – 12,590 SF (Proposed Pad Area and driveways)
Total New Impervious Surface Area Created – 7,960 square feet

Responsible Parties

Owner – Contact: Fred and Patricia Johnson
PO Box 800345
Miami, FL 33280

- Civil Engineer – Contact: Kristie Elfering, P.E., Elfering & Associates
10062 Flanders Court NE
Blaine, MN 55449
Ph: (763) 780-0450 Ext. 2
kelfering@elferingeng.com

- Architect – Contact: Wes Sampson, Sharratt Design & Company
464 Second Street, Suite 100
Excelsior, MN 55331
Ph: (952) 470-9750
WSampson@sharrattdesign.com

- Responsible Party for Long Term O&M – N/A (Residential Lots)

II. Potential Areas for Storm Water Contamination

The following potential areas were identified as possible storm water contamination areas:

- Areas of vegetation disturbance for building and driveway construction
- Areas of utility service installation

III. Storm Water Management Controls

The controls will provide soil stabilization for disturbed areas and structural controls to divert runoff and remove sediment. Currently the site drains to the north. Care will be taken to provide restoration as soon as grading operations cease.

Vegetation in areas not needed for construction shall be preserved. The allowable amount of time a site can remain without stabilization when not being worked on is 7 days.

In the case where construction activity temporarily ceases for the amount of time listed above, stockpiles and disturbed portions of the site will be stabilized with temporary seed and mulch. The temporary seed shall be Mn/DOT Mixture 21-113 for seeding between May 1 and August 1 and Mn/DOT Mixture 21-112 after August 1. The Contractor will prepare each area for permanent restoration as soon as construction in that area is completed.

All disturbed pervious areas shall be restored with sod or seed.

IV. Best Management Practices

A. Site Wide Control Measures

To prevent soil from being transported off site, for both the undisturbed and disturbed areas of the site, the following BMPs will be implemented onsite:

- Construction sequencing will allow areas to be undisturbed until necessary for construction.
- The smallest vegetated area possible will be disturbed during construction.
- After construction in an area is completed, the Contractor shall immediately restore that area to its existing condition.
- Topsoil stockpiles will be stabilized with temporary seed and mulch no later than 3 days from the last construction activities that formed the stockpiles. The Rapid Stabilization Method 3 will be used to stabilize the topsoil. The Rapid Stabilization method includes quick temporary seed and quick release fertilizer. If necessary, this work shall be incidental to the project.
- Install silt fence around the disturbed area to prevent the migration of sediment.
- Inlet protection shall be installed on all structures downstream of the project area.
- Remove all soils and sediments tracked or otherwise deposited outside of the project area. If tracking occurs the City or Watershed may order sweeping to be completed at no cost with a pick-up broom sweep.
- All measures contained in this document shall be completed by the Contractor at no cost.

V. General Notes

- Construction site waste must be properly managed, such as discarded building materials, concrete truck washout, chemicals, litter and sanitary waste at the construction site.
- All temporary erosion and sediment control BMPs must be maintained until completion of construction and vegetation is established sufficiently to ensure stability of the site, as determined by the City and Watershed District
- All temporary erosion and sediment control BMPs must be removed upon final stabilization.
- The permittee must, at a minimum, inspect, maintain and repair all disturbed surfaces and all erosion and sediment control facilities and soil stabilization measures every day work is performed on the site and at least weekly until land disturbing activity has ceased. Thereafter, the permittee must perform these responsibilities at least weekly until vegetative cover is established. The permittee will maintain a log of activities under this section for inspection by the District on request.

VI. Maintenance

The following maintenance practices will be used to maintain erosion and sediment controls:

- Built up sediment shall be removed from silt fence within 24 hours when it has reached 1/3rd the height of the fence.
- Temporary and permanent seeding and/or planting will be inspected for bare spots and washouts.

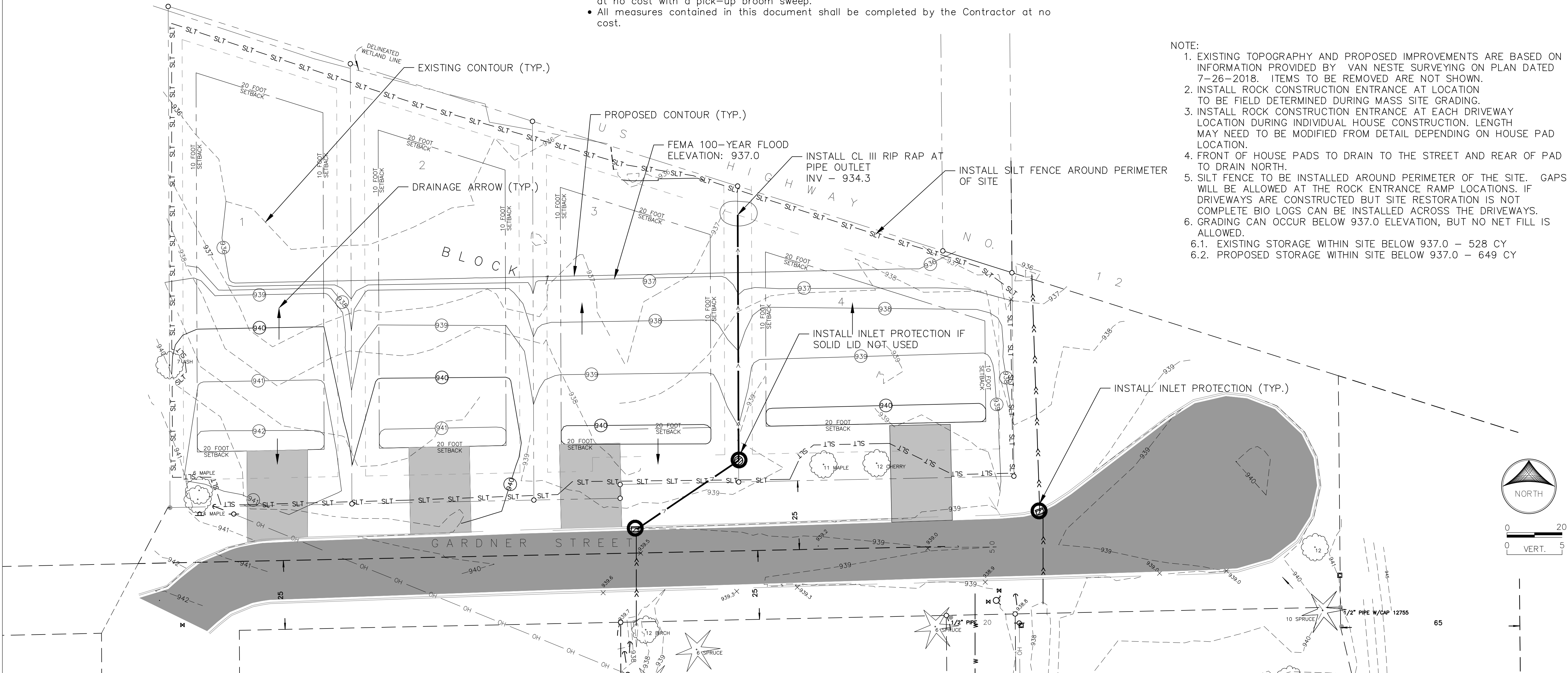
Receiving waters, including surface water, wetlands, and Public Waters are identified within one mile of the project boundary. All specific BMPs relative to construction activities listed in this permit for special and impaired waters should be incorporated into the plan.

Name of Water Body	Type	Appendix A Special Water	Impaired Water within 1 Mile
Minnetonka – Lower Lake	Lake	No	No
Gleason	Lake	No	Yes
Unnamed	Creek	No	No

Gleason Lake is impaired, however the site drains directly to the unnamed creek, which flows from Gleason Lake to Lake Minnetonka.

NOTE:

- EXISTING TOPOGRAPHY AND PROPOSED IMPROVEMENTS ARE BASED ON INFORMATION PROVIDED BY VAN NESTE SURVEYING ON PLAN DATED 7-26-2018. ITEMS TO BE REMOVED ARE NOT SHOWN.
- INSTALL ROCK CONSTRUCTION ENTRANCE AT LOCATION TO BE FIELD DETERMINED DURING MASS SITE GRADING.
- INSTALL ROCK CONSTRUCTION ENTRANCE AT EACH DRIVEWAY LOCATION DURING INDIVIDUAL HOUSE CONSTRUCTION. LENGTH MAY NEED TO BE MODIFIED FROM DETAIL DEPENDING ON HOUSE PAD LOCATION.
- FRONT OF HOUSE PADS TO DRAIN TO THE STREET AND REAR OF PAD TO DRAIN NORTH.
- SILT FENCE TO BE INSTALLED AROUND PERIMETER OF THE SITE. GAPS WILL BE ALLOWED AT THE ROCK ENTRANCE RAMP LOCATIONS. IF DRIVEWAYS ARE CONSTRUCTED BUT SITE RESTORATION IS NOT COMPLETE BIO LOGS CAN BE INSTALLED ACROSS THE DRIVEWAYS.
- GRADING CAN OCCUR BELOW 937.0 ELEVATION, BUT NO NET FILL IS ALLOWED.
- EXISTING STORAGE WITHIN SITE BELOW 937.0 – 528 CY
- PROPOSED STORAGE WITHIN SITE BELOW 937.0 – 649 CY



CONSULTANT



PROJECT INFORMATION

BENTON HARBOR

LOT 1 - LOT 4, BLOCK 1
HENNEPIN COUNTY, MN

DRAWING LOG

REV	DATE	DESCRIPTION
-----	------	-------------

PROFESSIONAL OF RECORD

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA

NAME: Kristie Elfering, P.E.
EXP DATE: 6/30/20
REG. NO.: 42350

STAMP

ISSUE DATE: 7/26/18

SHEET NO.

C1.00

PUBLICATIONS

Issued for Permit

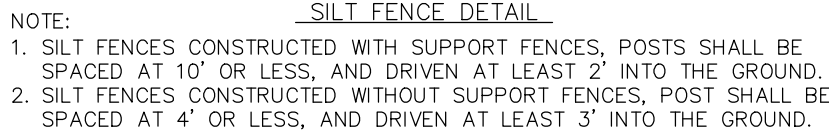
EROSION CONTROL PLAN

LOT 1 - LOT 4, BLOCK 1
HENNEPIN COUNTY, MN

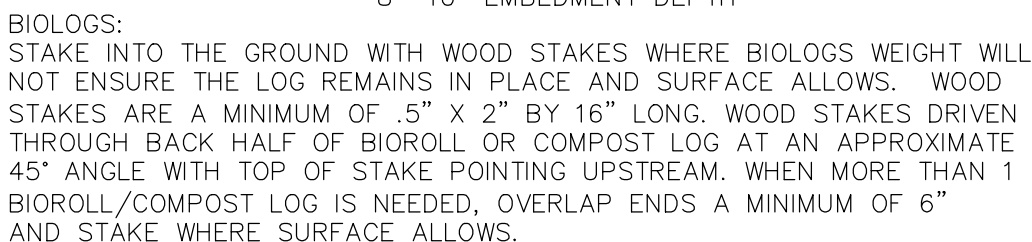
REV	DATE	DESCRIPTION
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Issued for Permit

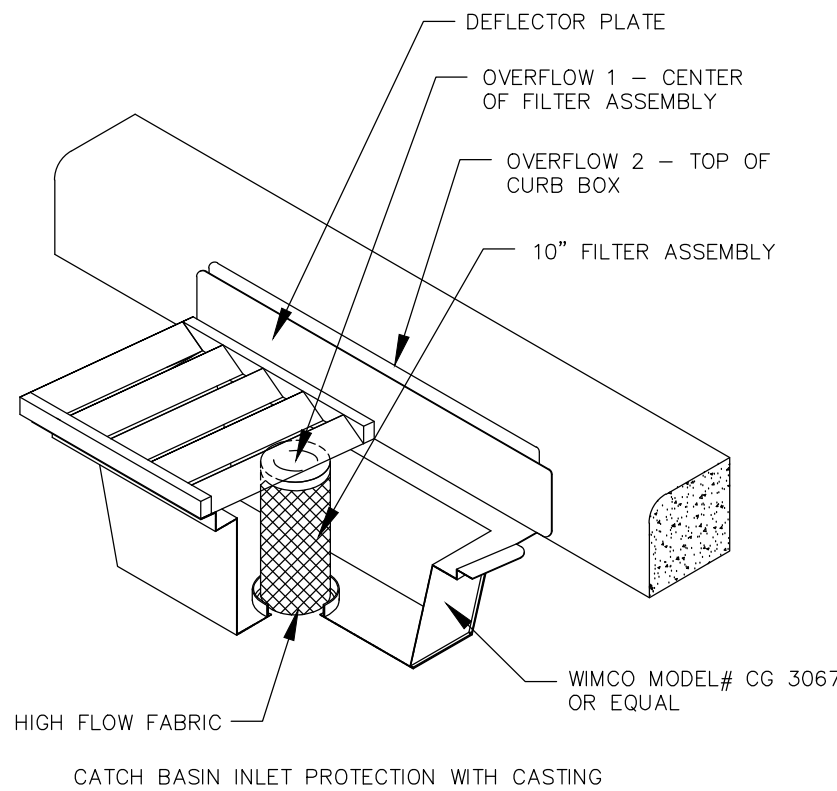
DETAILS



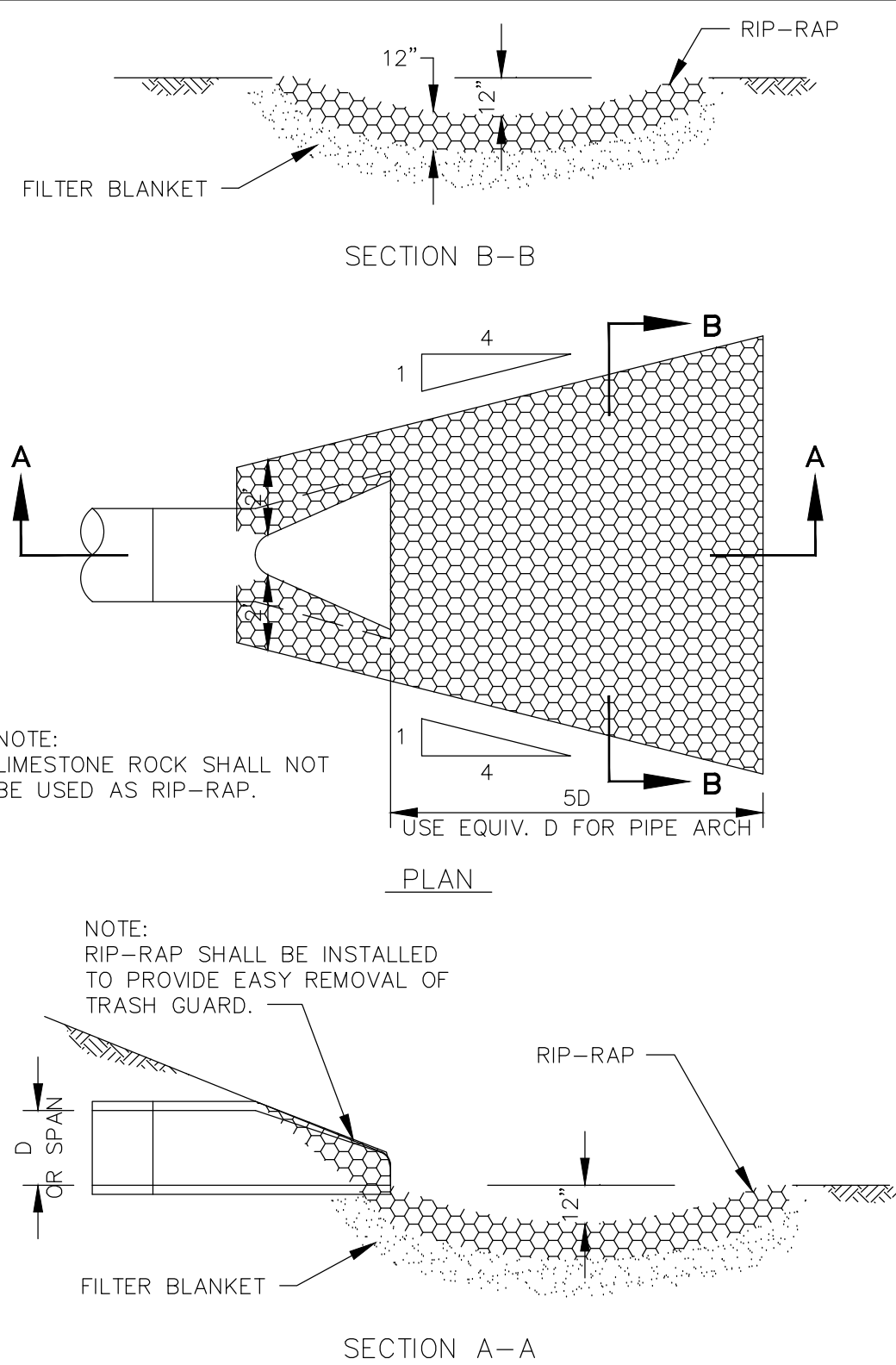
EROSION CONTROL DETAIL



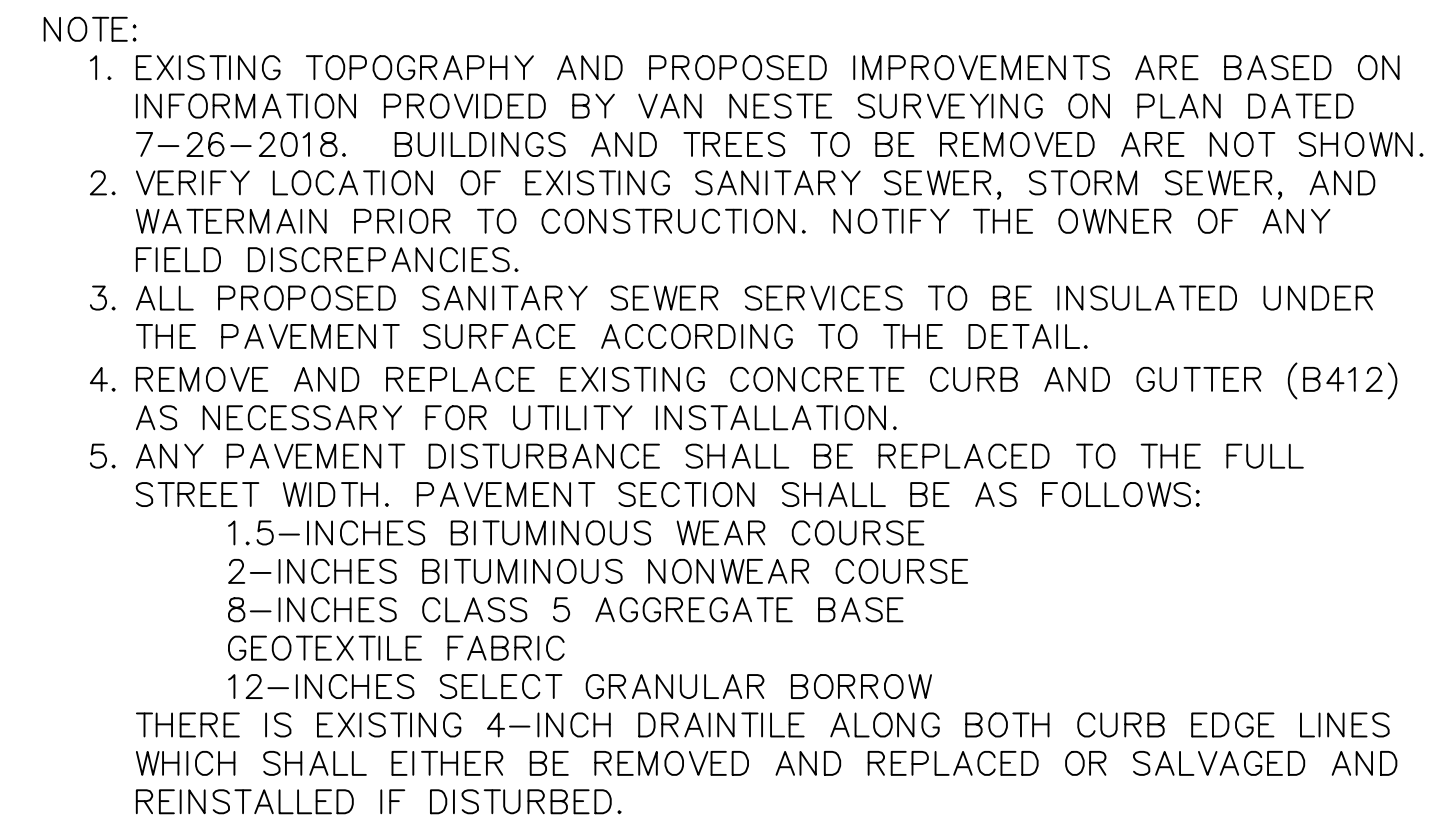
BIOLOG DETAIL



CATCH BASIN INLET PROTECTION



RIP-RAP INSTALLATION



EXISTING WATERMAIN SERVICE IS 5/8-INCH. VERIFY LOCATION OF EXISTING SANITARY SEWER AND WATERMAIN SERVICE. SANITARY SEWER SERVICE MUST BE A MINIMUM OF 4-INCH DIA. IF SMALLER REMOVE AND REPLACE SANITARY SERVICE FROM THE MAIN TO THE ROW. IF NEW SANITARY SEWER SERVICE IS INSTALLED CONSTRUCT NEW WATERMAIN SERVICE IN APPROPRIATE LOCATION AND ABANDON EXISTING IN-PLACE. ~~IF~~ SANITARY SEWER SERVICE IS NOT REPLACED REMOVE AND INSTALL NEW WATER SERVICE IN LOCATION OF EXISTING.



TRUE NORTH

BENTON HARBOR

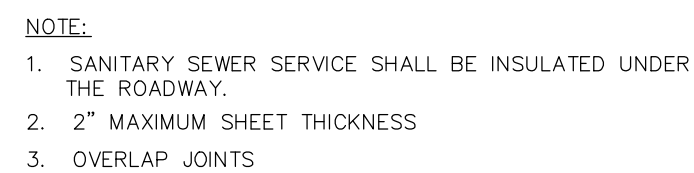
LOT 1 - LOT 4, BLOCK 1
HENNEPIN COUNTY, MN

REV	DATE	DESCRIPTION
-----	------	-------------

UTILITY PLAN

C3.00

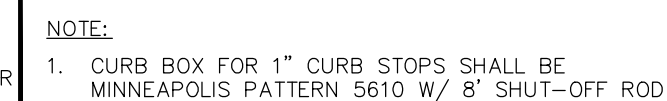
Issued for Permit



PIPE INSULATION DETAIL



TYPICAL SANITARY HOUSE SERVICE



TYPICAL WATERMAIN HOUSE SERVICE

BENTON HARBOR

R.T. DOC. NO. _____

C.R. DOC. NO. _____

Know all persons by these presents: that Invest Capital Group, LLC, a Minnesota limited liability company, fee owners of the following described property situated in the County of Hennepin, State of Minnesota, to wit:

That part of the East half front and rear of Lot 5, "Dean's Park Outlots To Wayzata" described as follows: Commencing at the Southwest corner of said Tract; thence North along the West line of said Tract 330 feet; thence East parallel with the South line of said Lot to the East line of said Lot; thence South along the East line of said Lot to the Southeast corner thereof; thence West along the South line of said Lot to the point of beginning; Which lies Southerly of a line run parallel with and distant 115 feet Southwesterly of the following described line:

Beginning at a point on the East line of Section 6, Township 117, Range 22, distant 1175.09 feet South of the Northeast corner thereof; thence run Northwesterly at an angle of 71 degrees 56 minutes 02 seconds with said East Section line for 700 feet and there terminating;

Except that part of the above described Tract which lies Southerly of a line run parallel with and distant 20 feet Northerly of the following described line: Beginning at a point on the East line of said Section 6 distant 1333.11 feet South of the Northeast corner thereof; thence run Westerly at an angle of 89 degrees 06 minutes 30 seconds with said East Section line (when measured from South to West) for 500 feet and there terminating
(Torrens Property)

and

The South 165 feet of Lot 4, "Dean's Park Outlots" to Wayzata, except the east 175 feet and the South 25 feet thereof, and the West 25 feet of the East 175 feet of the North 210 feet of the South 235 feet of Lot 4, Dean's Park Outlots to Wayzata.

Except: all that part of the following described tract: the South 165 feet of Lot 4, except the East 175 feet and the South 25 feet thereof, Dean's Park Outlots to Wayzata, which lies northerly of a line run parallel and 115 feet southwesterly of the following described line:

Beginning at a point on the East line of Section 6, Township 117 North, Range 22 West, distant 1175.09 feet South of the northeast corner thereof; thence run northwesterly at an angle of 71 degrees 56 minutes 02 seconds with said East section line for 400 feet and there terminating.

(Abstract Property)

Has caused the same to be surveyed and platted as BENTON HARBOR and does hereby dedicate to the public for public use the public way and the easements for drainage and utility purposes as shown on this plat.

In Witness whereof Invest Capital Group, LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this_____ day of _____, 20_____.

Signed: Invest Capital Group, LLC
by: _____, its _____

STATE OF _____
COUNTY OF _____

The foregoing instrument was acknowledged before me this _____ day of _____, 20_____, by _____, _____ of Invest Capital Group, LLC, a Minnesota limited liability company, on behalf of the company.

Notary Public, _____ County, Minnesota Printed Notary Name
My Commission Expires January 31, 20_____

SURVEYORS CERTIFICATE:

I Travis W. Van Neste do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on the plat have been or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this _____ Day of _____, 20 _____.

Travis W. Van Neste, Licensed Land Surveyor, Minnesota License No. 44109

STATE OF _____
COUNTY OF _____

This instrument was acknowledged before me this _____ day of _____, 20_____, by Travis W. Van Neste, a licensed Land Surveyor.

Notary Public, _____ County, Minnesota Printed Notary Name
My Commission Expires January 31, 20_____

CITY OF WAYZATA, MINNESOTA

This plat of BENTON HARBOR was approved and accepted by the City Council of Wayzata, Minnesota, at a regular meeting thereof held this _____ day of _____, 20_____. If applicable, the written comments and recommendations of the Commissioner of Transportation and the County Highway Engineer have been received by the City or the prescribed 30 day period has elapsed without receipt of such comments and recommendations, as provided by Minnesota Statutes, Section 505.03, Subd. 2.

CITY COUNCIL OF WAYZATA, MINNESOTA

By _____, Mayor By _____, Clerk

RESIDENT AND REAL ESTATE SERVICES, Hennepin County, Minnesota

I hereby certify that taxes payable in 20_____ and prior years have been paid for land described on this Plat, dated this _____ day of _____, 20_____.

Mark V. Chapin, County Auditor By _____, Deputy

SURVEY DIVISION, Hennepin County, Minnesota

Pursuant to MN. STAT. Sec. 383B.565 (1969), this Plat has been approved this _____ day of _____, 20_____.

Chris F. Mavis, County Surveyor By _____

REGISTRAR OF TITLES, Hennepin County, Minnesota

I hereby certify that the within plat of BENTON HARBOR was filed in this office this _____ day of _____, 20_____, at _____ o'clock ____M.

Martin McCormick, Registrar of Titles By _____, Deputy

COUNTY RECORDER, Hennepin County, Minnesota

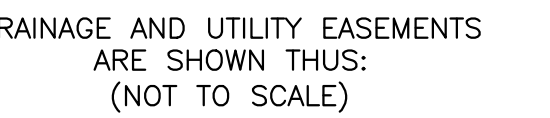
I hereby certify that the within plat of BENTON HARBOR was recorded in this office this _____ day of _____, 20_____, at _____ o'clock ____M.

Martin McCormick, County Recorder By _____, Deputy

R.T. DOC. NO. _____

C.R. DOC. NO. _____

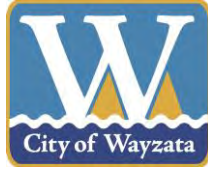
C.R. DOC. NO. _____



BEING 10 FEET IN WIDTH ADJOINING
RIGHT-OF-WAY LINES AND 5 FEET IN
WIDTH AND ADJOINING LOT LINES EXCEPT
AS NOTED

- DENOTES FOUND IRON MONUMENT
(AS NOTED)
- DENOTES 1/2 INCH REBAR
WITH CAP NO. 44109 SET

FOR THE PURPOSE OF THIS PLAT, THE
WEST LINE OF THE EAST 1/2 OF LOT 5,
"DEAN'S PARK OUTLOTS TO WAYZATA" IS
ASSUMED TO HAVE A BEARING OF
N00°12'23"W.



**Staff Report
September 17, 2018**

Project Name: Sanborn Residence
Addresses of Request: 1406 Holdridge La
Prepared by: PeggySue Imihy, Planning Consultant
Review by: Jeff Thomson, Director of Planning and Building
“60 Day” Deadline: September 30, 2018

Development Application

Introduction

The applicant, Erik Sanborn, has submitted building plans for construction of a new home at 1406 Holdridge Lane. The property is part of the Unitarian Universalist Church of Minnetonka (UUCM) PUD that was approved by the City Council in June 2016. The PUD includes the UUCM building and a single family residential lot to the east. The City Council resolution approving the PUD and subdivision included a condition that:

Prior to submitting a building permit application to the City for construction of a new house on the residential lot, the owner of the lot must submit preliminary house plans for review by the Planning Commission and approval by the City Council for compliance with the applicable standards of the subdivision ordinance.

The applicant has a purchase agreement for the single family residential lot, and has submitted the plans for the home for review and approval by the Planning Commission and City Council.

Project Location.

The property is located at 1406 Holdridge Lane, which is located east of the UUCM development on Wayzata Boulevard E:

Map 1: Project Location



The property identification number and owner of the property are as follows:

Address	PID	Owner
1406 Holdridge Lane	05-117-22-41-0027	Unitarian Universalist Church of Minnetonka

Relevant Property Information

Current zoning:	R-1: Low Density Single Family Residential
Comp plan designation:	One Acre Single Family
Total lot area:	30,419 sq. ft.

Surrounding Land Uses

The following table outlines the uses, zoning, and Comprehensive Plan land use designations for adjacent properties:

Direction	Adjacent Use	Zoning	Comp Plan Land Use Designation
North	Car Dealership	PUD	Service Commercial
East	Residential Neighborhood	R-1: Low Density Single Family Residential District	One Acre Single Family

South	Residential Neighborhood	R-1: Low Density Single Family Residential District	One Acre Single Family
West	Unitarian Universalist Church of Minnetonka	PUD	Institutional/ Public

Analysis of Application

Zoning

The following table outlines the zoning requirements for the property per the previously approved resolution for the Unitarian Universalist Church of Minnetonka PUD:

Table 1: Proposed House

	R-1 Requirements	Proposed
Front setback (Wayzata Blvd)	45 ft. (min.)	45 ft.
Front setback (Holdridge Lane)	45 ft. (min.)	45.4 ft.
Side setback (south)	20 ft.	21.6 ft.
Side setback (east)	20 ft.	45.0 ft.
Rear setback (west)	50 ft.	77.0 ft.
Lot coverage	15% (max.)	Undetermined
Impervious surface	25% (max.)	Undetermined
Height	40 ft. (mid-point) 45 ft. (peak)	35.8' 45.1'

House Plans

The plans submitted with the application include detailed elevations and floor plans for the new house. The proposed house would be two levels with a walk-out deck on the back of the home and an unfinished basement. The house would include a three car attached garage with driveway access onto Holdridge Lane. The exterior materials on the front of the house consist of brick. The exterior materials on the other sides of the house are not identified on the plans.

Building Height

The zoning ordinance established two separate maximum height requirements in the R-1 district – 40 feet to the mid-point and 45 feet to the peak. The proposed house meets the 40-foot height requirement, but the ridge of the house exceeds the maximum height by one inch. The final plans will need to be revised to meet the maximum height requirement.

Applicable Code Provisions for Review

Preliminary Plat Criteria (Section 805.14.E)

The City Council condition requiring review and approval of the home design on Lot 1 is based on the ordinance criteria for preliminary plat review pertaining to the proposed house:

8. The architectural appearance, scale, mass, construction materials, proportion and scale of roof line and functional plan of a building proposed on a lot to be divided or combined shall be similar to the characteristics and quality of existing development in the City, a neighborhood or commercial area.
9. The design, scale and massing of buildings proposed on a subdivided or combined lot shall be subject to the architectural guidelines and criteria for the Downtown Architectural District, Commercial and Institutional Architectural Districts, and Residential Architectural Districts and the Design Review Board/City Council review process outline in Section 9 of the Wayzata Zoning Ordinance.

Action Steps

After considering the items outlined in this report, the Planning Commission should consider making a motion which approves the preliminary house plans for 1406 Holdridge Lane, based on the finding that the design meets the standards of City Code Section 805.14.E.8 and 805.14.E.9, and satisfies the condition of Resolution No. 15-2016.

Attachments:

Proposed House Plans

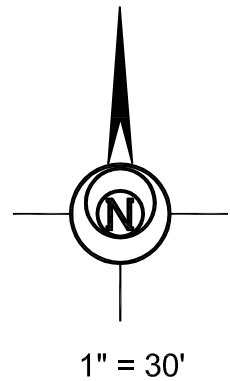
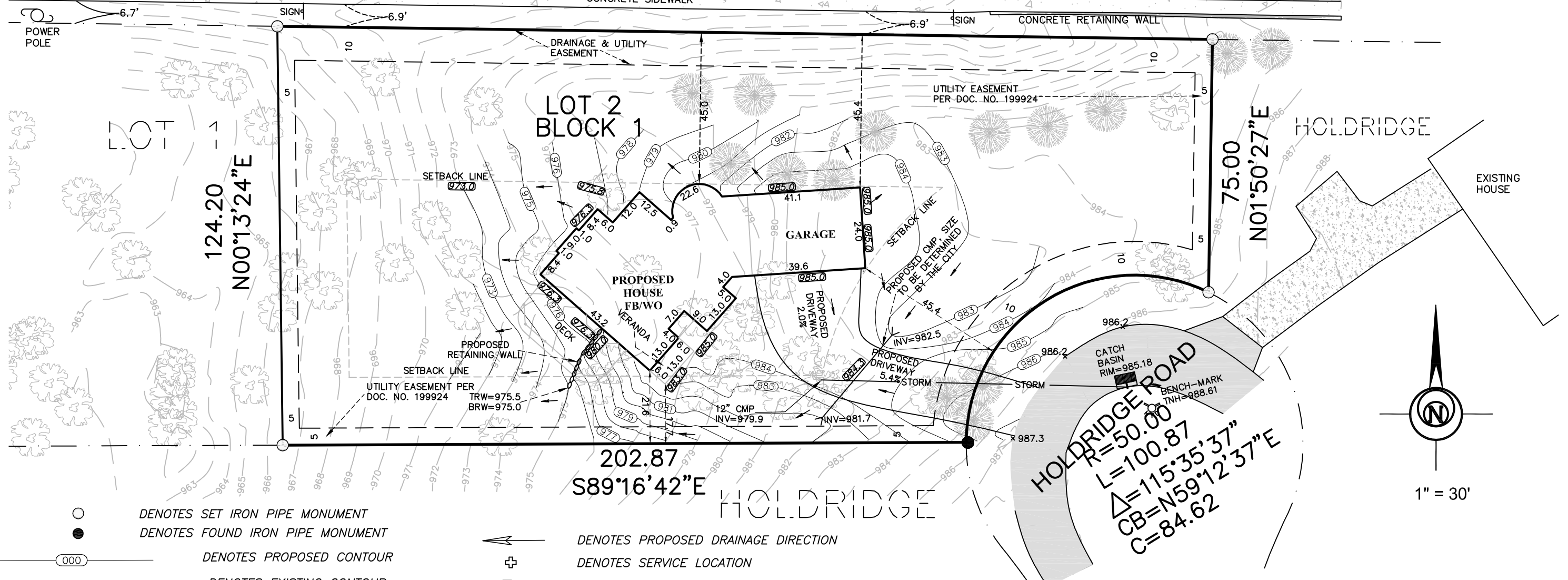
ADDRESS: 1406 HOLDRIDGE LANE

PROPOSED TOP OF WALL ELEV. = 986.0
PROPOSED GARAGE FLOOR ELEV. = 985.0
PROPOSED BASEMENT FLOOR ELEV. = 977.3

CERTIFICATE OF SURVEY

FOR
ERIK SANBORN

277.60 WAYZATA BLVD. E.
S88°14'57"E



○ DENOTES SET IRON PIPE MONUMENT
● DENOTES FOUND IRON PIPE MONUMENT
--- DENOTES PROPOSED CONTOUR
--- DENOTES EXISTING CONTOUR

← DENOTES PROPOSED DRAINAGE DIRECTION
+ DENOTES SERVICE LOCATION
□ DENOTES WOOD HUB
000.0 DENOTES EXISTING ELEVATION
000.0 DENOTES PROPOSED ELEVATION
HE=000.0 DENOTES HUB ELEVATION

○ DENOTES LEAFY TREE
○ DENOTES EVERGREEN TREE

--- DENOTES BITUMINOUS SURFACE
--- DENOTES CONCRETE SURFACE

PARCEL AREA = 30,603 SF

PROPERTY DESCRIPTION

LOT 2, BLOCK 1, UNITARIAN UNIVERSALIST CHURCH OF MINNETONKA, CITY OF WAYZATA, HENNEPIN COUNTY, MINNESOTA.

I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE: 6-27-18

Thomas J. O'Meara

THOMAS J. O'MEARA, LAND SURVEYOR
MINNESOTA LICENSE NO. 46167

**Bohlen
Surveying & Associates**

31432 Foliage Avenue
Northfield, MN 55057
Phone: (507) 645-7768
tomeara@bohlena.com

1682 Cliff Road E.
Burnsville, MN 55337
Phone: (952) 895-9212
Fax: (952) 895-9259

Z: \S\Projects\wayzata\holdridge\dwg\LOT2BLK1CERT.dwg 6/9/2017 1:55:27 PM CDT



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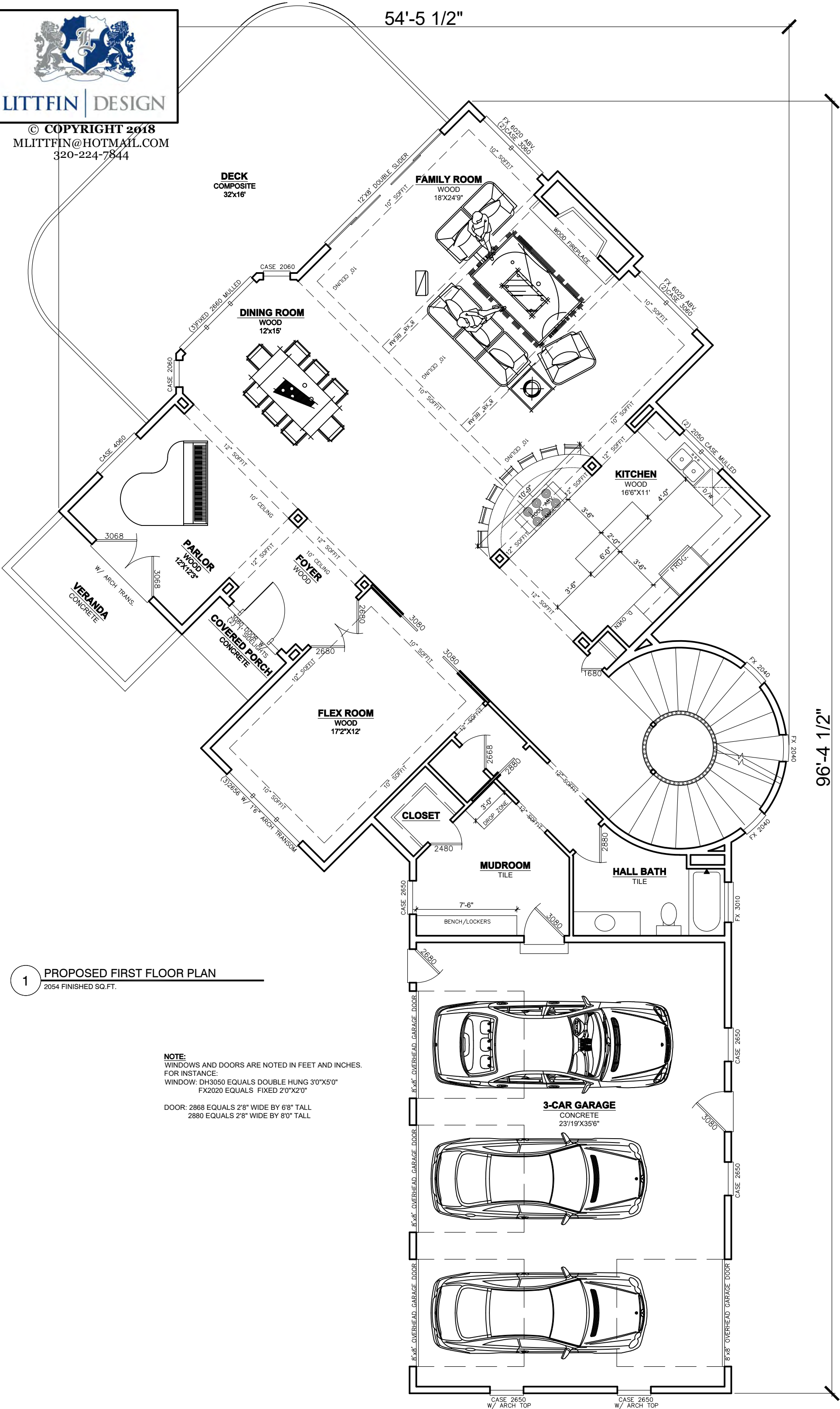


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320-224-7844



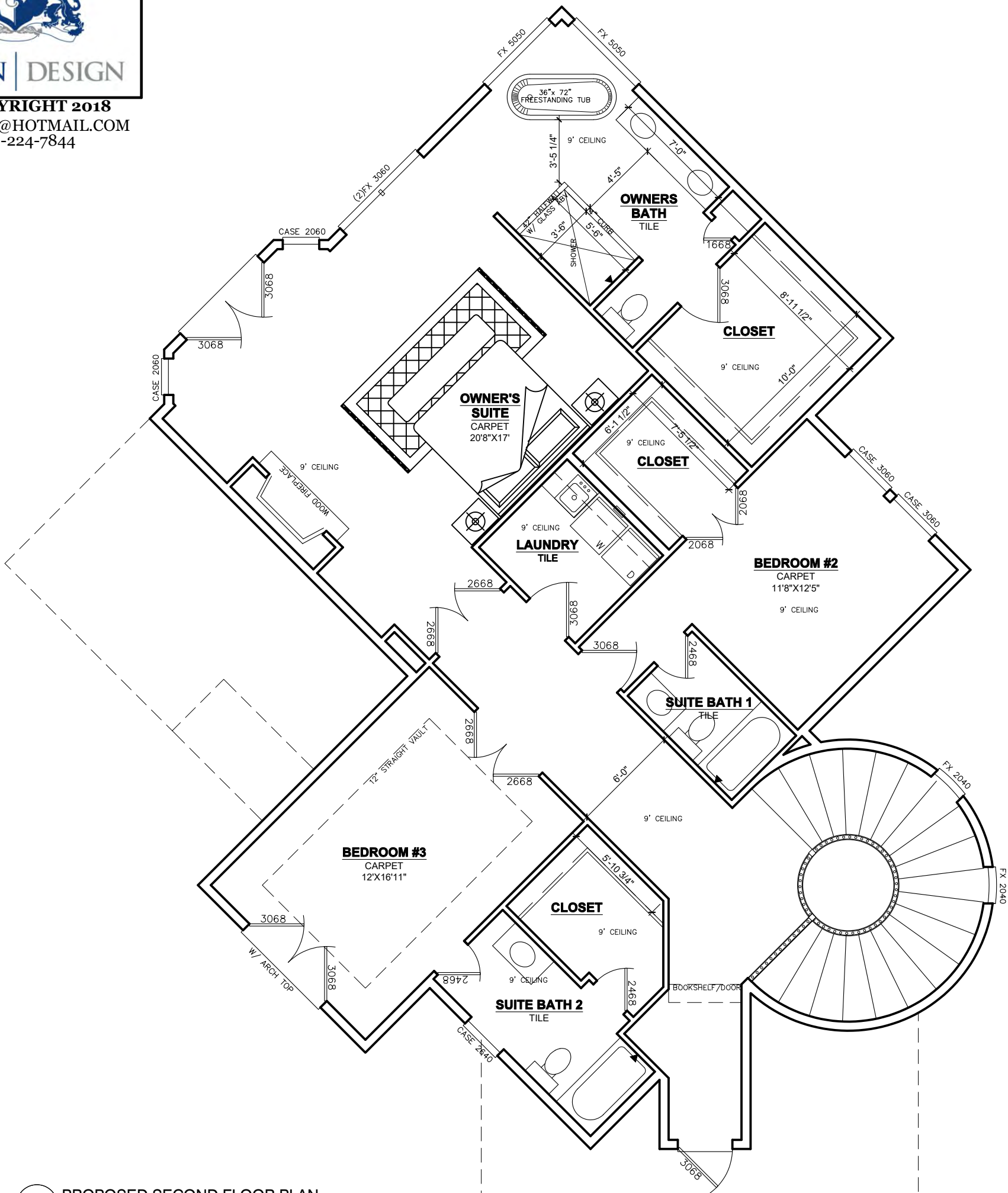


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2 PROPOSED SECOND FLOOR PLAN

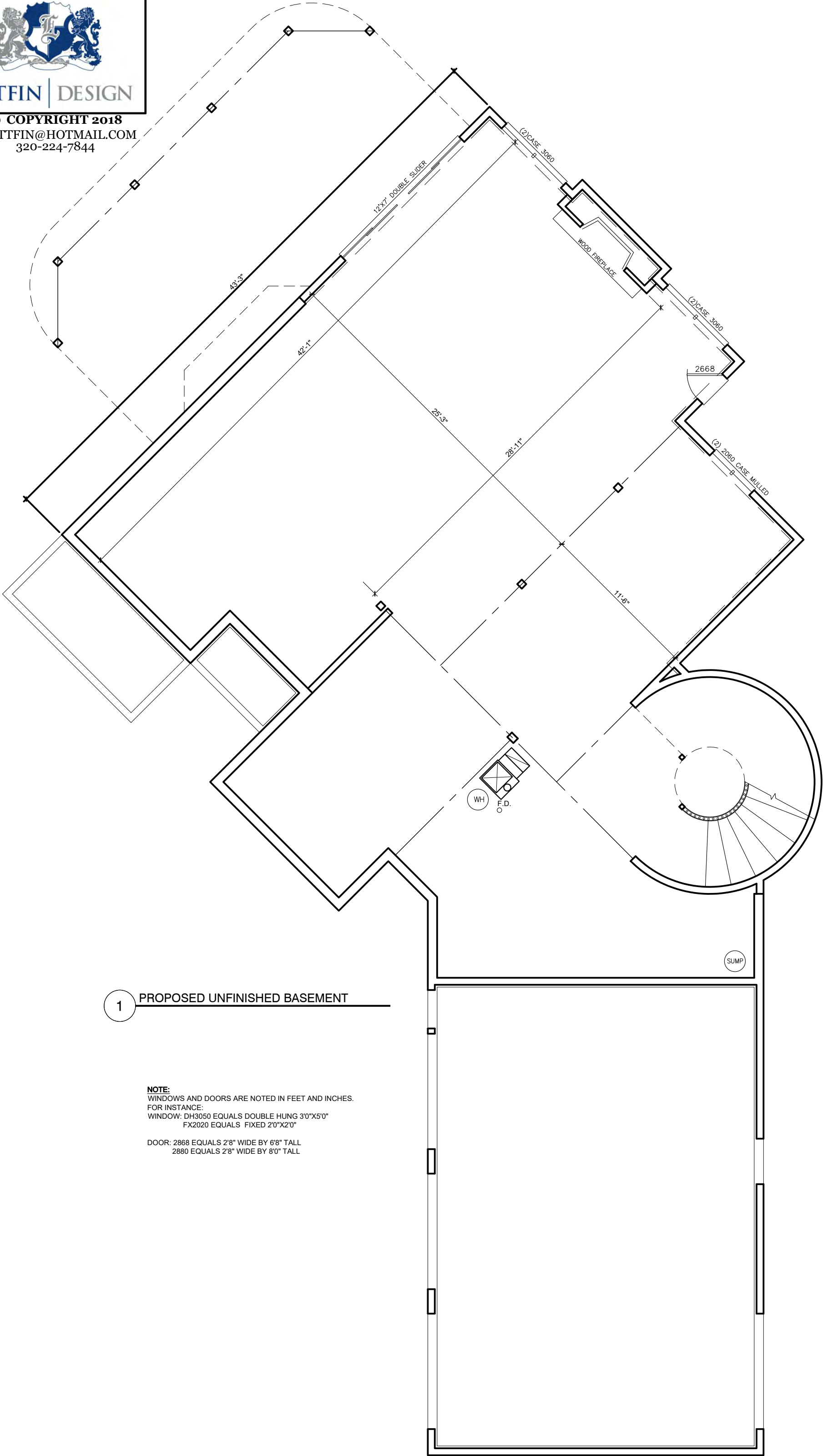
1605 FINISHED SQ.FT.

NOTE:
WINDOWS AND DOORS ARE NOTED IN FEET AND INCHES.
FOR INSTANCE:
WINDOW: DH3050 EQUALS DOUBLE HUNG 3'0"X5'0"
FX2020 EQUALS FIXED 2'0"X2'0"

DOOR: 2868 EQUALS 2'8" WIDE BY 6'8" TALL
2880 EQUALS 2'8" WIDE BY 8'0" TALL



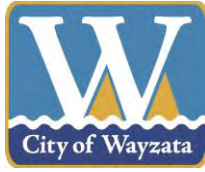
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320-224-7844



1 PROPOSED UNFINISHED BASEMENT

NOTE:
WINDOWS AND DOORS ARE NOTED IN FEET AND INCHES.
FOR INSTANCE:
WINDOW: DH3050 EQUALS DOUBLE HUNG 3'0"X5'0"
FX2020 EQUALS FIXED 2'0"X2'0"

DOOR: 2868 EQUALS 2'8" WIDE BY 6'8" TALL
2880 EQUALS 2'8" WIDE BY 8'0" TALL



**Staff Report
September 17, 2018**

Project Name Cadogan Residence
Applicant Detail Homes, Inc.
Addresses of Request: 321 Wise Ave S.
Prepared by: PeggySue Imihy, Planning Consultant
Review by: Jeff Thomson, Director of Planning and Building
“60 Day” Deadline: October 21, 2018

Development Application

Introduction

The applicant, Detail Homes, Inc., and the property owners, Brett & Allison Cadogan, have submitted a development application to construct a new house at 321 Wise Ave S.

Application Requests

The property is part of a three lot subdivision that was approved by the City Council in December 2008. The subdivision was subsequently filed at Hennepin County, but the lot does not have a single family dwelling. As a condition of the 2008 approval, the property owners are required to submit plan for review and approval by the Planning Commission and City Council, “depicting architectural appearance, scale, mass, construction materials, proportion and scale of roof line and functional plan of the building proposed to demonstrate similarity to the characteristics and quality of the existing homes in the neighborhood.” The property owners have purchased the vacant lot for construction of a single family home, and have submitted the plans for review and approval by the Planning Commission and City Council.

Property Information

The property identification number and owner of the property are as follows:

Address	PID	Owner
321 Wise Ave S	06-117-22-41-0075	Brett and Allison Cadogan

The current zoning and comprehensive plan land use designation for the property are as follows:

Current zoning:	R-3A/Single and Two Family Residential District
Comp plan designation:	Low Density Single Family
Overlay districts:	None

Project Location

The property is located on the west side of Wise Ave S between Circle Drive E and Central Ave S:

Map 1: Project Location



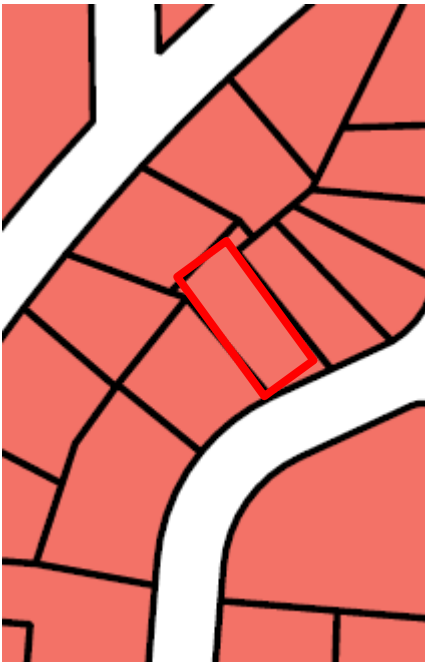
Adjacent Land Uses.

The following table outlines the uses, zoning, and Comprehensive Plan land use designations for adjacent properties:

Direction	Adjacent Use	Zoning	Comp Plan Land Use Designation
North	Circle Dr E Single family home	R-3A/Single and Two Family Residential District	Low Density Single Family
East	Single family home	R-3A/Single and Two Family Residential District	Low Density Single Family
South	Single family home	R-3A/Single and Two Family Residential District	Low Density Single Family
West	Single family home	R-3A/Single and Two Family Residential District	Low Density Single Family

Map 2: Adjacent Land Uses

Zoning



Comp Plan Land Use Designation



Analysis of Application

Proposed Plans

The applicant has submitted detailed house plans, including a site plan, building elevations, and floor plans. The proposed house would be one story with a tuck-under garage. The house would include 1,617 square feet with a one story garage on the lower

level. The exterior materials consist of Hardie board lap siding, Stucco, and stone veneer. The proposed house would meet all of the R-3A zoning requirements.

Zoning

The proposed house meets all of the requirements of the R-3A zoning district:

	R-3A Requirements	Proposed
Front yard setback	20 ft. (min)	30 ft.
Side yard setback	10 ft. (min)	10 ft. (east) 10 ft. (west)
Rear yard setback	20 ft. (min)	60 ft.
Lot coverage	30% (max.)	24.3%
Impervious surface	35% (max.)	30.8%
Building height	32 ft. (max.)	29 ft.
Garage size	750 sq. ft. (max.)	518 sq. ft.

Tree Preservation

The application materials include a tree inventory of the property. There are four (4) trees on the property that meet the minimum size requirements as either significant or heritage trees. The plans indicate that two (2) significant trees would be removed for construction of the home and associated grading. The one heritage tree on the property – a 40 inch oak on the rear of the lot – would be preserved. For construction of a home on a vacant lot, the City's tree preservation ordinance allows for removal of up to 25 percent of the inches of significant trees before mitigation is required. Based on the proposed tree removal, 32 inches of trees would need to be replaced on the site as part of a landscaping plan. The proposed plans do not include a tree replacement plan. The City's tree ordinance encourages tree replacement to occur on the site. If on-site tree replacement is not feasible due to site conditions or constraints, then the City may accept a fee-in-lieu of tree replacement for the required mitigation.

Applicable Code Provisions for Review

Preliminary Plat Criteria (Section 805.14.E)

The City Council condition requiring review and approval of the home design on Lot 2 is based on the ordinance criteria for preliminary plat review, which include the following factor:

8. The architectural appearance, scale, mass, construction materials, proportion and scale of roof line and functional plan of a building proposed on a lot to be divided or combined shall be similar to the characteristics and quality of existing development in the City, a neighborhood or commercial area.
9. The design, scale and massing of buildings proposed on a subdivided or combined lot shall be subject to the architectural guidelines and criteria for the Downtown Architectural District, Commercial and Institutional Architectural

Districts, and Residential Architectural Districts and the Design Review Board/City Council review process outline in Section 9 of the Wayzata Zoning Ordinance.

Action Steps

After considering the items outlined in this report, the Planning Commission should consider a motion which recommends the City Council approve the house plans for 321 Wise Ave S, based on the finding that the design meets the standards of City Code Section 805.14.E.8 and 805.14.E.9, and satisfies the conditions of Resolution No. 50-2008 approving the Ramsland Knoll subdivision.

Attachments

Proposed Plans

City Council Resolution Approving 2008 Subdivision

LEGAL DESCRIPTION:
Lot 4, Block 1, RAMSLAND KNOLL, Hennepin County, Minnesota.

SCOPE OF WORK & LIMITATIONS:

- Showing the length and direction of boundary lines of the legal description listed above. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct and that any matters of record, such as easements, that you wish to be included on the survey have been shown.
- Showing the location of observed existing improvements we deem necessary for the survey.
- Setting survey markers or verifying existing survey markers to establish the corners of the property.
- Showing and tabulating impervious surface coverage of the lot for your review and for the review of such governmental agencies that may have jurisdiction over these requirements to verify they are correctly shown before proceeding with construction.
- Showing elevations on the site at selected locations to give some indication of the topography of the site. We have also provided a benchmark for your use in determining elevations for construction on this site. The elevations shown relate only to the benchmark provided on this survey. Use that benchmark and check at least one other feature shown on the survey when determining other elevations for use on this site or before beginning construction.
- Note that all building dimensions and building tie dimensions to the property lines, are taken from the siding and or stucco of the building.
- While we show a proposed location for this home or addition, we are not as familiar with your proposed plans as you, your architect, or the builder are. Review our proposed location of the improvements and proposed yard grades carefully to verify that they match your plans before construction begins. Also, we are not as familiar with local codes and minimum requirements as the local building and zoning officials in this community are. Be sure to show this survey to said officials, or any other officials that may have jurisdiction over the proposed improvements and obtain their approvals before beginning construction or planning improvements to the property.
- While we show the building setback lines per the City of Wayzata web site, we suggest you show this survey to the appropriate city officials to be sure that the setback lines are shown correctly. Do this BEFORE you use this survey to design anything for this site.

STANDARD SYMBOLS & CONVENTIONS:

● Denotes iron survey marker, set, unless otherwise noted.

GRADING & EROSION CONTROL NOTES:

BEFORE DEMOLITION AND GRADING BEGIN

- Install silt fence/bio roll around the perimeter of the construction area.
- Sediment control measures must remain in place until final stabilization has been established and then shall be removed. Sediment controls may be removed to accommodate short term construction activity but must be replaced before the next rain.
- A temporary rock construction entrance shall be established at each access point to the site and a 6 inch layer of 1 to 2 inch rock extending at least 50 feet from the street into the site and shall be underlain with permeable geotextile fabric. The entrance shall be maintained during construction by top dressing or washing to prevent tracking or flow of sediments onto public streets, walks or alleys. Potential entrances that are not so protected shall be closed by fencing to prevent unprotected exit from the site.
- Contractor shall install inlet protection on all existing storm sewer inlets in accordance with the city standard details. Inlet protection shall also be provided on all proposed storm sewer inlets immediately following construction of the inlet. Inlet protection must be installed in a manner that will not impound water for extended periods of time or in a manner that presents a hazard to vehicular or pedestrian traffic.

DURING CONSTRUCTION:

- When dirt stockpiles have been created, a double row of silt fence shall be placed to prevent escape of sediment laden runoff and if the piles or other disturbed areas are to remain in place for more than 14 days, they shall be seeded with Minnesota Department of Transportation Seed Mixture 22-111 at 100 lb/acre followed by covering with spray mulch.
- A dumpster shall be placed on the site for prompt disposal of construction debris. These dumpsters shall be serviced regularly to prevent overflowing and blowing onto adjacent properties. Disposal of solid wastes from the site shall in accordance with Minnesota Pollution Control Agency requirements.
- A separate container shall be placed for disposal of hazardous waste. Hazardous wastes shall be disposed of in accordance with MPCA requirements.
- Concrete truck washout shall be in the plastic lined ditch and dispose of washings as solid waste.

- Sediment control devices shall be regularly inspected and after major rainfall events and shall be cleaned and repaired as necessary to provide downstream protection.
- Streets and other public ways shall be inspected daily and if litter or soils has been deposited it shall promptly be removed.
- If necessary, vehicles, that have mud on their wheels, shall be cleaned before exiting the site in the rock entrance areas.
- Moisture shall be applied to disturbed areas to control dust as needed.
- Portable toilet facilities shall be placed on site for use by workers and shall be properly maintained.
- If it becomes necessary to pump the excavation during construction, pump discharge shall be into the stockpile areas so that the double silt fence around these areas can filter the water before it leaves the site.
- Temporary erosion control shall be installed no later than 14 days after the site is first disturbed and shall consist of broadcast seeding with Minnesota Department of Transportation Seed Mixture 22-111 at 100 lb/acre followed by covering with spray mulch.
- Erosion control measures shown on the erosion control plan are the absolute minimum. The contractor shall install temporary earth dikes, sediment traps or basins and additional silt fencing as deemed necessary to control erosion.

SITE WORK COMPLETION:

- When final grading has been completed but before placement of seed or sod an "as built" survey shall be done per City of Wayzata requirements to insure that grading was properly done.
- When any remedial grading has been completed, sod or seeding shall be completed including any erosion control blankets for steep areas.
- When turf is established, silt fence and inlet protection and other erosion control devices shall be disposed of and adjacent streets, alleys and walks shall be cleaned as needed to deliver a site that is erosion resistant and clean.
- Contractor shall maintain positive drainage of a minimum 2% slope away from proposed building.

LEGEND

EXISTING CONTOUR --- 953 ---

EXISTING SPOT ELEVATION x 953.5

PROPOSED CONTOUR --- 953 ---

PROPOSED SPOT ELEVATION 953.5

DRAINAGE ARROW - FLOW ==>

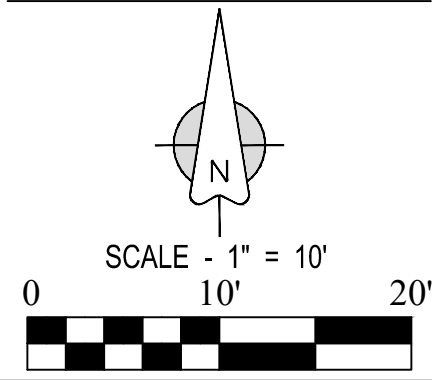
SILT FENCE/BIO ROLL --- SF ---

TREE REMOVAL

EXISTING HARDCOVER		PROPOSED HARDCOVER	
Shed	52 Sq. Ft.	House	1,617 Sq. Ft.
		Patio/Steps/Planter Box	242 Sq. Ft.
		Rear Stoop/Steps	28 Sq. Ft.
		Future Porch	252 Sq. Ft.
		Driveway	585 Sq. Ft.
		Shed	52 Sq. Ft.
TOTAL EXISTING HARDCOVER		TOTAL PROPOSED HARDCOVER	
52 Sq. Ft.		2,776 Sq. Ft.	
AREA OF LOT		9,012 Sq. Ft.	
PERCENTAGE OF HARDCOVER TO LOT		PERCENTAGE OF HARDCOVER TO LOT	
0.01%		30.8%	

DATE	REVISION DESCRIPTION

DRAWING ORIENTATION & SCALE



CLIENT NAME / JOB ADDRESS

WB BUILDERS

321 WISE AVENUE SOUTH
WAYZATA, MN

Advance
Surveying & Engineering, Co.

17917 Highway 7
Minnetonka, Minnesota 55345
Phone (952) 474-7964
Web: www.advsur.com

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Joshua S. Rinke
52716
LICENSE NO.
JUNE 13, 2017
DATE

DATE SURVEYED: JUNE 9, 2017

SURVEYED BY
ADVANCED SURVEYING. & ENG., CO.

DATE DRAFTED: JUNE 13, 2017

SHEET TITLE

PROPOSED SURVEY

DRAWING NUMBER

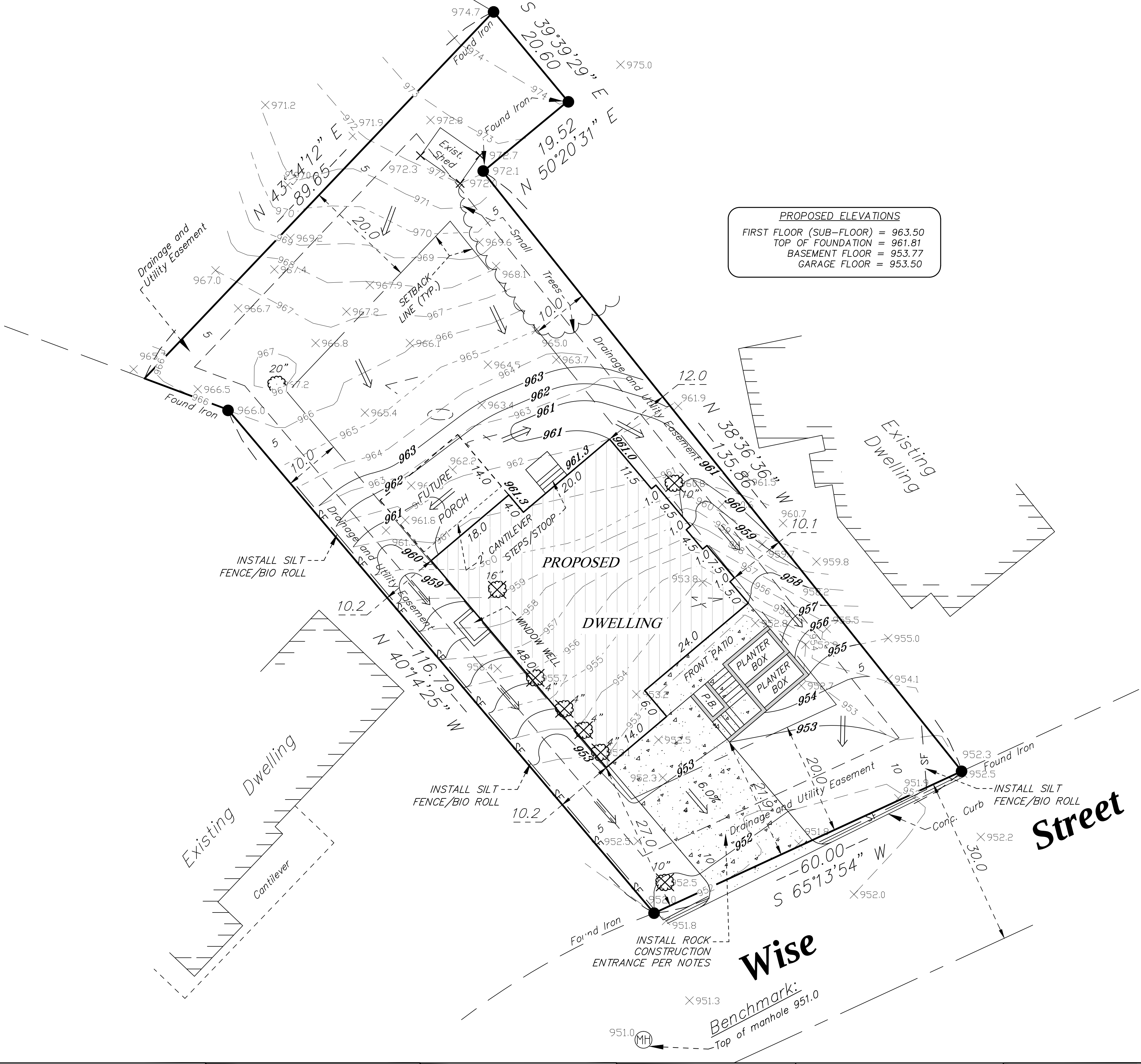
180622 JR

SHEET SIZE 22 X 34

SHEET NO.

S1

SHEET 1 OF 1





CADOGAN RESIDENCE

321 Wise Ave.
Wayzata, MN

Notes: Dimensions, details and conformation to all local codes are to be verified by owner and contractor prior to the start of construction. The designer of the home is not a licensed structural engineer or architect and will assume no responsibility for items including, but not limited to: construction technique, quality of material, workmanship, code adherence, safety, water proofing, insulation, radon, mold/mildew or other designs, specification or construction issues. It is recommended that a licensed engineer review all plans for structural integrity and verify that the home meets code for extraordinary wind or other natural stresses such as flooding, snowfall or substandard bearing soil. All structural members on the plans should be verified by the manufacturer and their licensed engineering staff. It is also recommended that a licensed contractor be commissioned to construct the home. All door and window sizes are approximate rough openings. Specific manufacturer sizes vary and egress openings should be confirmed prior to construction. The home should be finished and enclosed to meet local code. Sizes of material and products reflect accepted industry standards and in no way indicate a specific manufacturer. All building components to be installed and constructed to selected manufacturer specified installation techniques and in accordance with local building codes. Optional items may be shown on the home, within the landscape/site plan or in the rendering for illustrative purposes only. Consult builder for standard or included features. © David Charlez Designs 2018. Do not replicate with out permission (852)428-8200. David Charlez Design retains rights to all plans and detail shown.



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BUILDER
Detail Homes, Inc.
St. Paul, MN 55015

ISSUE
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PROJECT
Cadogan Residence
321 Wise Ave.
Wayzata, MN
PROJECT #
DET - Cadogan - CD's -
Rev.4

DRAWN BY
GM
DESCRIPTION
Title



SQ FT BREAKDOWN

SEE FINAL PAGE FOR SQUARE FOOTAGE CALCULATIONS

SEE FINAL PAGE FOR SQUARE FOOTAGE CALCULATIONS

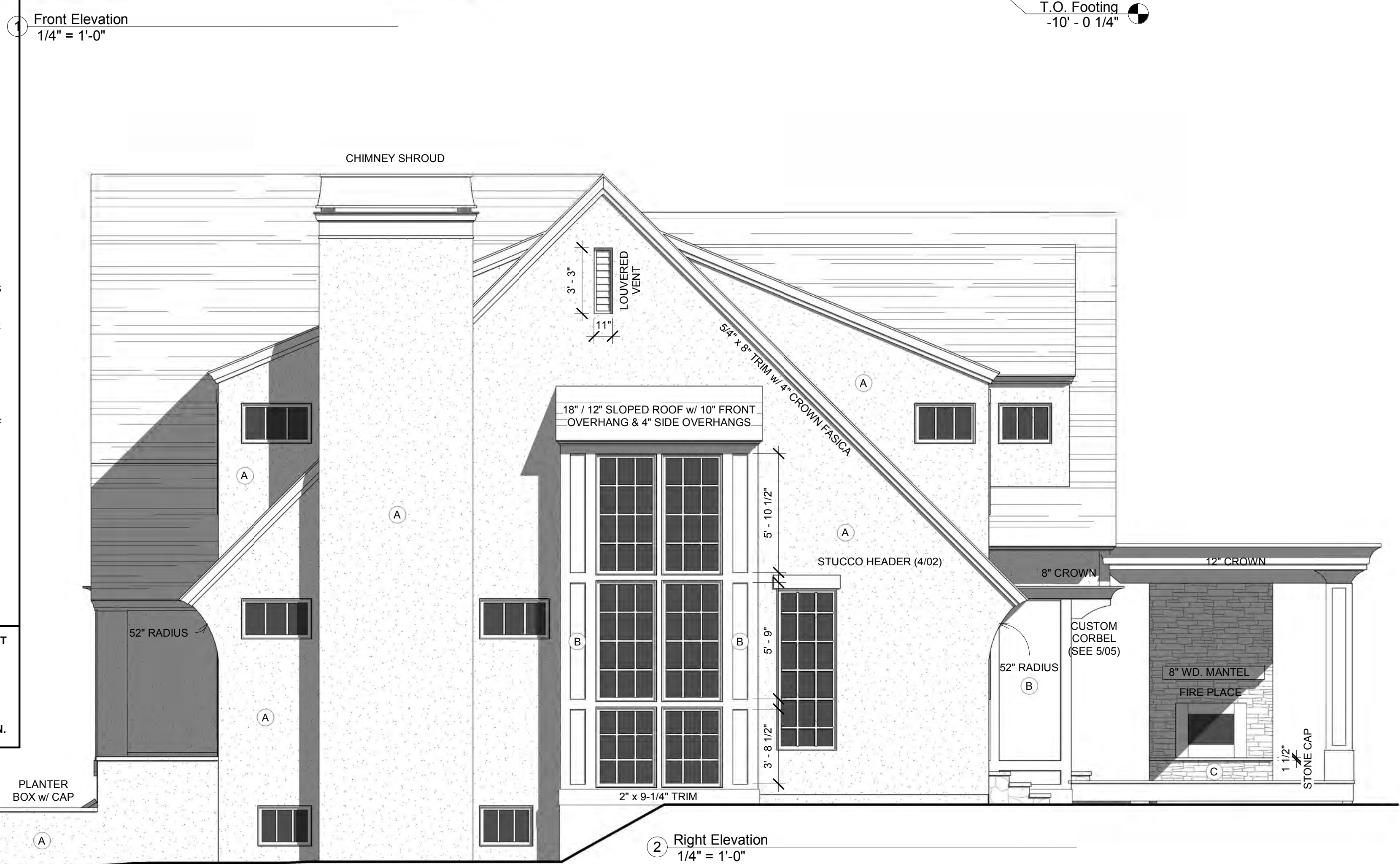
TYPICAL EXTERIOR MATERIALS	
	ASPHALT SHINGLES W/ NATURAL SHADOW ARCHITECTURAL GRADE
(A)	STUCCO PER ELEVATION
(B)	HARDIE PANEL SMOOTH PER ELEVATION
(C)	STONE VENEER PER ELEVATION
	INSTALL KICK OUT FLASHING & MEMBRANE TAR PAPER BACKING IN ALL STONE AREAS
	CUSTOM 8" STUCCO HEADERS PER ELEVATION
	5/4" x 8" TRIM w/ 4" CROWN FASICA PER ELEVATION
	COMPOSITE VENTED SOFFITS PER ELEVATION
	HOUSE WRAP AND/OR TAR PAPER IN PROPER FORM ON ENTIRE EXTERIOR

- | TYPICAL EXTERIOR MATERIALS | |
|----------------------------|--|
| | ASPHALT SHINGLES W/
NATURAL SHADOW
ARCHITECTURAL GRADE |
| (A) | STUCCO PER ELEVATION |
| (B) | HARDIE PANEL SMOOTH PER
ELEVATION |
| (C) | STONE VENEER PER
ELEVATION |
| | INSTALL KICK OUT FLASHING
& MEMBRANE TAR
PAPER BACKING IN ALL
STONE AREAS |
| | CUSTOM 8" STUCCO
HEADERS PER ELEVATION |
| | 5/4" x 8" TRIM w/ 4" CROWN
FASICA PER ELEVATION |
| | COMPOSITE VENTED SOFFITS
PER ELEVATION |
| | HOUSE WRAP AND/OR TAR
PAPER IN PROPER FORM ON
ENTIRE EXTERIOR |

STONE/STUCCO
ATTACHMENT

- STONE/STUCCO ATTACHMENT**
1. VERIFY COMPLIANCE WITH INSPECTOR WHEN PAPER IS COMPLETE IN ONE WINDOW AREA.
2. WEATHER RESISTIVE BARRIERS: INCLUDE 2 LAYERS OF GRADE D PAPER WITH WEATHER RESISTIVE BARRIERS OVER WOOD BASED SHEATHING. 15 OR 15# IS NOT GRADE D PAPER. LAP VERTICAL JOINTS IN PAPER AT LEAST 2 INCHES.
3. EXTERIOR OPENINGS FLASHED: FLASH ALL EXTERIOR OPENINGS. THE NAILING FLANGE ON WINDOWS **WILL NOT** BE ACCEPTED FOR FLASHING UNLESS THE MANUFACTURERS INSULATION INSTRUCTIONS ARE PROVIDED ON SITE STATING THE FLANGE IS ACCEPTABLE AS FLASHING.
4. WINDOW FLASHINGS: INSTALL PAPER ON BOTTOM AND SIDES OF WINDOW **BEFORE** INSTALLING WINDOW. PAPER LOCATED ON TOP OF WINDOW SHALL GO OVER THE WINDOW FLASHING. INSTALL A SECOND FLASHING PAPER OVER SIDE WINDOW FLANGES.
5. WINDOW OPENINGS: WATERPROOF WINDOW OPENINGS WITH CAULK, TAPE, CEMENT MATERIAL. ALL OTHER OPENINGS MUST BE WATERPROOFED WITH CAULK, TAPE, OR LIKE MATERIAL.
6. PAPER ENTIRE WALL: BUILDING PAPER MUST BE INSTALLED ON ALL EXTERIOR WALLS INCLUDING WITHIN THE SOFFIT. INSTALL PAPER IN SHINGLE FASHION TO ENSURE PROPER WATER DRAINAGE.
7. FLASHING: AT ALL WALL/ROOF INTERSECTIONS WHERE ROOF LINE DOES NOT EXTEND PAST KICKOUT FLASHING IS REQUIRED. ALL OTHER OPENINGS MUST BE FLASHED TO ENSURE PROPER WATERPROOFING.
8. WEEP SCREED: PROVIDE A CORROSION RESISTANT WEEP SCREED WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2" AT OR BELOW THE SOFFIT PLATE. TO ENSURE TRAPPED WATER HAS PROPER DRAINAGE TO EXTERIOR, SCREED SHALL BE A TYPE THAT ALLOWS FOR DRAINAGE AND MUST BE PLACED A MINIMUM OF 4" ABOVE EXTERIOR 2" ABOVE CEMENT. PLACE WEEP SCREEDS JUST BELOW PLATE LINE. IF PAPER HAS BEEN INSTALLED ON FOUNDATION, EXTEND WEEP SCREED ONTO FOUNDATION. ALL STUCCO MUST NOT EXTEND BELOW, BUT MUST COVER, ALL LATH AND PAPER.
- DAVID CHARLEZ DESIGNS DOES NOT ACCEPT ANY RESPONSIBILITY FOR STUCCO INSTALLATION OR WATERPROOFING TECHNIQUES. REFER TO MANUFACTURER AND INSTALLERS FOR PREFERRED INSTALLATION METHODS WHICH WILL DIFFER FROM WHAT IS SHOWN.**

**DAVID CHARLEZ DESIGNS DOES NOT
ACCEPT ANY RESPONSIBILITY FOR
STUCCO INSTALLATION OR
WATERPROOFING TECHNIQUES.
REFER TO MANUFACTURER AND
INSTALLERS FOR PREFERRED
INSTALLATION METHODS WHICH
WILL DIFFER FROM WHAT IS SHOWN.**



Notes: Dimensions, details and conformations to all local codes are to be verified by owner and contractor prior to the start of construction. The designer of the home is not a licensed structural engineer or architect without fee and no responsibility for items including, but not limited to: local codes, materials, quality of material, workmanship, code adherence, safety, water proofing, insulation, radon, mold/moisture or other designs, specification or construction issues. It is recommended that a licensed engineer review all plans for structural integrity and verify that the home meets code for extraordinary wind and/or the natural stress such as flooding, snow and/or substantial bearing soil. All structural members on the plans should be verified by the manufacturer and their engineering stamp. It is also recommended that a licensed contractor be commissioned to construct the home. All door and window openings are approximate rough openings. Specific manufacturer sizes vary and egress openings should be confirmed prior to construction. The home should be finished and enclosed to meet local code. Size of materials and products reflect applicable industry standards and in no way indicate a specific manufacturer. All building components to be installed or constructed to selected manufacturer's specified techniques and in accordance with local building codes. Optional items may be shown on the home, with the landscape site plan or in the rendering for illustrative purpose only. Consult builder for standards or included features. © David Channing Design 2018. Do not replicate without our permission. (512) 922-2000. DavidChanning.com

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DETAIL HOMES

BUILDER
Detail Homes, Inc.
St. Paul, MN 55015

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5/25/2018 2:
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PROJECT
Cadogan Residence
321 Wise Ave.

PROJECT #
DET - Cadogan - CD's -
Rev. 4

DRAWN BY
GM

DESCRIPTION

a

01

NOTE:
ANDERSEN WINDOWS (100 SERIES) ARE CALLED OUT BY WINDOW FRAME SIZE IN FEET. WINDOW MANUFACTURER TO SPECIFY CLOSEST MATCHING SIZES & VERIFY EGRESS COMPLIANCE AND PROVIDE WINDOW SCHEDULE WITH ROUGH OPENINGS. WINDOW & DOOR HEADERS TO BE 2X12X10 UNLESS NOTED (PER MFG. SPECS.)

ATTENTION:
BEAM SIZES & ALL STRUCTURAL CONSIDERATIONS SPECIFIED ON THIS SET OF PLANS MUST BE REVIEWED BY THE FLOOR SYSTEM DESIGNER OR BY A STRUCTURAL ENGINEER AND CONFIRMED TO BE STRUCTURALLY SOUND. BASED ON THAT REVIEW IF THERE ARE ANY CHANGES OR ADDED BEAM SIZES, LOCATION, ETC. THESE CHANGES MUST BE BROUGHT TO THE GENERAL CONTRACTORS ATTENTION.

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PROJECT
Cadogan Residence
321 Wise Ave.
Wayzata, MN

PROJECT #
DET - Cadogan - CD's - Rev.4

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GM

DESCRIPTION
Lower Level

a

02

ROOF, CEILING & EAVE CONSTRUCTION:

ARCHITECTURAL GRADE ASPHALT SHINGLES
#15FELT & ICE & WATER SHIELD (6'-0")
1/2" OSB SHEATHING w/STEEL CLIPS
TRUSSES @ 24" O.C. (PER MFG. SPEC.)
BAFFLES w/1" AIR SPACE
2X4 LOOKOUTS
5/4" x 8" HARDIE TRIM w/ 4" CROWN FASICA
COMPOSITE VENTED SOFFITS
COMPOSITE FRIEZE BOARDS
R-50 BLOWN INSULATION
POLY VAPOR BARRIER
5/8" GYP. BRD. CEILING

UPPER LEVEL CONSTRUCTION:

3/4" T&G PLYWOOD SUBFLOOR
GLUED & SCREWED
18" FLOOR TRUSSES @ 19.2" O.C.
(FLOOR SYSTEM DESIGNER TO VERIFY SIZE & SPACING BASED ON SPANS)
5/8" GYP. BRD. ON CEILING
SPRAY INSULATE RIMS (R-21)

WALL CONSTRUCTION:

SIDING PER ELEVATION
HOUSE WRAP (WRAP WINDOWS PER MFG. SPEC.)
1/2" OSB SHEATHING
2X6 STUDS @ 16" O.C.
DBL. TOP PLATE
R-21 WALL INSULATION
4 MIL. POLY VAPOR BARRIER
1/2" GYP. BRD.
2X6 SOLE PLATE
ALL DETAILS TO CONFORM W/ ENERGY CODE

MAIN LEVEL CONSTRUCTION:

3/4" T&G PLYWOOD SUBFLOOR
GLUED & SCREWED
18" FLOOR TRUSSES @ 19.2" O.C.
(FLOOR SYSTEM DESIGNER TO VERIFY SIZE & SPACING BASED ON SPANS)
FLASHING UNDER SILLS & STOOPS
TREATED 2X6 SILL PLATE w/ SEALER
1/2" ANCHOR BOLTS @ 6' O.C. & 1' FROM CORNERS
5/8" GYP. BRD. ON CEILING
SPRAY INSULATE RIMS (R-21)

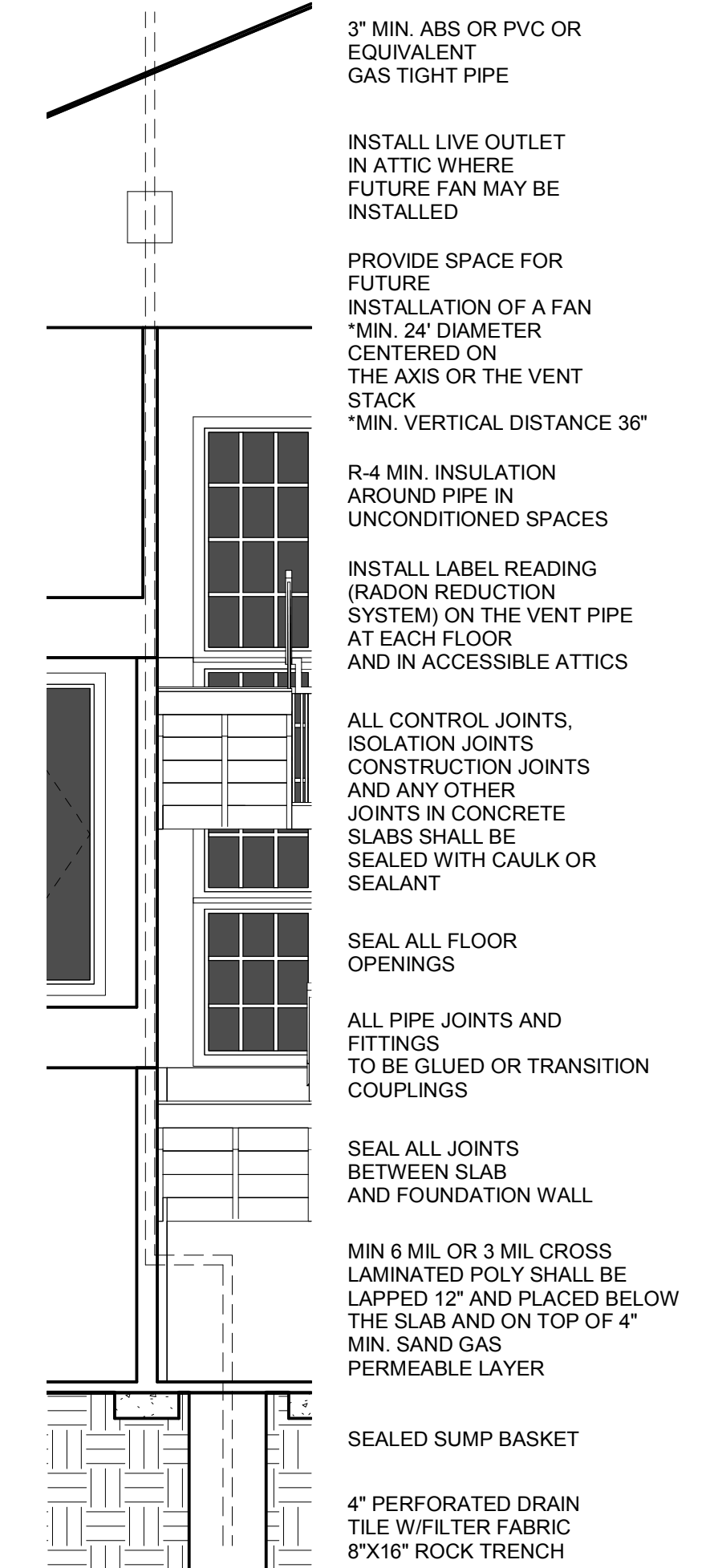
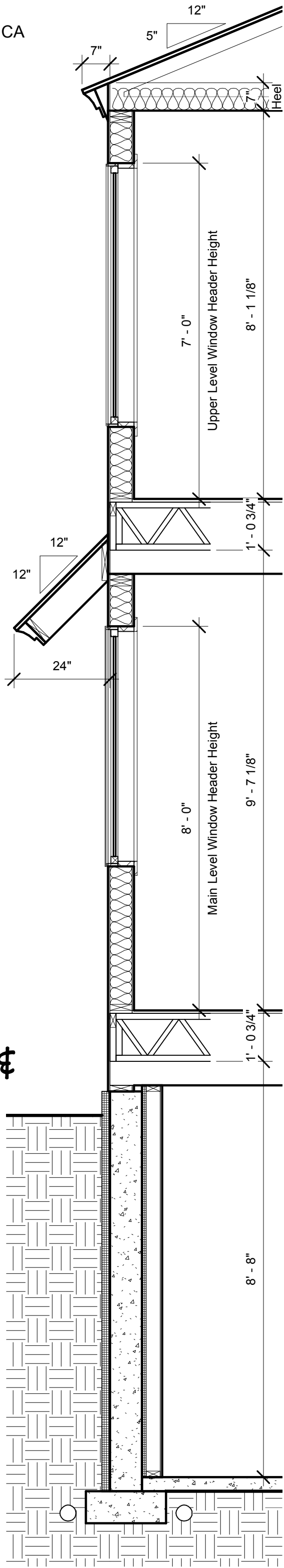
FOUNDATION WALL & BASEMENT SLAB CONSTRUCTION:

WATERPROOFING
EXTERIOR THERMAL WALL:
2" RIGID INSULATION (R-10) APPLIED TO EXTERIOR, PROVIDE FLASHING TO COVER EXPOSED INSULATION
POURED CONC. WALL PER PLAN
REINFORCE WALLS PER CODE AND ENGINEER'S SPECIFICATIONS
20" X 8" CONTINUOUS CONC. FOOTING UNLESS OTHERWISE NOTED
4" CONC. SLAB
VAPOR/MOISTURE BARRIER PER IRC SECTION 506 EXTENDING UP THE WALL AND SEALED TO FOUNDATION WALL
4" SAND/AGGREGATE FILL
IN-FLOOR HEAT PER PLAN

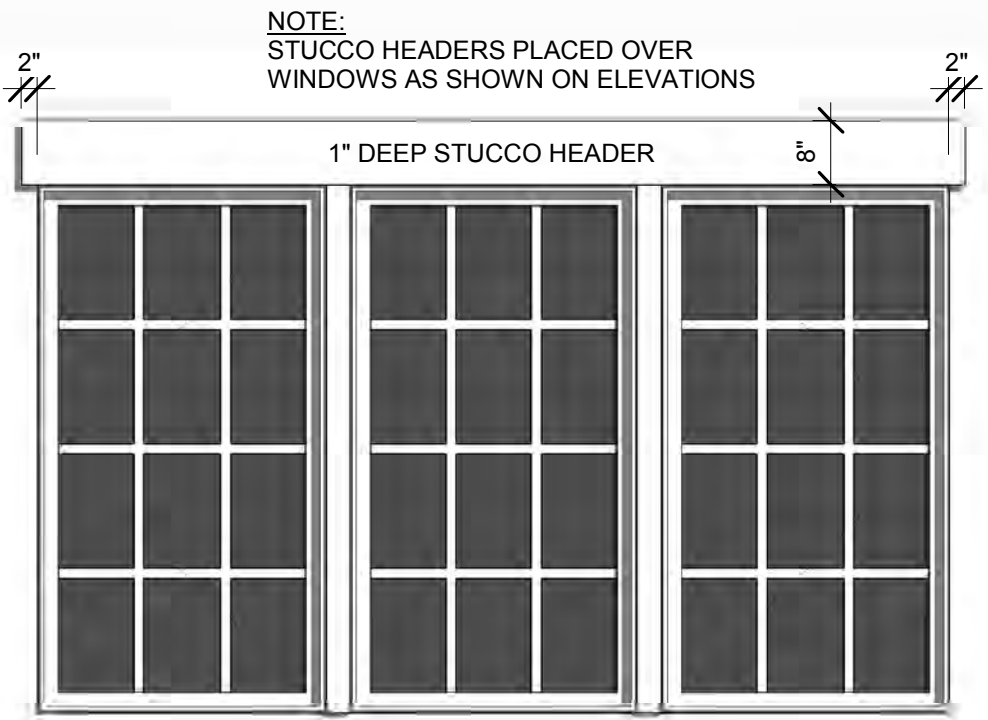
INTERIOR THERMAL WALL:
1" RIGID INSULATION (R-5)
2x4 STUDS @ 16" O.C.
2x4 TRD. PLATE
1/2" GYP BD.

INTERIOR & EXTERIOR 4" DIA. PERFORATED DRAIN TILE PIPED TO SUMP BASKET

2) Typical Wall Section
1/2" = 1'-0"



3) Passive Radon System
1/4" = 1'-0"



4) Detail - Stucco Header Detail
1/2" = 1'-0"

MAIN FND WALL:
8'-4"x8" POURED CONC.
FOUNDATION ON
20"x8" CONCRETE FOOTING
REBAR PER CODE

INTERIOR THERMAL WALL:
(UNEXPOSED WALLS ONLY)
1" AIRSPACE
2x4 STUDS @ 16" O.C.
2x4 TRD. PLATE
1/2" GYP BD.

INTERIOR THERMAL WALL:
(EXPOSED WALLS ONLY)
1" RIGID INSULATION (R-5)
2x4 STUDS @ 16" O.C.
2x4 TRD. PLATE
1/2" GYP BD.

EXTERIOR THERMAL WALL:
2" RIGID INSULATION
SYSTEM (R-10) APPLIED TO
EXTERIOR
PROVIDE FLASHING

TYPICAL SLAB CONSTRUCTION:
4" CONCRETE SLAB OVER
POLYVAPOR BARRIER OVER
SAND BED GRANULAR FILL

NOTE:
DIMENSIONS ARE TO EDGE OF CONCRETE AND
EDGE OF FRAMING

FLOOR TRUSSES ARE CALLED OUT AT 19.2" O.C.
FLOOR SYSTEM DESIGNER VERIFY SPACING AND
ADJUST AS ALLOWED BY SPANS

CEILING HEIGHT @ 8'-2" UNLESS NOTED
SET WINDOW HDRS @ 84" FROM CONCRETE FLOOR
UNLESS NOTED

NOTE:
PLANTER BOX WALL HEIGHTS MAY
VARY PER FINAL GRADE SLOPES. SITE
DETERMINE SIZING OF WALLS AND
POUR ACCORDINGLY.

PLANTER BOX WALLS:
3'-6"x10" POURED CONCRETE
FOUNDATION ON
20"x8" CONCRETE FOOTING
REBAR PER CODE

GARAGE WALK OUT WALL:
2X6 STUDS @ 16" O.C.
3'-6"x10" POURED CONCRETE
FOUNDATION ON
20"x8" CONCRETE FOOTING
REBAR PER CODE
PROVIDE 3 1/2"x5 1/2"
POUR ON TOP OF 10" WALL
UNDER 2X6 WALL

GARAGE FND WALL #2:
2X6 STUDS @ 16" O.C.
3'-8"x10" POURED CONCRETE
FOUNDATION ON
20"x8" CONCRETE FOOTING
REBAR PER CODE
PROVIDE 3 1/2"x5 1/2"
POUR ON TOP OF 10" WALL
UNDER 2X6 WALL

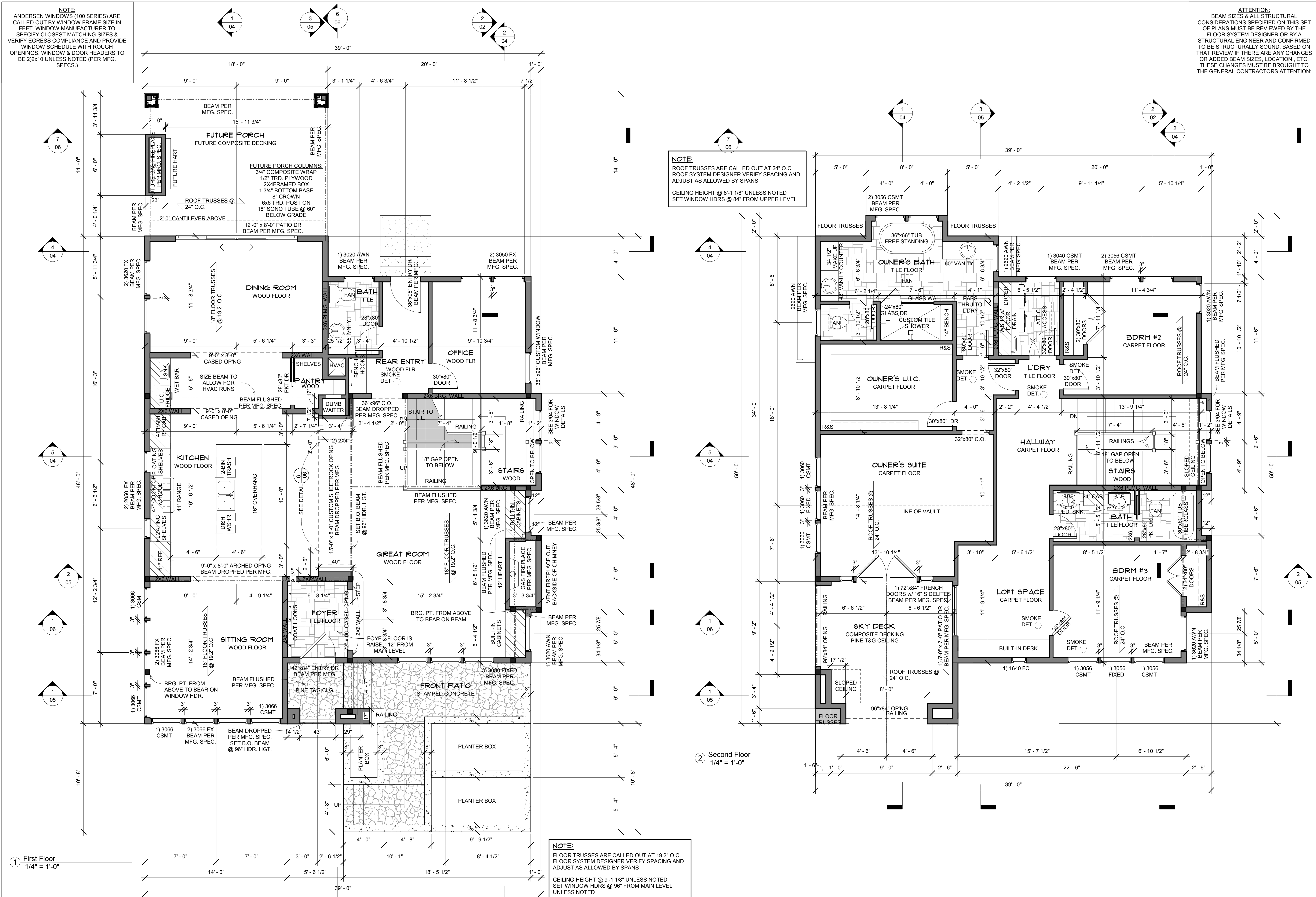
GARAGE FND WALL #1:
11X6-1/2" POURED CONC.
FOUNDATION ON
20"x8" CONCRETE FOOTING
REBAR PER CODE

NOTE:
2" SLAB LEDGE ON BOTH SIDES
OF 10" FROST FOOTINGS THAT
SHARE A COMMON WALL WITH
GARAGE/HOUSE

EGRESS PIT FND WALL:
8'-4" x 8" POURED CONC.
FOUNDATION ON
20" x 8" CONCRETE
FOOTING

FUTURE PORCH FOOTINGS:
8x6 TREATED POST ON
18" DIA SONO TUBE @
42" BELOW GRADE

1) Basement
1/4" = 1'-0"



NOTE:
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ATTENTION:
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NOTE:
ROOF TRUSSES ARE CALLED OUT AT 24" O.C. ROOF SYSTEM DESIGNER VERIFY SPACING AND ADJUST AS ALLOWED BY SPANS
CEILING HEIGHT @ 8'-1 1/8" UNLESS NOTED SET WINDOW HDRS @ 84" FROM UPPER LEVEL

NOTE:
FLOOR TRUSSES ARE CALLED OUT AT 19.2" O.C. FLOOR SYSTEM DESIGNER VERIFY SPACING AND ADJUST AS ALLOWED BY SPANS
CEILING HEIGHT @ 9'-1 1/8" UNLESS NOTED SET WINDOW HDRS @ 96" FROM MAIN LEVEL UNLESS NOTED

Notes: Dimensions, details and conformation to all local codes are to be verified by owner and contractor prior to the start of construction. The designer of the home is not a licensed structural engineer or architect and will assume no responsibility for items including, but not limited to: construction techniques, quality of material, workmanship, code adherence, safety, water proofing, insulation, radon, mold/mildew or other designs, specification or construction issues. It is recommended that a licensed engineer review all plans for structural integrity and verify that the home meets code for extraordinary wind or other natural stresses such as flooding, snowfall or substandard bearing soil. All structural members on the plans should be verified by the manufacturer and their licensed engineering staff. It is also recommended that a licensed contractor be commissioned to construct the home. All door and window sizes are approximate rough openings. Specific manufacturer sizes vary and egress openings should be confirmed prior to construction. The home should be finished and enclosed to meet local code. Sizes of material and products reflect accepted industry standards and in no way indicate a specific manufacturer. All building components to be installed and constructed to selected manufacturer specified installation techniques and in accordance with local building codes. Optional items may be shown on the home, within the landscaping plan or in the rendering for illustrative purposes only. Consult builder for standard or included features. © David Charles Designs 2016. Do not replicate with out permission (852428-8200). David Charles Design retains rights to all plans and detail shown.

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TEL: 952.428.8200
EM: Dave@DavidCharlesDesigns.com

DETAIL HOMES

DAVID CHARLEZ DESIGNS

BUILDER

Detail Homes, Inc.
St. Paul, MN 55015

ISSUE

02.26.2018

RE-ISSUE

5/25/2018 2:30:53 PM

PROJECT

Cadogan Residence
321 Wise Ave.
Wayzata, MN

PROJECT #

DET - Cadogan - CD's - Rev.4

DRAWN BY

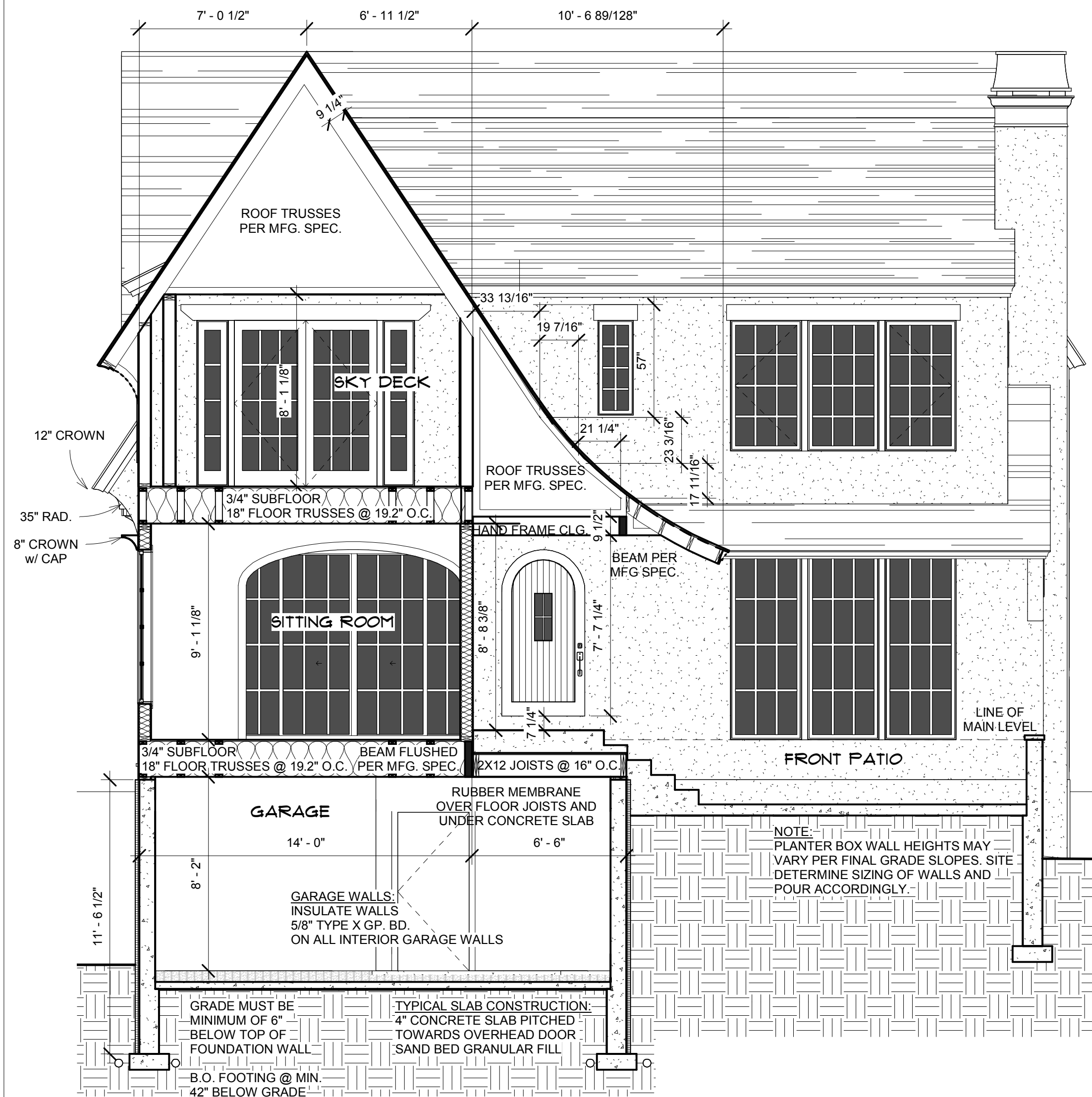
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DESCRIPTION

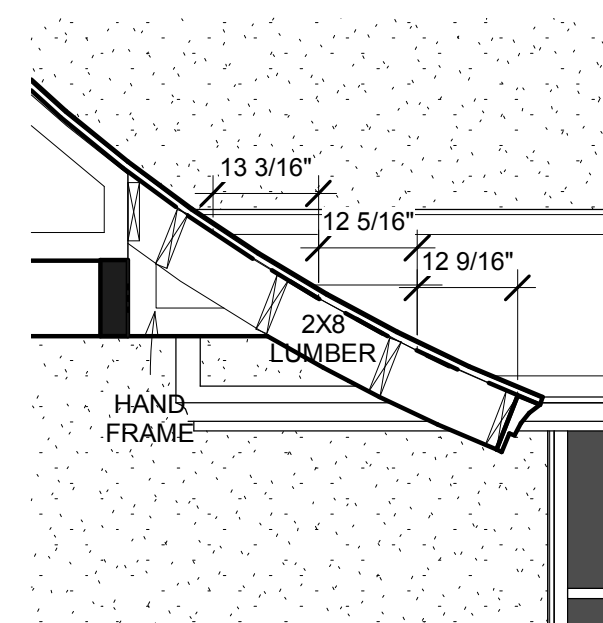
Main & Upper Levels

a

03

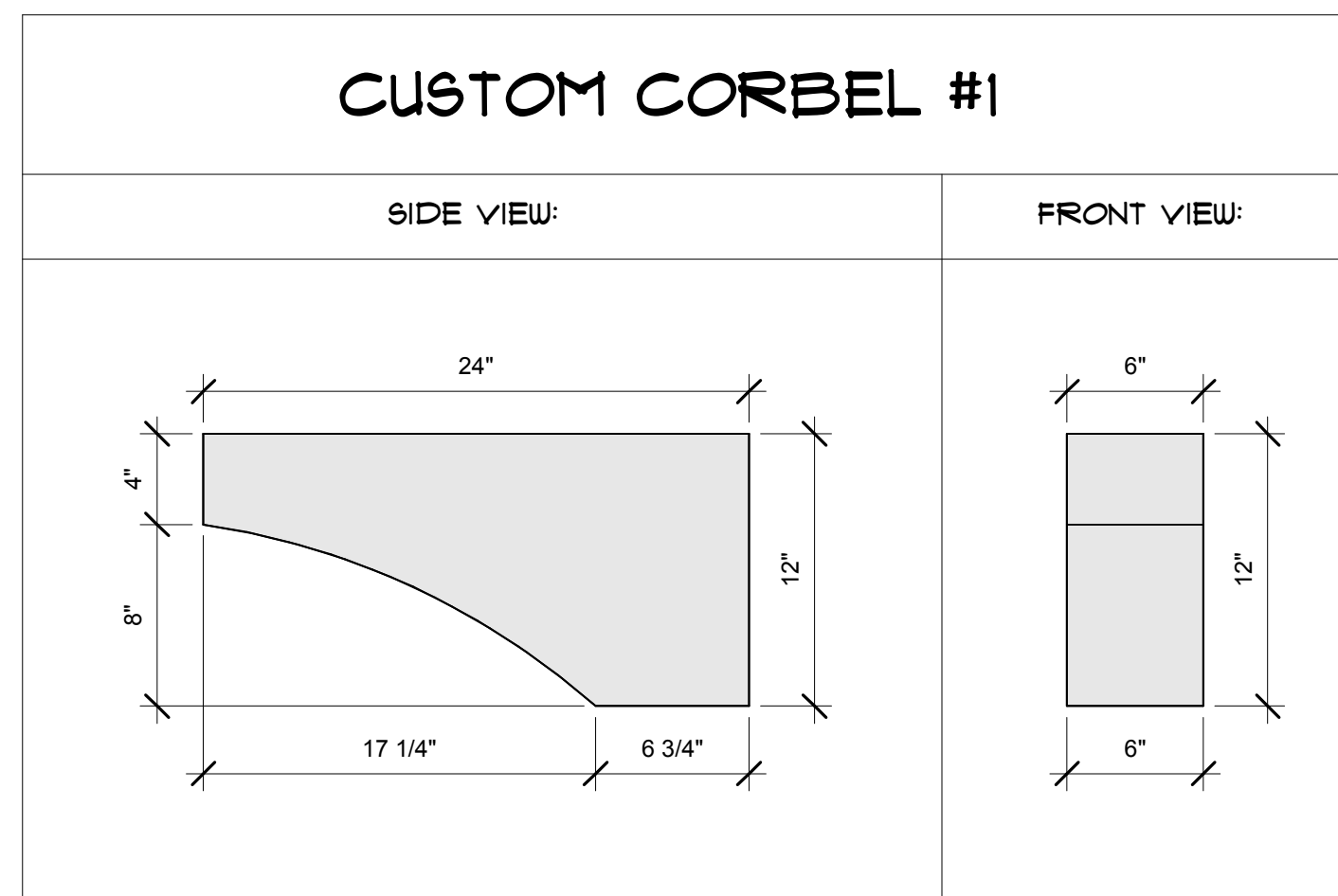


① Cross Section - Front Gable
1/4" = 1'-0"



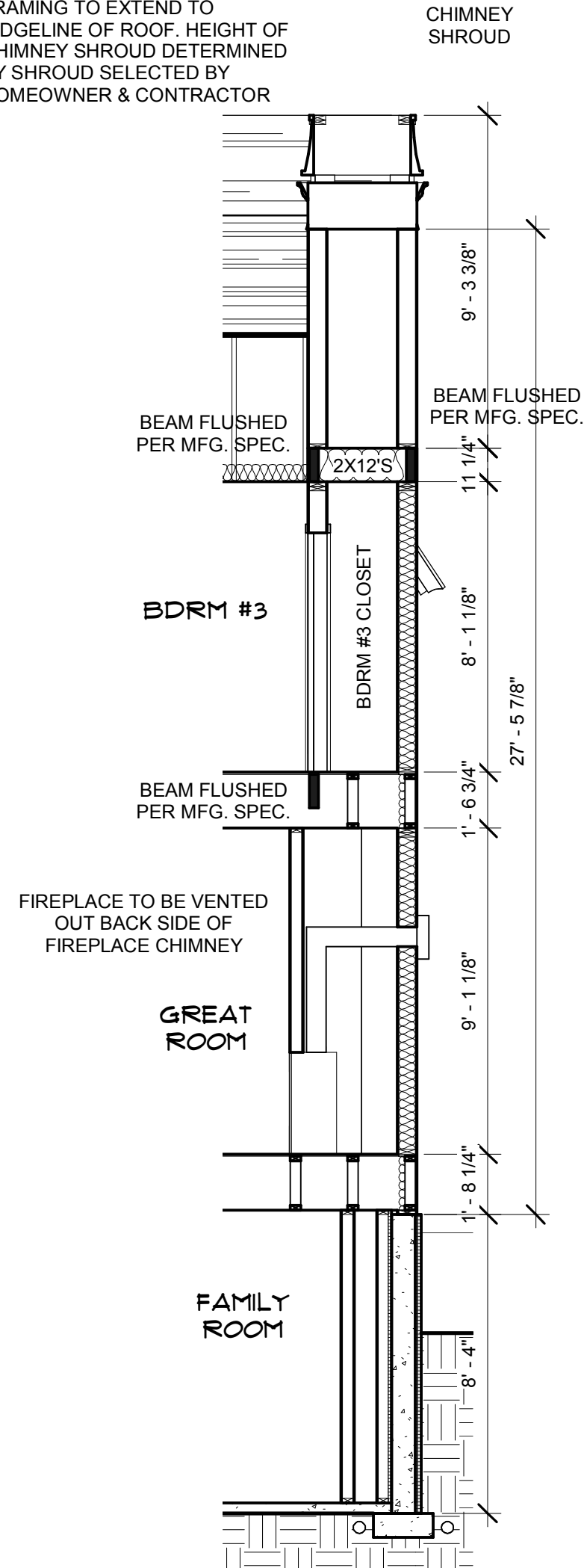
② Detail - Chimney & Closet
1/4" = 1'-0"

⑧ Detail - Front Porch Curved Roof Eave
1/2" = 1'-0"



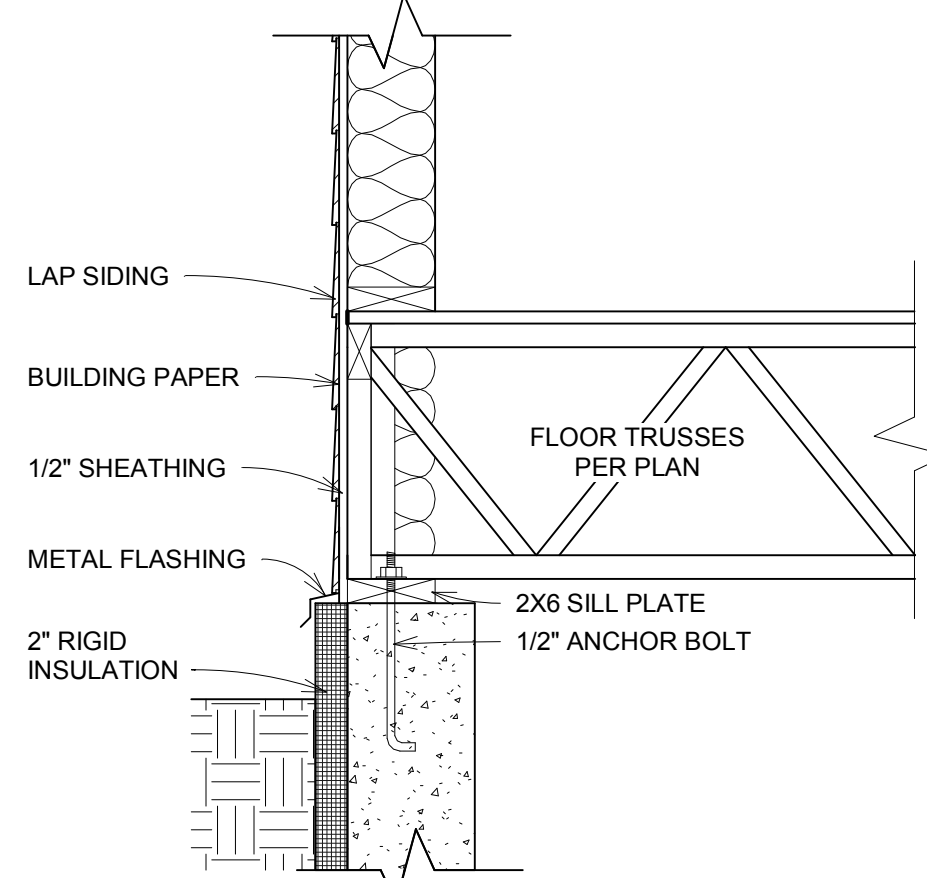
⑤ Corbel #1 Detail
1 1/2" = 1'-0"

NOTE:
FRAMING TO EXTEND TO
RIDGELINE OF ROOF. HEIGHT OF
CHIMNEY SHROUD DETERMINED
BY SHROUD SELECTED BY
HOMEOWNER & CONTRACTOR



SILL PLATE DETAIL:

STANDARD FOUNDATION: ALL STRUCTURAL EXTERIOR FOUNDATION WALLS
MUST BE WRAPPED w/ 8" TRIM BOARD AND FLASHED
PER CODE

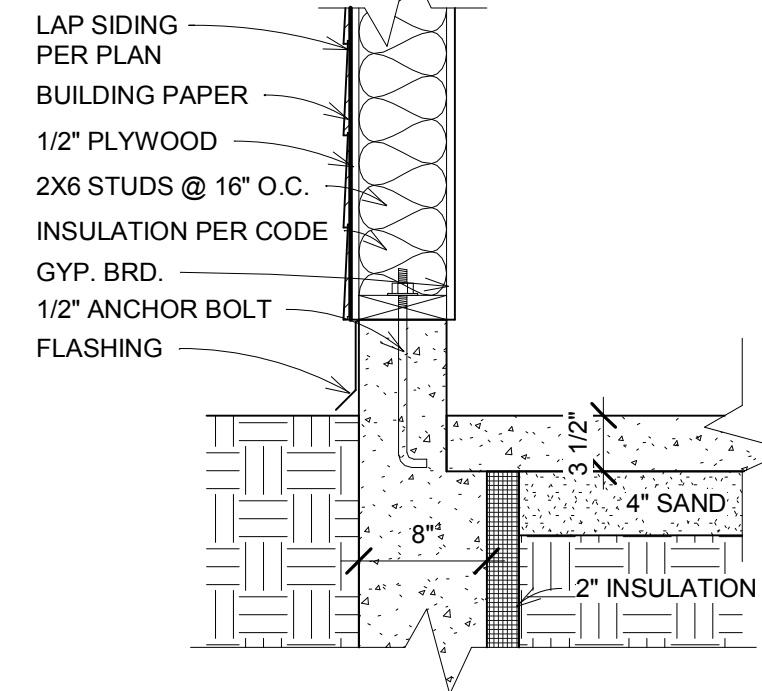


NOTE:
DRAWINGS HAVE NOT BEEN DRAWN OR APPROVED BY A STRUCTURAL
ENGINEER. SUBJECT TO CHANGE. ALL FOUNDATION WALLS (STRUCTURAL AND
NON-STRUCTURAL) MUST BE VERIFIED WITH STRUCTURAL ENGINEER FOR
SAFETY AND CODE COMPLIANCE BEFORE, DURING, AND AFTER
CONSTRUCTION. DAVID CHARLEZ DESIGNS DOES NOT ACCEPT ANY
RESPONSIBILITY FOR FOUNDATION WALLS NOT PROPERLY ENGINEERED AS
REQUIRED FOR STRUCTURE.

④ Truss Detail - Standard Sill Plate
1" = 1'-0"

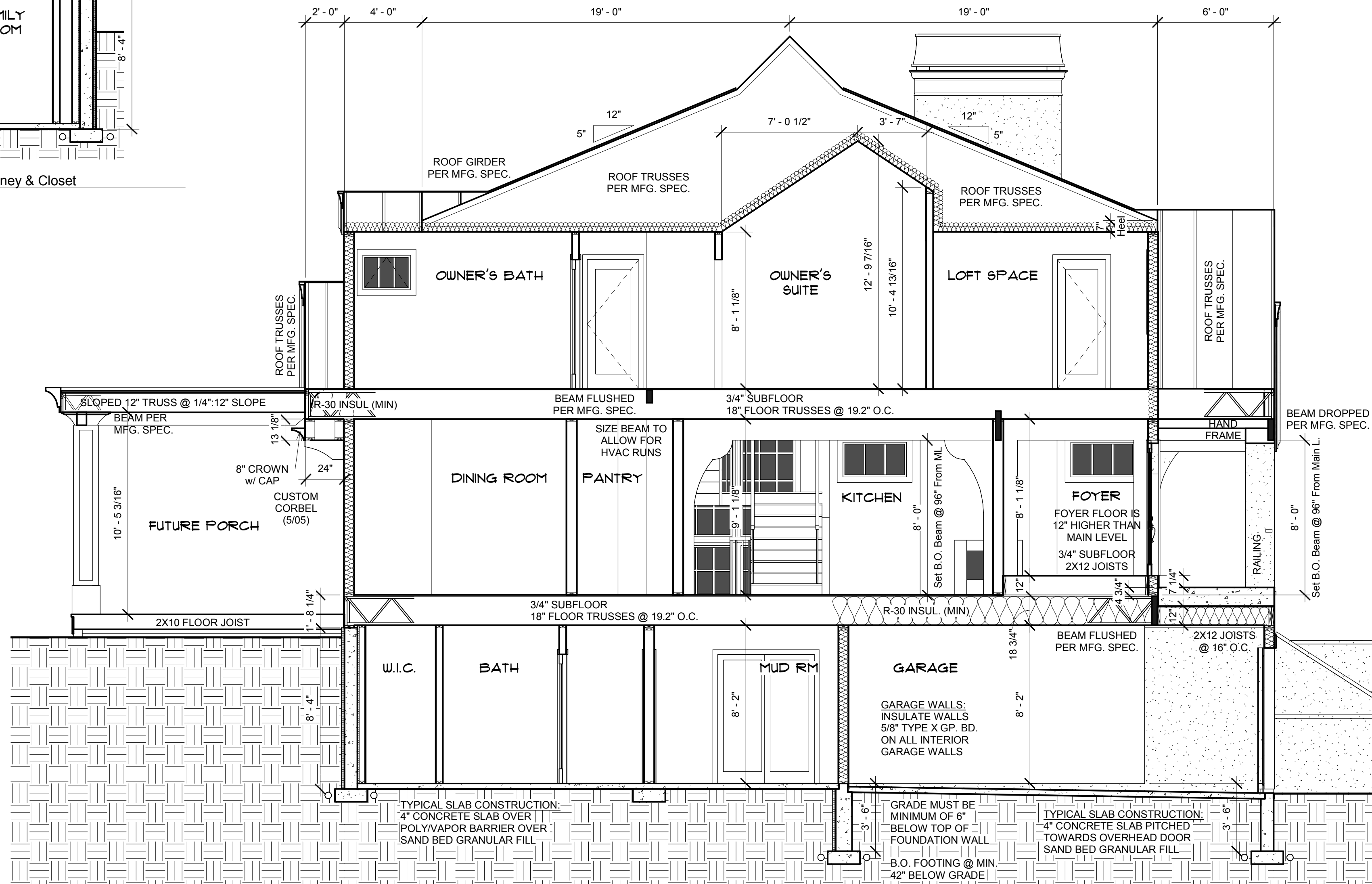
GARAGE WALKOUT WALL DETAIL:

TYPICAL FOUNDATION: 3'-6" OR 5'-0" x 10" POURED CONCRETE FOUNDATION WALL ON
20" x 8" CONCRETE FOOTING
REBAR PER CODE

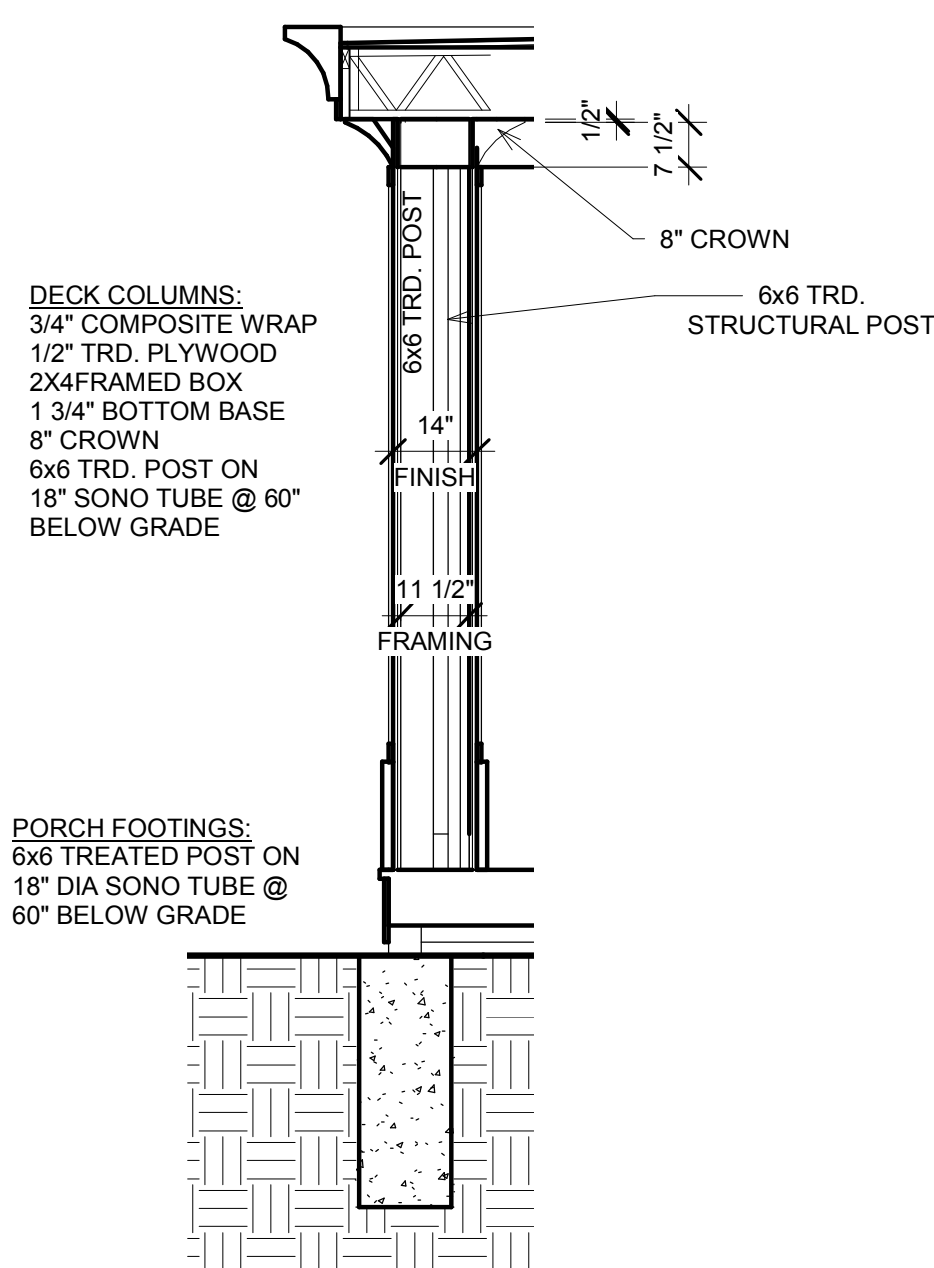


NOTE:
DRAWINGS HAVE NOT BEEN DRAWN OR APPROVED BY A STRUCTURAL
ENGINEER. SUBJECT TO CHANGE. ALL FOUNDATION WALLS (STRUCTURAL AND
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SAFETY AND CODE COMPLIANCE BEFORE, DURING, AND AFTER
CONSTRUCTION. DAVID CHARLEZ DESIGNS DOES NOT ACCEPT ANY
RESPONSIBILITY FOR FOUNDATION WALLS NOT PROPERLY ENGINEERED AS
REQUIRED FOR STRUCTURE.

⑥ Detail - 10" Walkout Wall
1" = 1'-0"



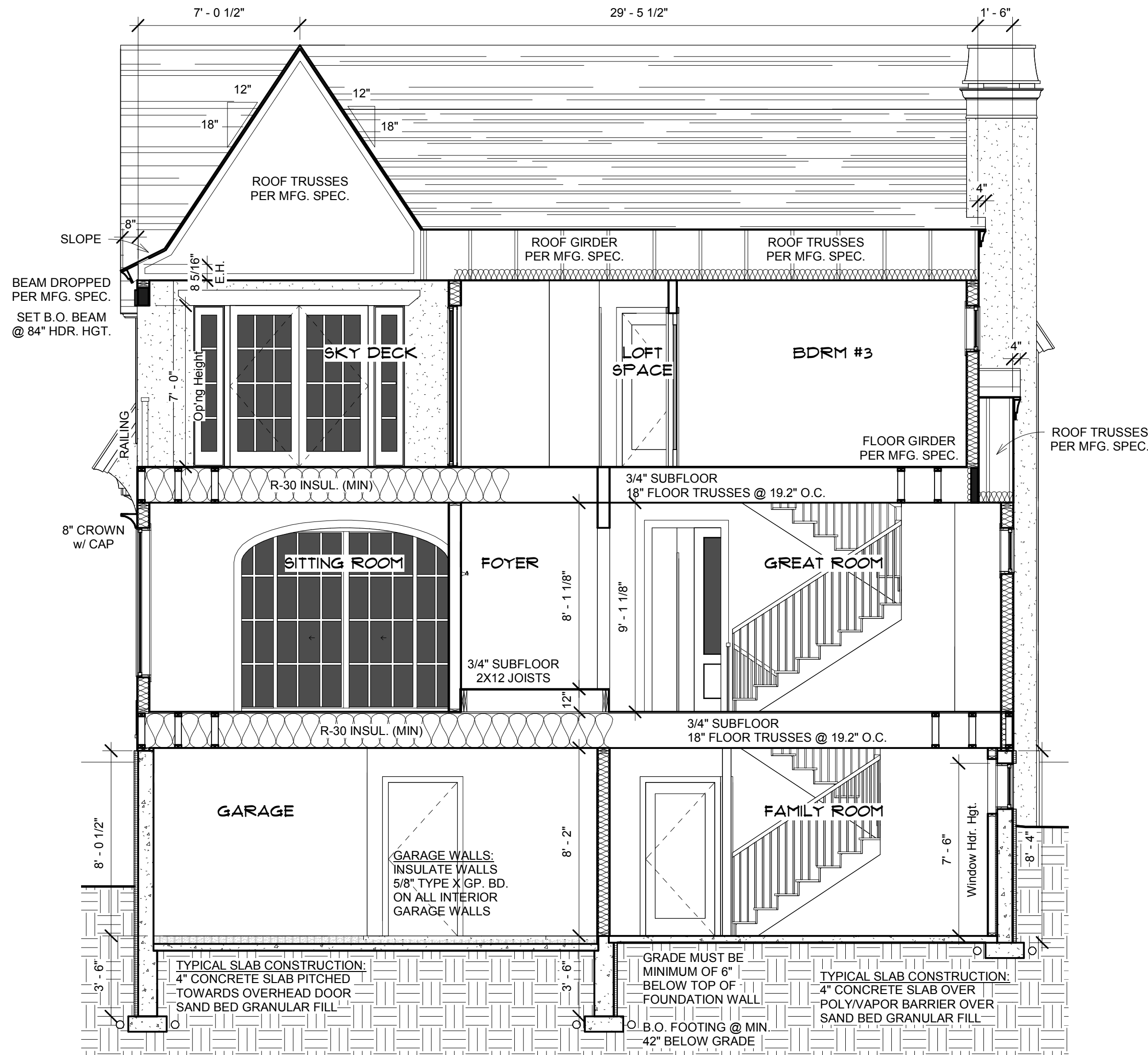
③ Cross Section - Foyer/Garage
1/4" = 1'-0"



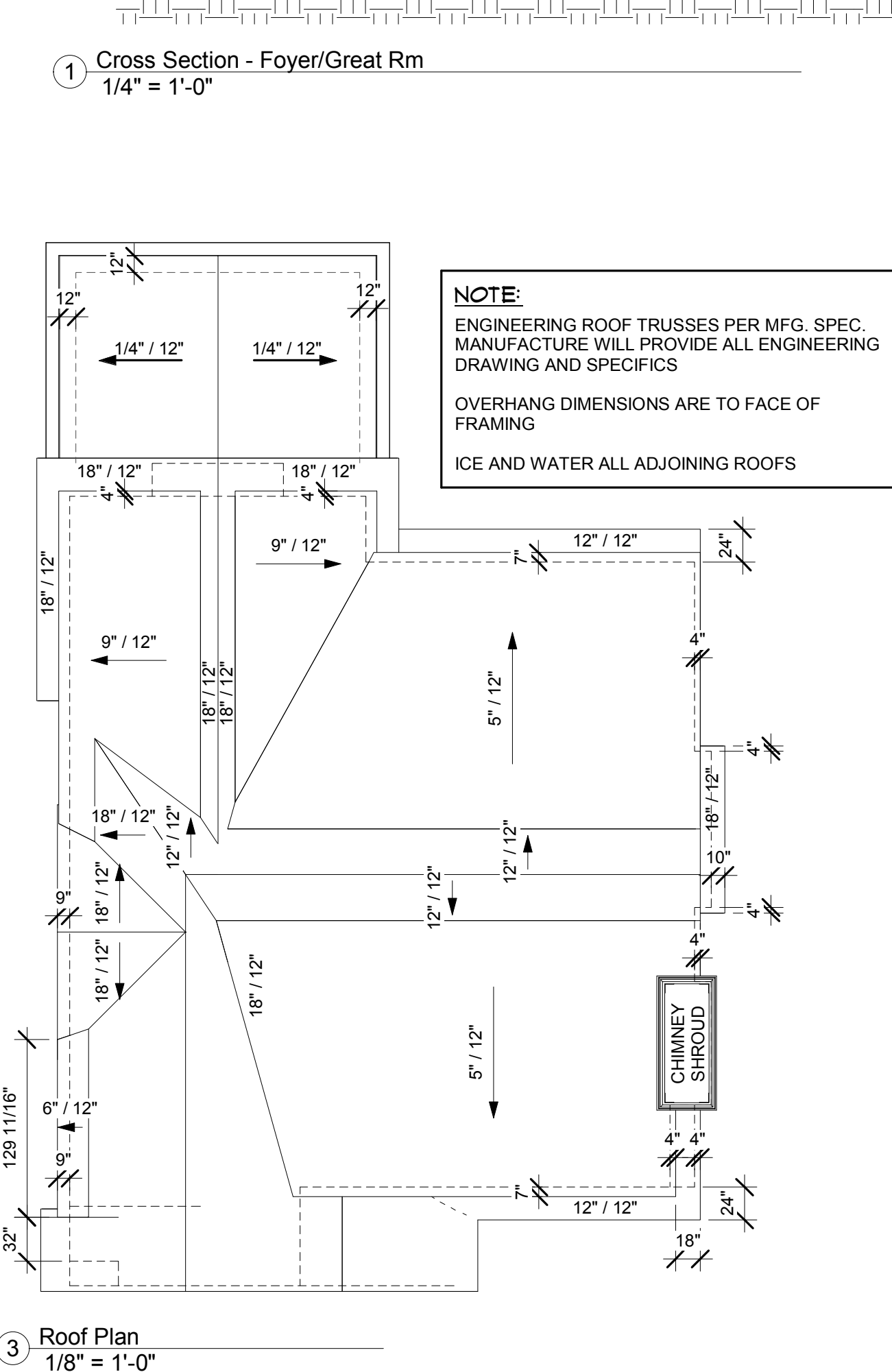
⑦ Detail - F.P. Column
3/8" = 1'-0"

GENERAL NOTES

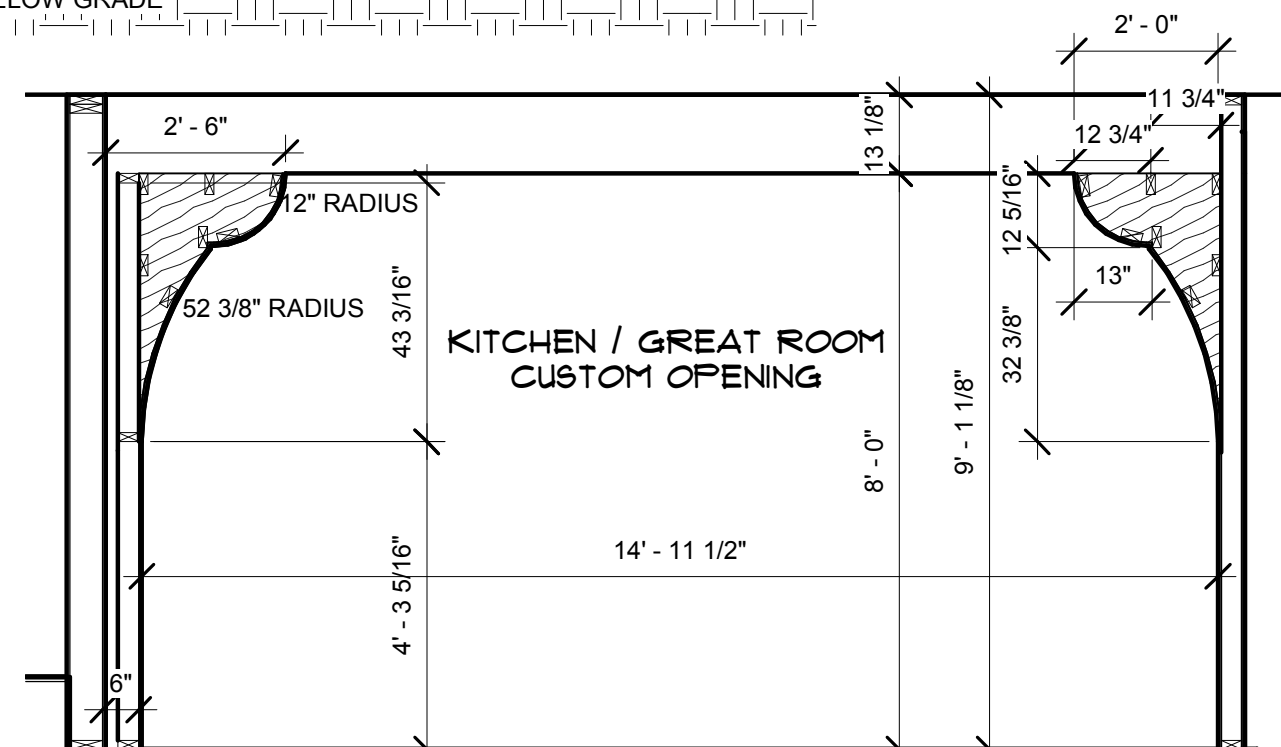
1. ALL EXTERIOR WALLS TO BE CONSTRUCTED OF 2x6 STUDS @ 16" O.C.
2. ALL INTERIOR WALLS TO BE CONSTRUCTED OF 2x4 STUDS @ 16" O.C. (UNLESS OTHERWISE NOTED)
3. WALLS ADJACENT TO GARAGE SPACE SHALL BE 2x6 WITH A 1 HR. FIRE RATING
4. STRUCTURAL WALLS TO HAVE A FIRE RATING OF 1 HR.
5. ALL DIMENSIONS LINES TO BE TO CENTERLINE OF STUDS TO FACE OF STUD
6. PROVIDE ROOF VENTILATION 1 SQ.FT. PER 300 SQ.FT. OF ROOF AREA. 50% AT RIDGE AND 50% AT SOFFIT-MIN
7. ALL INTERIOR DOOR HEAD HEIGHT TO BE VERIFIED BY BUILER UNLESS OTHERWISE NOTED. UNDERCUT MIN 1"
8. ALL STRUCTURAL MEMBERS TO BE VERIFIED BY MANF. AND A STRUCTURAL ENGINEER.
9. ALL WINDOW UNITS ABOVE TUB DECK AND/OR WITHIN 18" OF THE FLOOR AND/OR 24" OF A DOORWAY SHALL BE TEMPERED GLASS
10. PROVIDE AN APPROVED ICE AND WATER ROOFING STARTER EDGE PER CODE OR EQUIVALENT
11. WRAP ALL CANTILEVERS WITH AN APPROVED POLY AND SPRAY FOAM FLOOR
12. SLOPE FINISHED GRADE AWAY FROM THE HOUSE ON ALL SIDES
13. 1/2" AIR SPACE ON EACH SIDE OF MICRO-LAM BEAM & MIN 3" BEARING ON CONCRETE
14. EXTERIOR RAILING TO BE MIN OF 36" HIGH AND BUILT AS TO NOT ALLOW A 4" SPHERE TO PASS THROUGH
15. ALL COMPONENTS TO BE INSTALLED TO MANF. SPEC OR LOCAL CODE
16. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY IS TO BE PRESSURE TREATED OR WOOD SPECIES THAT HAS A NATURAL RESISTANCE TO DECAY
17. PROVIDE A WATER RESISTIVE GYP BOARD AROUND ALL SHOWERS AND TUBS
18. LIGHT OR FAN HOUSING SYSTEM RECESSED THROUGH AN EXTERIOR VAPOR BARRIER SHALL BE OF THE AIR SEALED TYPE OR BE BOXED AND SEALED PER CODE
19. PROVIDE DRAFT STOPS PER UBC 708.3
20. FIRE BLOCK ALL CHASES AT EACH FLOOR-CEILING ASSEMBLY OR AT 10' MAX INTERVALS
21. ALL SMOKE DETECTORS TO BE HARD WIRED WITH BATTERY BACKUP PER CODE
22. MAINTAIN A 6" SEPARATION BETWEEN GRADE AND WOOD
23. CAULK AND FLASH AROUND ALL EXTERIOR OPENINGS
24. PLUMBING PENETRATIONS IN WALL ASSEMBLY SHALL BE FIRE CAULKED WITH LISTED MATERIALS
25. BLOCK PATIO DOORS WITHOUT A DECK
26. SMOKE DETECTORS SHALL BE MIN 16" AWAY FROM WALL AND INSTALL TO MANF. SPEC
27. NO OPENING IN ROOF WITHIN 5' OF PROPERTY LINES
28. 10% OF THE FLOOR AREA IS REQUIRED FOR LIGHT AND VENTILATION IN ALL HABITABLE ROOMS
29. ON EXTERIOR, GRIPPABLE HANDRAILS 34" TO 36" IN HEIGHT FROM THE NOSE OF THE STAIRS
30. COMBUSTION AIR DUCTS 12" OFF THE FLOOR OR RETURN AIR PLENUM WHEN REQUIRED (IMC703)
31. PROVIDE PLUMBING ACCESS AT ALL TUBS EXCEPT WHEN TRAPS & OVERFLOW GLUED
32. PROVIDE 50 cfm OR 20 cfm CONTINUOUS VENTILATION OR OPERABLE WINDOW (ASHRAE 62-2001 6.1)
33. DRYER VENT TO THE EXTERIOR- INSULATE LAST 3 FEET MIN 36" CLEARANCE TO OTHER OPENINGS: (IMC504.4, 401.52 AND 604.1)
34. CERAMIC TILE TO BE APPLIED OVER GREEN BOARD, CEMENT BOARD, WONDER BOARD OR OTHER APPROVED MATERIAL TO A HEIGHT OF 70" ABOVE DRAIN INLET IN SHOWERS. CEMENT BOARD MUST BE USED ON EXTERIOR WALLS UNDERNEATH TILE AND OVER THE VAPOR BARRIER (R307)
35. TRUSS PLANS STAMPED AND APPROVED BY MANF. SHALL BE ON THE JOB SITE. ALTERATIONS TO TRUSSES REQUIRE AN ENGINEER'S APPROVAL
36. RAFTERS SHALL BE FRAMED TO MIN 1" THICK RIDGE BOARD NOT LESS THAN THE DEPTH OF THE CUT END OF THE RAFTERS OR NAILED TO EACH OTHER WITH A GUSSET PLATE A TIE. THE RIDGE BOARD MUST BE SUPPORTED ON END WALL OR MIN 2x4 COLLAR TIES ARE REQUIRED AT MIN 4" O.C.
37. 4-MIL VAPOR BARRIER ON WARM IN WINTER SIDE OF EXTERIOR WALLS AND CEILING. FIRE RETARDANT VAPOR BARRIER MAY BE LEFT UNCOVERED
38. WIND-WASH AT AL EAVES, CORNERS, OVERHANGS, AND BY WINDOWS. SHEATHING INSULATION DAM @ CEILING CHANGES
39. WEATHER-RESISTIVE BARRIER-i.e. BUILDING WRAP TABLE R703.4
40. HOT WATER PIPING LOCATED OUTSIDE OF CONDITIONED SPACE WILL BE INSULATED TO AT LEAST R-3
41. ATTIC ACCESS DOORS FROM CONDITIONED TO UNCONDITIONED SPACES SHALL BE WEATHERED-STRIPPED AND INSULATED.
42. NEW WOOD-BURNING FIREPLACES WILL HAVE TIGHT-FITTING FLUE DAMPERS AND OUTDOOR COMBUSTION AIR.
43. FOR WINDOWS WHERE THE LOWEST PART OF THE WINDOW OPENING IS MORE THAN 6' ABOVE THE GROUND, THE LOWEST PART OF OPENING SHALL BE MIN. OF 36" ABOVE THE FINISHED FLOOR. EXCEPTIONS INCLUDE WINDOWS THAT DO NOT OPEN MORE THAN 4", WINDOWS WITH FALL PROTECTION, AND WINDOWS THAT HAVE OPENING CONTROL DEVICES.
44. DWELLINGS WITH ATTACHED GARAGES OR FUEL FIRED EQUIPMENT MUST BE EQUIPPED WITH CARBON MONOXIDE ALARMS OUTSIDE OF, BUT NO FURTHER THAN 10' FROM , EACH SLEEPING AREA OR BEDROOM.
45. FOOTINGS SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 5,000 psi.
46. A MIN. 1/2" GYPSUM BOARD MEMBRANE, OR 5/8" WOOD STRUCTURAL PANEL MEMBRANE, SHALL BE PROVIDED ON THE UNDERSIDE OF FLOOR ASSEMBLIES. EXCEPTIONS A. DWELLINGS EQUIPPED WITH SPRINKLER SYSTEM. B. CRAWLSPACES C. PORTIONS OF FLOOR ASSEMBLIES WITH PROPORTIONALLY SMALL AREA. D. FLOOR ASSEMBLIES CONSTRUCTED OF SOLID SAWN LUMBER OR STRUCTURAL COMPOSITE LUMBER WITH MIN. NOMINAL DIMENSIONS OF 2"x10".
47. DECKS SUPPORTED BY ATTACHMENT TO AN EXTERIOR WALL SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE AND DESIGNED FOR BOTH VERTICAL AND LATERAL LOADS.
48. FLASHING WITH A MIN. 3 1/2" VERTICAL ATTACHMENT FLANGE IS REQUIRED AT THE INTERSECTION OF THE FOUNDATION AND RIM JOIST FRAMING WHEN THE EXTERIOR WALL COVERING DOES NOT LAP THE FOUNDATION INSULATION. THE FLASHING MUST EXTEND A MIN. OF 1" BELOW THE FOUNDATION PLATE LINE, AND THE REQUIRED WATER-RESISTIVE BARRIER MUST LAP OVER THE ATTACHMENT FLANGE.
49. BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS



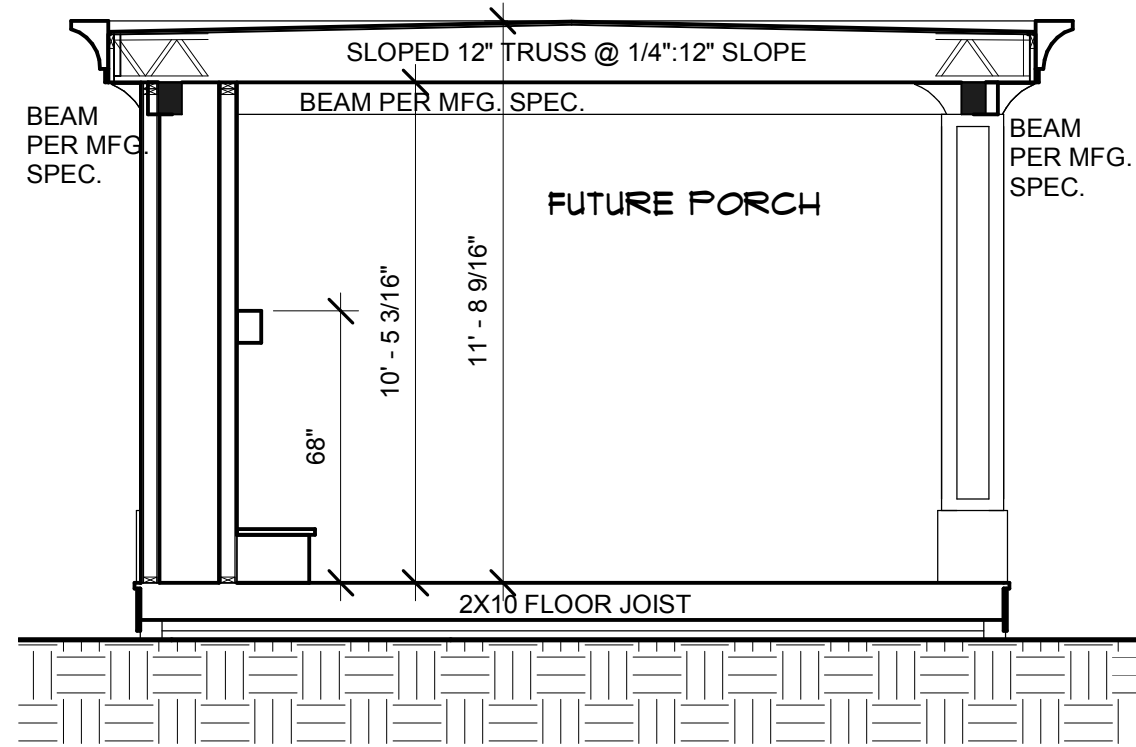
1 Cross Section - Foyer/Great Rm
1/4" = 1'-0"



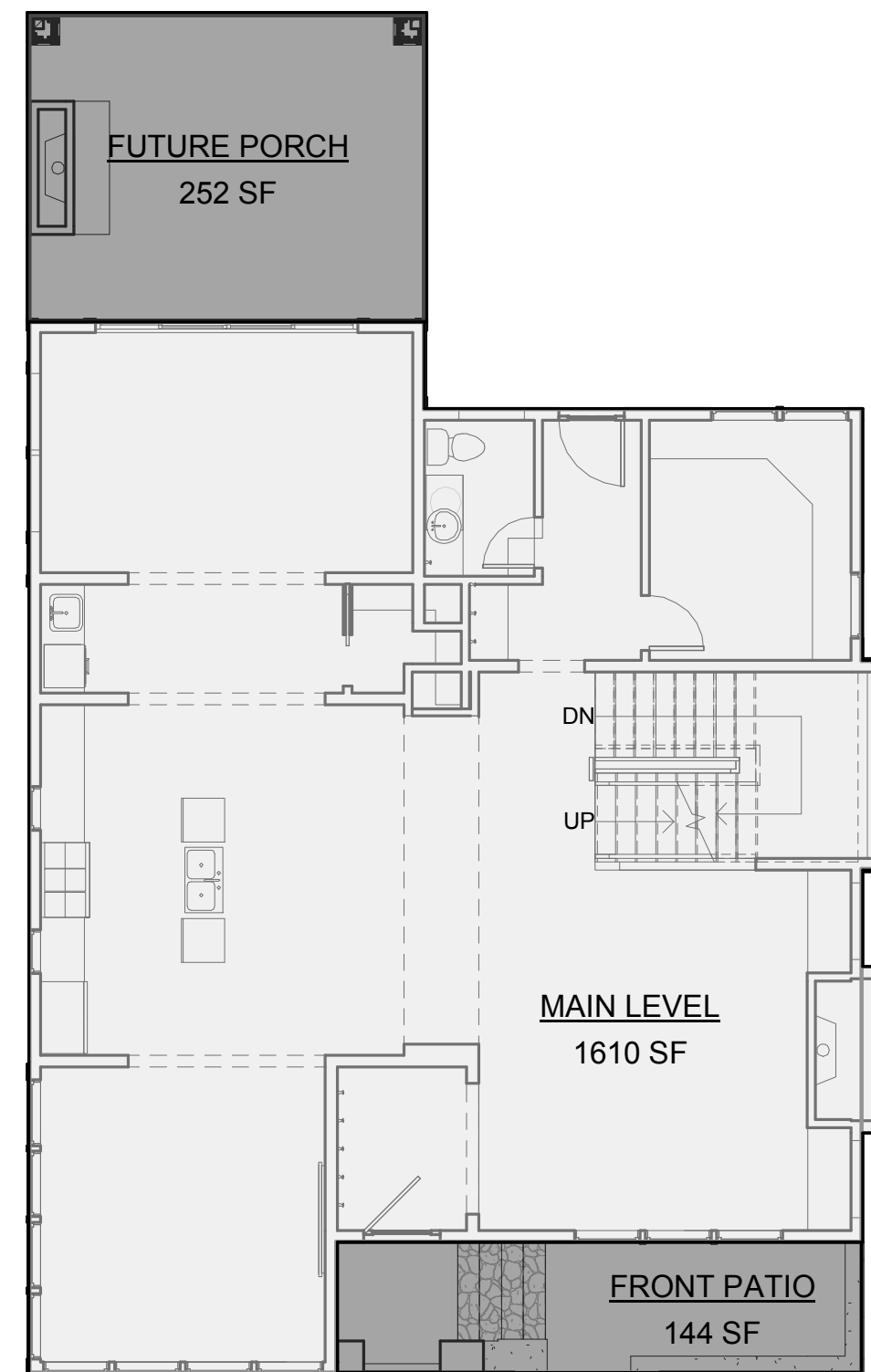
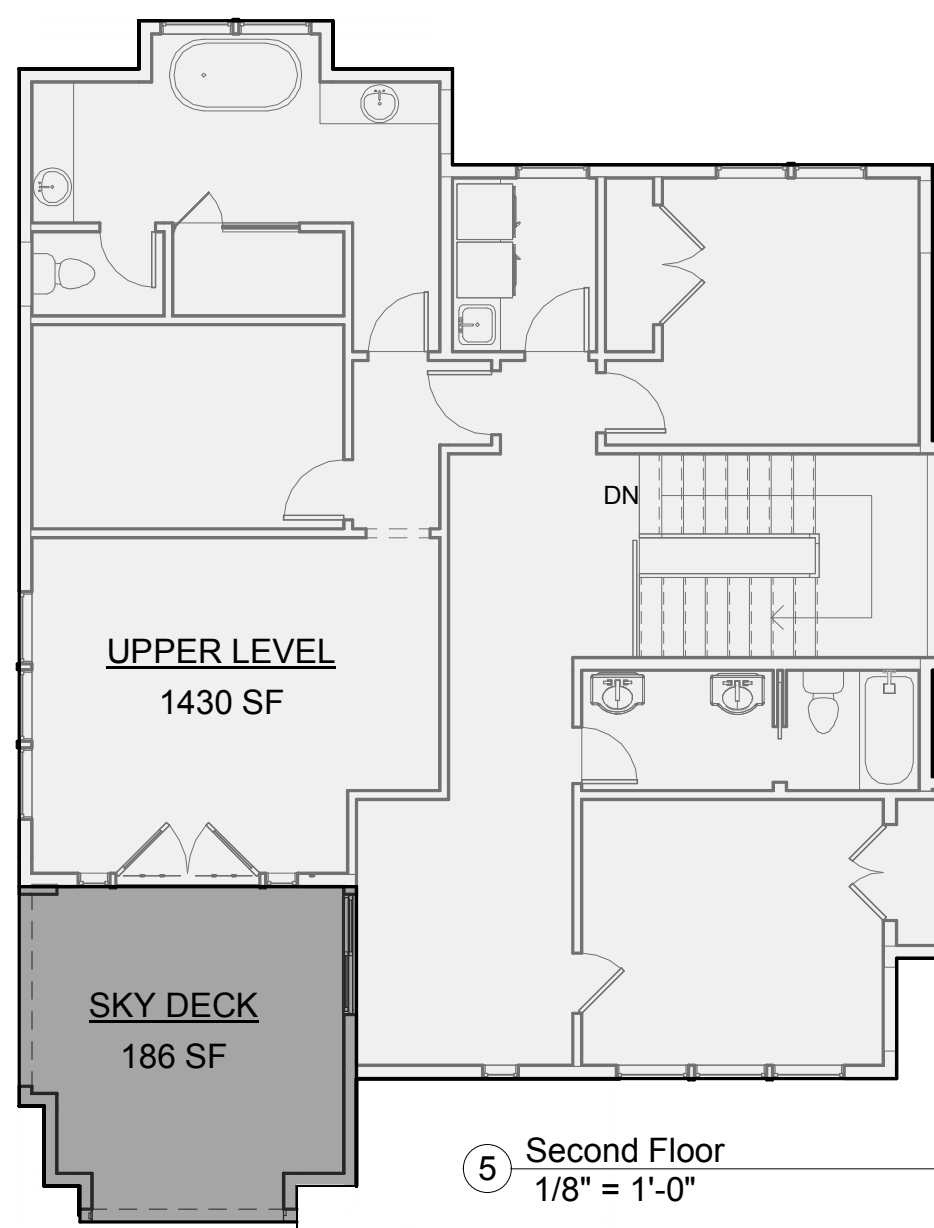
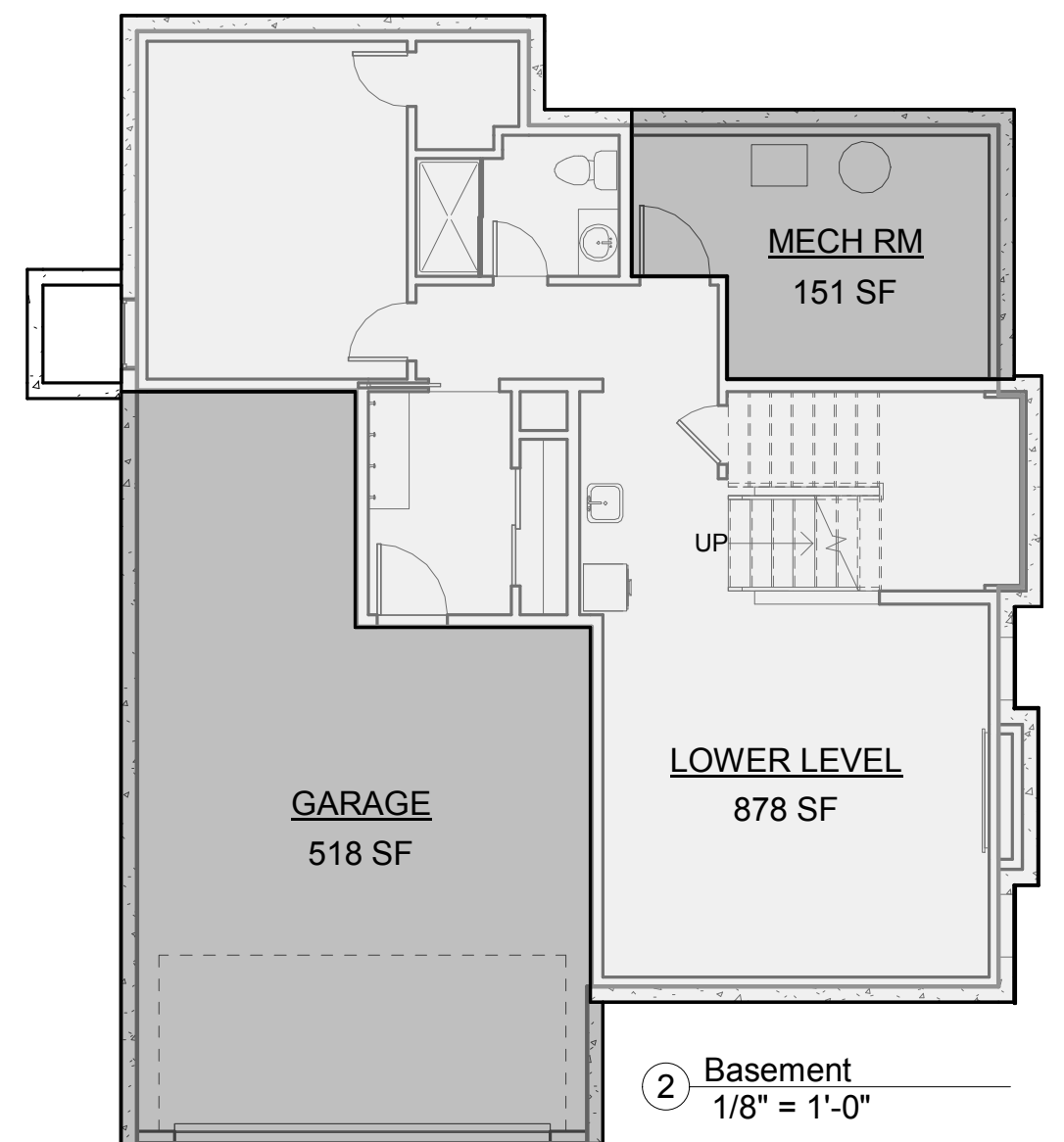
3 Roof Plan
1/8" = 1'-0"



6 Detail - Arch
3/8" = 1'-0"



7 Section - Future Porch
1/4" = 1'-0"



4 First Floor
1/8" = 1'-0"

SQUARE FOOTAGE CALCULATIONS

LOWER LEVEL

878 SQ. FT. LOWER LEVEL
518 SQ. FT. GARAGE
151 SQ. FT. MECHANICAL ROOM

MAIN LEVEL

1610 SQ. FT. MAIN LEVEL
252 SQ. FT. FUTURE PORCH
144 SQ. FT. FRONT PATIO

UPPER LEVEL

1430 SQ. FT. UPPER LEVEL
186 SQ. FT. SKY DECK

FINISHED TOTAL

3918 SQ. FT. FINISHED TOTAL

DAVID
CHARLEZ
DESIGNS

DAVID CHARLEZ DESIGNS

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LAKEVILLE, MN 55044
TEL: 952.428.8200
EM: Dave@DavidCharlezDesigns.com

DETAIL HOMES

BUILDER
Detail Homes, Inc.
St. Paul, MN 55015

ISSUE
02.26.2018

PROJECT
Cadogan Residence
321 Wise Ave.
Wayzata, MN

DRAWN BY
GM

DESCRIPTION
Cross Sections/Sq. Fig.

a

06

RESOLUTION NO. 50-2008

RESOLUTION APPROVING, WITH CONDITIONS, PRELIMINARY AND FINAL PLAT SUBDIVISION AT 1052 CIRCLE DRIVE E AND 1066 CIRCLE DRIVE E

BE IT RESOLVED by the City Council of Wayzata, Minnesota as follows:

Section 1. BACKGROUND

1.1 Development Application. Rolf and Janet Skjei, and Steve Cool (collectively, "the Applicant") have submitted a Development Application (the "Application") to subdivide the 1052 Circle Drive E into 3 buildable parcels, with a portion of land from the adjacent 1066 Circle Drive E (the "Subdivision" or the "Preliminary/Final Plat" or the "Project"). The Project would require the removal of the existing structure on the Property and a subdivision of the parcel.

1.2 Legal Description. The property identification numbers and owners of the properties involved in the Application are (collectively, the "Property"):

1052 Circle Drive E	06-117-22-41-0043	Rolf and Janet Skjei
1066 Circle Drive E	06-117-22-41-0048	Steven J Cool

1.3 Land Use. The Property is located within the R-3A, Single and Two Family Residential District, as defined in Section 801.55 of the Wayzata Zoning Ordinance. The Property is guided for Low Density Single Family Residential use in the Wayzata Comprehensive Plan, and located within Planning District 7, as outlined in the Comprehensive Plan. The Property is located within the Shoreland Overlay District, as defined in Section 801.91 of the Wayzata Zoning Ordinance.

1.4 Notice. Notice of a public hearing on the Application was published in the Sun Sailor on October 23, 2008. A copy of the notice was also mailed to all property owners located within 350 feet of the Property on October 23, 2008.

1.5 Planning Commission Action. A public hearing on the Application was held at the Planning Commission's November 3, 2008 meeting at which the Planning Commission voted seven (7) in favor and zero (0) opposed to adopt findings and recommend that the City Council approve the Preliminary/Final Plat requested in the Application.

Section 2. STANDARDS

2.1 Subdivision Approval Required. Chapter 805 of the Wayzata City Code, (the "Subdivision Ordinance") sets forth the procedure and substantive review criteria for applications for a subdivision. A subdivision is defined in the Subdivision Ordinance as (i) the division of land into two or more lots or (ii) the combination of two or more lots. Section 805.08.yy.¹ Before any plat can be recorded or of any validity, it must be referred to the City Planning Commission and approved by the City Council as having fulfilled the requirements of the Subdivision Ordinance. Section 805.03.

A. Goals. Under Section 805.2.b of the Subdivision Ordinance, subdivisions approved under the Subdivision Ordinance must be guided by the following:

1. Preserve and enhance Wayzata's "small town" character (Comprehensive Plan).
2. Respect the existing scale, character and pattern of the City, recognizing existing neighborhoods and commercial areas (Wayzata Physical Plan).
3. Support a pedestrian environment at a human, not automotive scale (Wayzata Physical Plan).
4. Relate development/redevelopment to the natural characteristics of the land to enhance the development through the preservation of attractive natural amenities (i.e., lakes, wetlands, creeks, wooded areas, slopes, etc.) (Comprehensive Plan).

B. Criteria for Approval. Under Section 805.14.e of the Subdivision Ordinance, the Planning Commission must consider the possible adverse effects of a preliminary plat and report its findings and recommendation to City Council. Its judgment must be based upon, but not limited to, the following factors:

1. The proposed subdivision or lot combination shall be consistent with the Wayzata Comprehensive Plan.
2. Building pads that result from a subdivision or lot combination shall preserve sensitive areas such as lakes, streams, wetlands, wildlife habitat, trees and vegetation, scenic points, historical locations, or similar community assets.

¹ All sections cited in this Report are of the Wayzata Subdivision Ordinance, ch. 805 of City Code, unless otherwise noted.

3. Building pads that result from subdivision or lot combination shall be selected and located with respect to natural topography to minimize filling or grading.
4. Existing stands of significant trees shall be retained where possible. Building pads that result from a subdivision or lot combination shall be sensitively integrated into existing trees.
5. The creation of a lot or lots shall not adversely impact the scale, pattern or character of the City, its neighborhoods, or its commercial areas.
6. The design of a lot, the building pad, and the site layout shall respond to and be reflective of the surrounding lots and neighborhood character.
7. The lot size that results from a subdivision or lot combination shall not be dissimilar from adjacent lots or lots found in the surrounding neighborhood or commercial area.
8. The architectural appearance, scale, mass, construction materials, proportion and scale of roof line and functional plan of a building proposed on a lot to be divided or combined shall be similar to the characteristics and quality of existing development in the City, a neighborhood or commercial area.
9. The proposed lot layout and building pads shall conform with all relevant performance standards.
10. The proposed subdivision or lot combination shall not tend to or actually depreciate the values of neighboring properties in the area in which the subdivision or lot combination is proposed.
11. The proposed subdivision or lot combination shall be accommodated with existing public services, primarily related to transportation and utility systems, and will not overburden the City's service capacity.

2.2 Concurrent Preliminary/Final Plat.

Section 805.15 of the Subdivision Ordinance allows the City to review the preliminary and final plat simultaneously. The final plat shall incorporate all changes, modifications, and revisions required by the City. Otherwise, it shall conform to the approved preliminary plat.

2.3 Parkland Dedication. Section 805.37 of the Subdivision Ordinance requires that all newly created lots dedicate land, or fees in lieu of land, for public park and

recreation purposes in accordance to the criteria and formula listed in Section 805.37.

Section 3. FINDINGS

The City Council of the City of Wayzata hereby confirms and memorializes that the Preliminary/Final Plat requested in the Application meet the applicable requirements of Wayzata's Zoning and Subdivision Ordinances, based upon the following findings of fact made on the record (as well as all Application materials, staff reports, public comment presented at the hearing, and the Report and Recommendation of the Planning Commission):

3.1 Preliminary and Final Plat Subdivision.

- A. Goals. The Subdivision is not inconsistent with the goals of the Subdivision Ordinance.
- B. Criteria for Approval.
 - 1. The Subdivision is not inconsistent with the Wayzata Comprehensive Plan.
 - 2. Building pads that result from the Subdivision would not negatively impact any sensitive areas. As a condition of approval, further review and approval of the plans for development within the Subdivision that would impact sensitive areas would be required.
 - 3. Building pads that result from the Subdivision would be selected and located with respect to natural topography to minimize filling or grading. As a condition of approval, further review and approval of the plans for development within the Subdivision that would impact filling and grading would be required.
 - 4. Existing significant trees would be retained where possible on the Property. As a condition of approval, further review and approval of the plans for development within the Subdivision that would impact the existing trees on the Property would be required.
 - 5. The Subdivision would not adversely impact the scale, pattern or character of the City, its neighborhoods, or its commercial areas as it would be consistent with the surrounding area.
 - 6. The design of a lot, the potential building pads, and the site layout of the Preliminary/Final Plat responds to and is reflective of the surrounding lots and neighborhood character.

7. The lot size that results from the Subdivision would not be dissimilar from adjacent lots or lots found in the surrounding neighborhood.
 8. The architectural appearance, scale, mass, construction materials, proportion and scale of roof line and functional plan of the buildings for the new lot created by the Subdivision will be similar to the characteristics and quality of existing development in the City and neighborhood. As a condition of approval, further review and approval of the building and architectural plans for development would be required.
 9. The proposed lot layout and building pads of the Subdivision would conform will all relevant performance standards in the R-3A Zoning District.
 10. The Subdivision would not tend to or actually depreciate the values of neighboring properties in the area in which the Subdivision is proposed.
 11. The Subdivision would be accommodated with existing public services, primarily related to transportation and utility systems, and will not overburden the City's service capacity.
- C. Parkland Dedication. The Applicant shall be required to pay a minimum of two thousand five hundred dollars (\$2,500.00) or ten percent (10%) of the determined land value, whichever is greater, for Parkland Dedication fees, as required under Section 805.37(i)(1) of the Subdivision Ordinance for the creation of a new single-family lot.

Section 4. CITY COUNCIL ACTION

- 4.1 Preliminary and Final Plat Subdivision. Based on the Findings of this Resolution, the request for approval of the Preliminary/Final Plat, as set forth in the Application is **APPROVED** subject to all of the following conditions (failure to comply with any one of these conditions shall result in the revocation of this approval):
- A. Park Dedication fees must be paid as required by the Subdivision Ordinance, in an amount of two thousand five hundred dollars (\$2,500.00) per lot or ten percent (10%) of the determined land value, whichever is greater, to be paid at the time of recording of the final plat for the Subdivision.
 - B. That all expenses of the City of Wayzata, including consultant, expert, legal, and planning fees incurred be fully reimbursed by the Applicants.

- C. The Applicant must apply for and obtain all necessary building permits from the City, prior to commencement of any construction activity on the Property.
- D. Tree Preservation Plans must be prepared for each lot and submitted to the City for review prior to the submission of building permits by either the Applicant or a future owner.
- E. Grading, Drainage, and Erosion Plans must be prepared and submitted to the City for review by the Applicant or a future owner prior to the submission of building permits and be coordinate with the Tree Preservation Plan for each lot.
- F. A Final Plat document shall be submitted to the City Council for review and approval.
- G. The Applicant must record the Final Plat document with the appropriate Hennepin County officials, and provide a recorded copy to the City.
- H. Prior to issuance of building permits, the Applicant or future homeowner shall submit plans for review and approval by the Planning Commission and the City Council depicting architectural appearance, scale, mass, construction materials, proportion and scale of roof line and functional plan of the buildings proposed to demonstrate similarity to the characteristics and quality of the existing homes in the neighborhood as required under Section 805.14.e.8 and 805.14.e.9.

Adopted by the Wayzata City Council this 1st day of December, 2008.

ATTEST:



City Manager Allan Orsen



Mayor Andrew Humphrey

ACTION ON THIS RESOLUTION:

Motion for adoption: Bader

Seconded by: Bangert

Voted in favor of: Amdal, Bader, Bangert, Humphrey, Willcox

Voted against: None

Abstained: None

Absent: None

Resolution adopted.

I hereby certify that the foregoing is a true and correct copy of a resolution adopted by the City Council of the City of Wayzata, Minnesota, at a duly authorized meeting held on December 1, 2008.

Sandy Langley
Sandy Langley, City Clerk
SEAL