

WAYZATA PLANNING COMMISSION

Meeting Agenda

Wayzata City Hall Community Room, 600 Rice Street

6:30 p.m.

Monday, March 4, 2019

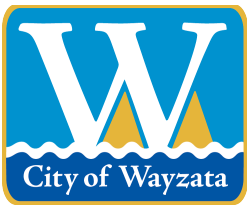
- 1. Call to Order**
- 2. Roll Call**
- 3. Approval of Agenda**
- 4. Consent Agenda**
 - a. Approval of February 20, 2019 Meeting Minutes
 - b. Adoption of Report and Recommendation of Denial of a Variance at 143 and 151 Westwood La S
- 5. Old Business Items**
 - a. Consider Development Application for Chase Bank at 1022 Wayzata Blvd E
- 6. Public Hearing Items**
- 7. Other Items**
 - a. Review of Development Activities
- 8. Adjournment**

Upcoming Meetings:

City Council - March 5, 2019

Planning Commission - March 18, 2019

Members of the Planning Commission and some staff members may gather at the Wayzata Bar and Grill immediately after the meeting for a purely social event. All members of the public are welcome.



City of Wayzata Planning Commission Agenda Report

MEETING DATE: March 4, 2019	AGENDA ITEM: 4.a.
TITLE: Approval of February 20, 2019 Meeting Minutes	
PREPARED BY: Jeff Thomson, Director of Planning and Building	
REVIEWED BY: N/A	
60 DAY DEADLINE: N/A	

BACKGROUND:

N/A

ACTION REQUESTED:

City staff recommends the Planning Commission approve the draft minutes.

ATTACHMENTS:

1. Draft February 20, 2019 Planning Commission Minutes

**WAYZATA PLANNING COMMISSION
MEETING MINUTES
February 20, 2019**

AGENDA ITEM 1. Call to Order and Roll Call

Chair Flannigan called the meeting to order at 6:30 p.m.

Present at roll call were Commissioners: Douglas, Plantan, Iverson, Merriam, Bashioum, Flannigan, and Parkhill. Absent: None. Director of Planning and Building Jeff Thomson and City Attorney David Schelzel were also present.

AGENDA ITEM 2. Approval of Agenda

Chair Flannigan asked for a motion to approve the agenda for the meeting.

Commissioner Douglas made a motion, seconded by Commissioner Iverson, to approve the February 20, 2019 meeting agenda as presented. The motion carried unanimously.

AGENDA ITEM 3. Consent Agenda

- a.) Approval of February 4, 2019 Meeting Minutes
- b.) Adoption of Report and Recommendation of Approval of Conditional Use Permit and Variances for Manitoba Dream at 231 Manitoba Ave S
- c.) Adoption of Report and Recommendation of Approval of Conditional Use Permit for Penny's Coffee at 80 Lake St E

Chair Flannigan read the items on the consent agenda and asked if any Commissioner wished to pull an item for further discussion. Hearing no such request, he asked for a motion to approve the Consent Agenda as presented.

Commissioner Douglas made a motion, seconded by Commissioner Bashioum, to approve the Consent Agenda as presented. The motion carried unanimously.

AGENDA ITEM 4. Old Business Items:

- a.) Urness Fence – 143 and 151 Westwood La
 - a. Variance and Conditional Use Permit

Director of Planning and Building Jeff Thomson stated the property owners, Todd and Katherine Urness have amended and a development application for a fence and gate located on the properties at 143 and 151 Westwood Lane. The applicant is proposing a five (5) foot tall steel fence in the

1 side and front yard, and a wooden, 50% opaque gate across the driveway in the front yard. The
2 development application requests approval of a variance for the height of the fence in the front
3 yard. The application has been amended and modified given the feedback of the Planning
4 Commission at the January 7, 2019 meeting. The application no longer includes requests for a
5 variance to use chain link fencing or a conditional use permit for a 100% opaque gate. The front
6 yard, which is defined as in front of the building line as established by the primary structure on the
7 lot, fences not exceeding 42 inches in height and consisting of no more than 50% solid matter are
8 allowed. The applicant has proposed a fence to be located in the front yard that would be 60-
9 inches in height, which requires a variance. The proposed materials of steel and wood – meet the
10 ordinance requirement of being no more than 50% solid matter.

11
12 Chair Flannigan asked the Commission if there were any questions for staff related to the
13 application.

14
15 Commissioner Iverson asked if the existing front yard fence is five-foot in height.

16
17 Director Thomson answered that there is five-foot in height fencing in the front yard of the property
18 that pre-dates the City ordinance restricting fencing height to 42-inches.

19
20 Commissioner Plantan asked if the chain-link fence was acceptable material for pool enclosures
21 and if the proposed gate would meet the requirement for being a non-scalable pool enclosure gate.

22
23 Director Thomson answered that pool enclosure and gating should not be climbable.

24
25 Commissioner Bashioum asked for the height of the proposed fence and gate as presented in the
26 provided slides.

27
28 Director Thomson answered five-feet.

29
30 Commissioner Parkhill asked if the height of the gate would be five-feet. He added that the
31 renderings appear to depict a gate that is taller than the attached fencing.

32
33 Applicant's representative, Drew Torrence, stated that the rendering provided was created with the
34 gate being taller than the attached fence and is not an accurate depiction of the height of the
35 proposed fence and gate. The application is for a fence and a gate, each with a height of five-feet.

36
37 Commissioner Parkhill asked if the neighbors have been polled for their opinions on the updated
38 proposal. He further stated that there have not been any letters submitted in support of the changes
39 or against it.

40
41 Applicant's representative, Drew Torrence, answered that he is not able to answer the question
42 and that maybe the homeowners would have more information regarding the neighbor's thoughts
43 on the updated proposal.

44
45 Commissioner Iverson asked for the height of the pillars located on either side of the driveway that
46 will support the proposed gate.

1
2 Applicant's representative, Drew Torrence, answered that the pillars were constructed for a five-
3 foot in height gate. He added that they would be cut down to the height of the approved fence.
4

5 Commissioner Bashioum stated that the previous application brought opposition from a specific
6 neighbor specifically for the height of the front-yard fence. She asked if the updated proposal was
7 shared with this neighbor and if the applicants were aware of the neighbor's current position.
8

9 Applicant's representative, Drew Torrence, answered that he is unable to answer that question and
10 stated that the homeowners may have more information.
11

12 Director Thomson clarified that there are two different set of fencing requirements in the City
13 Code. He stated that the pool fencing requirements are in a separate section of the City Code and
14 not within the zoning ordinance. The City does not have the ability to grant variances from pool
15 fencing enclosure standards because they are not within the zoning ordinance.
16

17 Commissioner Parkhill asked if the proposed gate would meet the pool gate enclosure
18 requirements.
19

20 Director Thomson answered that the requirement is that the gate must remain closed.
21

22 Applicant's representative, Drew Torrence, added that the proposed gate would have sensors that
23 would allow access to the property and sensors that would close the gate behind the visitor after
24 entering.
25

26 Commissioner Merriam stated that there are no other gates in the neighborhood. She asked if gates
27 are allowed for other property owners in the neighborhood, or if the applicant's property would be
28 unique in allowing a gate.
29

30 Director Thomson responded that gates are permitted but must meet the 42-inch height and 50%
31 opacity requirements for fencing. There is no lot size requirement for consideration of a gate.
32

33 Chair Flannigan asked the Commission for their thoughts on the application.
34

35 Commissioner Douglas stated that she appreciates that changes to the proposal and would like to
36 recommend some landscaping to help soften the gates façade.
37

38 Commissioner Parkhill stated that due to the burial grounds on the property and the size of the lot,
39 he does not have issue with the requested scale of the fence or gate.
40

41 Commissioner Bashioum added that she did not see gates on any of the neighboring properties.
42 She agreed with Commissioner Douglas' suggestion to add landscaping to soften and/or minimize
43 its presence.
44

45 Commissioner Iverson stated that she was undecided. She added that the property having a burial
46 site does make it unique. She does not think that a five-foot fence is going to restrict trespassers

1 from entering the property. She also added that she was concerned with the precedent a variance
2 could set in the neighborhood.

3
4 Commissioner Plantan expressed concerns related to the gate precedent in the neighborhood. She
5 stated that there are no other gates in the neighborhood. She does not believe that there is a
6 hardship demonstrated for a variance due to security, the pool, or the dogs. She further added
7 that she believes that there are ways to fence in the pool without having to go across the front of
8 the property.

9
10 Commissioner Merriam agreed with Commissioner Plantan that there are opportunities for the
11 homeowners to fence in the pool and continue to meet the 42-inch fence height requirement for
12 the front yard. She stated that although the proposal is for the gate to be set back a fair distance
13 from the road, it would still exist, and she does not feel that it would fit into the neighborhood.
14 She commended the author of the drawings, but she explained that there is not enough uniqueness
15 to the property to warrant a variance.

16
17 Chair Flannigan agreed that the application is complicated. He did not have issue with the
18 existence of the gate, and he understands the need for pool enclosure fencing. He mentioned that
19 there are probably other ways to meet that requirement. He indicated that there are some potential
20 difficulties that they have identified, and that he would like to see the application move to the City
21 Council for their consideration.

22
23 Chair Flannigan asked for a motion on the application.

24
25 Commissioner Parkhill made a motion, seconded by Commissioner Douglas, to direct staff to
26 prepare a Planning Commission Report and Recommendation, with appropriate findings reflecting
27 a recommendation of approval of the Variance at 143 and 151 Westwood Lane for review and
28 adoption at the next Planning Commission Meeting. The motion failed 3 ayes and 4 nays (Iverson,
29 Plantan, Merriam, and Bashioum).

30
31 Chair Flannigan asked for another motion on the application

32
33 Commissioner Iverson made a motion, seconded by Commissioner Plantan, to direct staff to
34 prepare a Planning Commission Report and Recommendation, with appropriate findings reflecting
35 a recommendation of denial of the Variance at 143 and 151 Westwood Lane for review and
36 adoption at the next Planning Commission Meeting. The motion carried 4 ayes and 3 nays
37 (Flannigan, Douglas, and Parkhill).

38
39
40 **AGENDA ITEM 5. Public Hearing Items:**

41
42 **a.) Chase Bank – 1022 Wayzata Blvd E**
43 **i. Design Review and Variance**
44

45 Director of Planning and Building Jeff Thomson stated the applicant, Core States Group, and the
46 property owner, Monaco Fuel, LLC, have submitted a development application to construct a one-

1 story retail bank on the property at 1022 Wayzata Blvd E. The proposal includes demolition of
2 the existing building, parking lot, and other site improvements. The new development would
3 consist of a 3,500 square-foot, single-story commercial building. The other site improvements
4 include a 15-stall parking lot and drive-up ATM's of the rear of the site. The development
5 application requests approval of the project design and a setback variance for an ATM structure.
6 The site is comprised of two separate parcels, which have different zoning and land use
7 classifications. The C-3 zoning district requires a minimum rear yard setback of 50 feet from any
8 rear lot line that abuts a residential zoning district. The proposed canopy structure over the ATMs
9 on the rear of the property line would be set back 0 feet from the south property line, which is
10 under common ownership and part of the development site, but zoned R-3A. The proposed plan
11 includes 15-stall off-street parking. Based on the proposed building size of 3,500 square-feet, the
12 development is required to have 10 on-site parking stalls. The 15 proposed stalls would meet the
13 City's ordinance standards. The proposed design includes two entrances, one for pedestrians on
14 Wayzata Blvd and one from the parking lot located on the south side of the structure. The project
15 is subject to the design standards for the Wayzata Blvd design district. The proposal meets the
16 building materials requirements with the use of brick and cast stone. There were three items of
17 the originally proposed design highlighted in the design critique that did not meet the design
18 standards, and they relate to lighting, awning material, and percentage of transparent glass. The
19 design standards require that the ground level façade fronting along Wayzata Blvd must be
20 comprised of at least 50% transparent glass. The transparent glass of the proposed building design
21 would be only 28%. The plans have been updated and amended since the design critique to include
22 heavy canvas awnings, and the blue-toned lighting around the building have been removed from
23 the plans to meet the design requirements. The plans have also updated and amended to include a
24 walkway connection from the sidewalk to the front entrance of the building as required by the
25 design standards. City staff have indicated that the proposed landscape plan may not provide
26 sufficient trees and landscape material to meet the City's screening requirements. Director
27 Thomson further noted that the City is planning to update the Superior and Wayzata Blvd
28 intersection, and this will create a right turn only exit from the property. He reiterated that the
29 only requested deviation from the design standards in the current and amended application is the
30 percentage of transparency glass used on the building. He also explained that the proposed setback
31 of the ATM structure would still require a variance.

32
33 Chair Flannigan asked if the Commission had questions for Mr. Thomson.

34
35 Commissioner Douglas asked if access from Huntington would still be available to the property.

36
37 Director Thomson stated that it would.

38
39 Chair Flannigan asked for more information regarding the buffer residential lot.

40
41 Director Thomson stated that there is not a lot of information regarding the creation of this lot, but
42 that the applicant is the owner of both lots that are part of the application.

43
44 Chair Flannigan asked for information as to what the residential lot could be used for.

45
46 Director Thomson replied that because of its size, it could not be used for single-family housing.

1
2 Commissioner Iverson stated that the construction of the retaining wall on the buffer lot decreased
3 the healthy/unhealthy vegetation that had created a screen to the adjacent residential properties.
4

5 Commissioner Merriam asked if it was possible to combine the 30-foot residential lot with the
6 commercial lot.
7

8 Director Thomson stated that it could not be combined without changing the zoning designation
9 to that of the other lot. He added that the ATM's structure would still not comply with the required
10 50-foot setback if the two parcels were combined. He further added that the lot serves the function
11 of creating a buffer between the commercial and residential uses in the area.
12

13 Commissioner Parkhill asked if the residential lot could be sold.
14

15 Director Thomson explained that it could be sold but that it would remain a non-buildable
16 residential lot.
17

18 Chair Flannigan asked if the Commission could tie conditions, such as landscaping or trees, to the
19 buffer lot as it pertains to the variance.
20

21 City Attorney Schelzel explained that because the lot was part of the application, reasonable
22 conditions could be tied to the lot if it related to the variance.
23

24 Chair Flannigan invited the applicant to address the Commission
25

26 Applicant's representative, John Jukevich, Senior Project Architect, Core States Group, stated that
27 there are two teams from his firm assigned to the project. He is head of the building portion, and
28 there is also a team in charge of the civil aspect of the project, but he will attempt to answer
29 questions of the Commission.
30

31 Commissioner Douglas expressed concerns related to the buffer. She explained that she does not
32 understand the need for four ATM machines. She added that removing the southern two ATM
33 machines could allow for a fence and tree screen to provide a buffer for the neighborhood. Car
34 headlights moving through the ATM machine areas could negatively impact the residential area,
35 and a proper buffer could decrease this.
36

37 Chair Flannigan agreed with Commissioner Douglas's suggestion regarding the removal of two of
38 the four ATM machines, and the possible subsequent positive impact on the buffer.
39

40 Applicant representative, John Jukevich, explained that they are only planning on putting in one
41 of the ATM lanes with access to two machines with provisions to add the second lane if need
42 requires.
43

44 Chair Flannigan asked if they have information specifically for Wayzata that projects a customer
45 need that would necessitate two lanes of ATM's.
46

1 Applicant representative, John Jukevich, explained that Chase is very common in other areas of
2 the country, and they are pushing to expand their branches into the Midwest.

3
4 Chair Flannigan asked if there was significance to the red color depicted in the plans on the front
5 of the building.

6
7 Applicant representative, John Jukevich, explained that the red color is brick, and there is no
8 significance to the color for the company.

9
10 Commissioner Parkhill asked why a cover was being proposed for over the ATMs. He explained
11 that there are a number of ATMs in the area without such covering. He stated that the covers may
12 be visible in the residential area, and he questioned if they were necessary.

13
14 Applicant representative, John Jukevich, answered that the overhead cover is to protect the ATM
15 user from the elements. He further explained that it is over the driver side only.

16
17 Chair Flannigan asked if it could be restructured to make the overhead canopy smaller or tie it into
18 the building in some way as a cantilever.

19
20 Applicant representative, John Jukevich, responded that as it is designed, the canopy would require
21 the pillars as designed.

22
23 Commissioner Bashioum asked if there had been any consideration to add glass under the soffits
24 to potentially meet the Code requirement for 50% transparent glass on the front façade of the
25 structure.

26
27 Applicant representative, John Jukevich, explained that due to structural requirements and other
28 necessary mechanical needs, glass in the identified area would not be transparent.

29
30 Commissioner Merriam asked for clarification on the number of ATMs. She also asked if they
31 were aware of the 50-foot setback requirement when designing the site.

32
33 Applicant representative, John Jukevich, responded that there will be an ATM within the building,
34 as well as a night depository. They are planning on one lane for an ATM to be opened with the
35 bank, and one to be built and opened when need requires. He explained that the design of the
36 ATMs in the back allow for optimal parking and circulation in the lot.

37
38 Chair Flannigan asked about the possibility of an alternate location for the ATM.

39
40 Commissioner Iverson stated that she is most concerned about the ongoing impact to the
41 neighborhood. She asked if they considered moving the building further back on the lot and
42 moving the parking to the front of the lot. She acknowledged that a variance would be required to
43 move the structure back, but she stated that it would be worth consideration.

1 Applicant representative, John Jukevich, stated that he would have to refer that question to the
2 civil team that determined the site plan. He further added that moving the building back from the
3 street may make the structure look awkward in comparison to the other businesses in the area.

4
5 Commissioner Iverson replied that in her opinion, many of the other businesses in the area have
6 wetlands behind them. She reiterated her concern regarding the impact that the traffic from this
7 business will have on the residential area.

8
9 Chair Flannigan asked Mr. Thomson if it would be possible for the structure to be moved to the
10 back of the lot, and parking designed closer to the street.

11
12 Director Thomson responded that it would most likely require several variances.

13
14 Commissioner Merriam added that she agrees with Commissioner Parkhill regarding the
15 unnecessary ATM coverage. She explained that her bank does not have an ATM canopy, and it
16 adequately meets her needs.

17
18 Applicant representative, John Jukevich, responded that the visual impact of the ATMs could be
19 buffered by creating a heartier landscaping plan than what is currently displayed. He also added
20 that a fence could also be considered, but cautioned the Commission that height requirements could
21 become an issue.

22
23 Commissioner Iverson explained that there are many other residential areas that may be impacted
24 by the proposal, and the Commission must remember that once built, the impact is permanent. She
25 expressed caution.

26
27 There being no further questions for the Applicant, Chair Flannigan opened the public hearing on
28 the application at 7:36 p.m.

29
30 Brad Hoyt, 326 Ferndale Road W, stated that he is the property owner and is hoping to answer the
31 questions raised by the Commissioners. He explained that they were directed by the city staff that
32 moving the building back on the lot was a threshold issue, and there were too many ordinances
33 and guidelines that would prohibit locating the building on the front of the lot. He cited many
34 newer buildings in the area that have been built right up to the sidewalk, and he stated that this is
35 obviously the plan for the area. He stated that if only the area of the first floor is considered in the
36 calculation for 50% of the building in transparent glass, the building would easily meet the code
37 requirement. He added that there are other buildings in the area that appear to have not followed
38 the glass requirement. He also stated that due to the unique nature of the structure being a bank,
39 there are some additional security and privacy requirements for the business. He was told by the
40 seller of the property that the small residential lot at the back of the property was designed as a
41 buffer so that nobody could build on it. When they replaced the rotting retaining walls on that lot,
42 they had to remove a six-foot fence as well. He thinks that a fence is a good idea, as well as adding
43 trees such as arborvitae that could grow to create beautiful barriers from the business to the
44 residential properties. He also thought that there may be room to make the ATM canopy smaller.
45 He added that this would be the first Chase business in Minnesota and would most likely function

1 as a bank for business in the beginning. He added that the hours of operation are limited for a
2 bank, and the use would incur far less traffic than the previous gas station.

3
4 Commissioner Iverson asked why there were four signs on the building. Specifically, she
5 questioned the sign located on the back of the building facing the residential area.

6
7 Resident, Gordy Straka, 130 Huntington Ave S, stated that he is familiar to some on the
8 commission as a long-time resident of the area. He also lives next to the applicant's property. He
9 reviewed the development application with many of his neighbors, and they agreed that the bank
10 is a good replacement for the former gas station. He questioned if the building could be moved to
11 back on the property with the car traffic located in the front and away from the residential property.
12 He stated that U.S. Bank has a similar design. He noted that the plans do not include a fence or
13 guard rail. He believes that a fence should be required to screen the light generated from the
14 business and sound from the road. He would like to see mature plantings, such as arborvitae,
15 added to the residential side of the fence. He would want this requirement to be on-going and the
16 plantings replaced as needed. He stated that the drive thru structure would be visible to many
17 residents. He expressed concerns related to the lighting of the building, parking lot, and signage.
18 He shared that the new Edina Realty sign projects a red light into his home that has caused him to
19 remove a window from his property. He is very concerned with the possibility of further light
20 impact from the new business. He provided a diagram of the parking lot lighting. He stated that
21 there would be no way of shielding the 20-foot tall LED lights. He also wanted clarification for
22 the number of ATMs, as well as know if there is an intention for pneumatic tubing system. He
23 would like to see that the garbage dumpsters are moved as far away from the residential properties.
24 He stated that the garbage pick-up in that area occurs twice a week at 3 a.m. He provided a history
25 of the small residential buffer lot. He also added that if a zoning change to the smaller property
26 was considered, he would show up to display his strong disagreement. He further added that he
27 toured all of the banks in the town and found that the only one that had a separate ATM was next
28 to a swamp and not a residential area.

29
30 Resident, Virginia Lord, 143 Huntington Ave S, stated that the report provided by Mr. Gordy
31 Straka is very much supported by herself and their neighbors. She is very concerned and is
32 appreciative of the Commission considering the impact on the neighborhood residents. She
33 reinforced that, she and her neighbors, are in support of the proposed bank building, but want it
34 located to the back of the property, similar to U.S Bank's orientation.

35
36 Resident, Stephen Storrie, 138 Huntington Ave S, stated that he has spoken in depth with Mr.
37 Straka about the concerns regarding the proposed plans for the property at 1022 Wayzata Blvd E.
38 He added that he is concerned that the planned parking lot lights will be a direct line to his back-
39 yard living space. He reiterated that he is in support of the renovation of the site but wanted the
40 Commission to be aware of the potential impact the proposed plan would have on his home and
41 how he is able to use it.

42
43 There being no one else wishing to comment on the application, Chair Flannigan closed the public
44 hearing at 8:01p.m.

1 Chair Flannigan stated that there were a couple of issues related to the proposal that he would like
2 to discuss, the first being the design of the façade requiring a deviation for less than 50%
3 transparent glass. He asked if any Commissioner had strong objections related to design deviation
4 requested for the transparency requirement. Hearing no objections, Chair Flannigan asked the
5 Commission to talk about the project in general, and specifically items related to the setback
6 variance.
7

8 Commissioner Merriam stated that she is open to considering changing the parking to the front of
9 the building. She added that parking in the back may still be an option, but with changes to the
10 lighting, the setbacks, and the screening. She does not believe that there needs to be more than
11 one ATM lane or an awning over the ATMs.
12

13 Commissioner Plantan asked if there was a way of moving the building in some way to allow the
14 ATMs to be located on the east side of the building. She also questioned if there was a way to
15 move some of the surface items such as garbage to the side of the building and away from the rear.
16 She believes that there definitely needs to be a six to eight-foot fence as well as plantings and
17 landscaping for screening. She would like to see renderings of these possible changes. She added
18 that the bank would be a great benefit for the neighborhood.
19

20 Commissioner Iverson stated that she would like to see some possible different locations of the
21 building. She added that she would like to see some changes with signage, lighting, garbage
22 locations, and landscaping options. She would like to see the ATM drive up location changed due
23 to concerns with safety, noise, and light impacting the neighborhood. She stressed that her primary
24 concern is preventing a negative impact on the neighborhood.
25

26 Commissioner Bashioum stated that her concern over the glass coverage pales in comparison to
27 the other concerns raised at the meeting. She agreed with the other Commissioners and their
28 concerns regarding lighting, the number of ATMs, the ATM awning, and proper screening of the
29 property from the residential neighborhood. She would like to see how the architects would
30 respond to the concerns.
31

32 Commissioner Parkhill thanked the neighborhood residents and the Chase representatives for
33 attending the meeting. He added that he is very interested in a Chase bank moving into the City.
34 He agreed with the concerns raised by the Commissioners. He added that a sightline drawing
35 would be critical to determine light pollution into the neighborhood. He would like to see less
36 illuminated signage, no ATM awning, and evening lighting minimized. He agreed that he would
37 like to see the architect's response to the resident's concerns.
38

39 Commissioner Douglas stated that the City has worked hard to keep buildings closer to the street
40 to improve the look of the area. She added that she is not aware of lighting requirements related
41 to the parking lots or the necessary height of such lights, and she would like to hear more about
42 that. She does not think that they need more than one ATM lane or one illuminated sign. She
43 likes the opportunity for the location to change, but she would like to see the applicant address the
44 concerns and bring it back to the Commission.
45

1 Chair Flannigan stated that he liked that the building is a modest one story that will fit in well on
2 the street. He added that it is important to put the best possible plan, for all involved, in front of
3 the City Council. He would like to add upkeep of the residential lot as a condition for the variance.
4 He gave an appreciation to the applicant for addressing the issues of non-compliance with the
5 design standards in the originally proposed building that were addressed and removed from the
6 application.
7

8 Chair Flannigan asked for a motion to table the application to allow time for the Commission to
9 hear more information about the site plan and for the applicant to possibly address the concerns
10 identified by the Commission.
11

12 Director Thomson stated that they would take the feedback to the applicant and it would be up to
13 the applicant to determine what revisions it could make. He added that if the ATM canopies are
14 removed, then the setback variance would no longer be necessary, and the application that will be
15 brought to the Commission would only be for a design deviation.
16

17 Commissioner Plantan asked if there were any requirements for the 20-foot light poles.
18

19 Director Thomson responded that there are standards related to lighting within the design
20 standards, and this could be addressed in the continuing design review.
21

22 Chair Flannigan stated that he believes that the applicant will try to be a good neighbor and put
23 forth an application that will work for the neighborhood, the City, and for the applicant.
24

25 Commissioner Iverson asked if the applicant was willing to look at changing the orientation of the
26 building. She added that she understands that if they choose to remove the canopy then they would
27 no longer need to obtain a variance, but she wanted to know if the applicant would still be willing
28 to take in consideration the neighborhood residents concerns.
29

30 Applicant representative, John Jukevich, responded that he has worked with Chase for a long time,
31 and he believes that they work very hard to be good neighbors. He stated that Chase works very
32 hard to be woven into the fabric of the community in which they serve. He believes that when the
33 information and concerns are shared with the civil team and the Chase design team, they will be
34 able to create a solution that works for all involved. He indicated that they could look at relocation
35 of ATMs and reorientation of the structure, but he added that this may or may not solve all of the
36 concerns. He added that they are planning for a 24-hour drop box vestibule that would require
37 proper lighting. He also stated that the ATMs would require 24-hour lighting as well for safety of
38 the visitors. If the ATM canopy is removed, then there would need to be a light pole to replace
39 the lack of canopy lighting. He added that it is possible that shorter light poles may be used. He
40 can also work with the team to explore sound and light screening options.
41

42 Director Thomson clarified that a reorientation of the structure would still require a set-back
43 variance.
44

45 There being no further questions for staff or the Applicant, Chair Flannigan asked for a motion on
46 the application.

1
2 Commissioner Iverson made a motion, seconded by Commissioner Douglas, to table action on the
3 application to allow the applicant to submit additional information and a revised plan and
4 application to be considered at the next Planning Commission meeting on March 4, 2019. The
5 motion carried unanimously.
6
7

8 **AGENDA ITEM 6. Other Items:**
9

10 **a.) February 5th City Council Meeting Report – Commissioner Douglas**
11

12 Commissioner Douglas reported that the City Council had a workshop prior to their meeting to
13 discuss the cost update and design development for phase one of the Lake Street and Lake Street
14 Plaza. They were approximately one million over the originally proposed budget, and they went
15 through design items individually and brought the deficit to around 250,000. They are continuing
16 to discuss this. The regular meeting was brief. One Council member asked for a workshop on
17 looking at raising the tobacco age sales to 21. The Council considered the plan for painting the
18 water tower and discussed the logo. They also discussed creating a construction mitigation plan
19 and ways to inform residents of the plan.
20

21 **b.) February 19th City Council Meeting Report – Chair Flannigan**
22

23 Chair Flannigan stated that he was not able to attend the meeting and asked if Director Thomson
24 could share some information on the City Council meeting. Director Thomson stated that there
25 was an update on the financing for the Lake Effect project and the trail extension. There was a
26 huge public forum that took up most of the meeting. There were police, fire and public safety
27 recognitions and a presentation for the Bill Matthews Memorial Highway signage. A police officer
28 was sworn in. The City Prosecutor was recognized for his many years of service. A grant
29 application was approved to provide renovation monies for some group homes located within the
30 city. A representative from Verizon Wireless discussed their planned screening for the telecom
31 antennas on top of their site's building. There has been a screen fabrication delay and they will
32 most likely not be available until April. The Council would like to administer a fine for non-
33 compliance with the ordinance and continue to monitor the project for compliance.
34

35 **c.) Review of Development Activities**
36

37 Director of Planning and Building Jeff Thomson stated they have heard the Beltz Project,
38 Broadway Place, will be starting construction very soon. There was a for sale sign placed for the
39 Hughes project, but they continue to want to develop the site and are in the process of identifying
40 tenants. Mr. Thomson said he will ask some questions to gain information about the steps needed
41 to address concerns with the landscaping at the Landing. Commissioner Iverson also asked for
42 Director Thomson to look into a lightpost, and questioned the brightness of it.
43

44 Commissioner Merriam asked if she could add some comments to an item that was on the consent
45 agenda. She stated that she was not familiar with the process of the consent agenda and all of the
46 items being approved as a group. She thought that items would be discussed individually.

1
2 Chair Flannigan responded that while it was too late for her comments to impact the previous vote,
3 she could express her comments so that they could be on the record and in the minutes, which will
4 be shared with the City Council.

5
6 Commissioner Merriam stated that the Report and Recommendation of Approval of Conditional
7 Use Permit and Variance for Manitoba Dream at 231 Manitoba Ave S. did not relate all of the
8 findings in the way that she thought they would be. She added that the findings stated that it had
9 been a duplex for over 20 years, and that it was actually a duplex for over 50 years. This was a
10 major factor for the recommendation of approval. She added that the applicant was going to keep
11 the historic nature of the house, and she felt that this should have been better reflected in the
12 findings. She explained that she did not want others to think that because there is one duplex in
13 the neighborhood, other duplexes could be built. She wanted it to be clear that the ordinance does
14 not allow for that.

15
16 City Attorney, David Schelzel, responded that the Report and Recommendations included in the
17 packets for the Consent agenda are drafts. If the Planning Commission determines that any one of
18 them does not adequately reflect any of the findings the Commission wishes to make, the Report
19 can be pulled from the Consent agenda and an amendment made. Procedurally, it is not a problem
20 to pull a Consent agenda item for further discussion, and fairly routine for this to occur. He further
21 explained that the Commission could also choose to amend the previously adopted Report and
22 Recommendation now. He added that the Manitoba Dream Report and Recommendation does
23 have findings related to the historic nature and the use of the building, but that that the language
24 can be amended.

25
26 Commissioner Merriam asked if a condition could be added that would not allow the applicant to
27 vary significantly from the plan put forward.

28
29 Director Thomson responded that they can add the condition that the project has to be built in
30 conformance with the plans submitted with the application.

31
32 City Attorney, David Schelzel, explained the procedure for making an amendment to the Report
33 and Recommendation. He stated that with the leave of the Chair, a Commissioner could make a
34 motion with the proposed amendment to the draft Report and Recommendation that was passed
35 earlier. The motion would then need to be seconded. Discussion could follow this, and then a
36 vote on the motion could be called.

37
38 Commissioner Merriam made a motion, seconded by Commissioner Plantan, to amend the draft
39 Recommendation and Report of Approval of Conditional Use Permit and Variance for Manitoba
40 Dream at 231 Manitoba Ave S to (i) add a point 8 in Section 2.1B of the Report and
41 Recommendation that the two-family dwelling has been in existence at the location for over 20
42 years and prior to the current zoning ordinance; (ii) in Section 3.2B, add the words “the existing
43 character of the property as a duplex”; (iii) in Section 3.2C the second sentence revise to state:
44 The existing layout of the Property and a desire to preserve the property as a duplex and its historic
45 elements are significant factors in the practical difficulties with meeting the zoning ordinance

1 requirements; and (iv) a condition that the project has to be built in conformance with the plans
2 submitted with the application.

3
4 The motion carried unanimously.

5
6 Director Thomson clarified that the condition for the project to be built in conformance with the
7 plans submitted with the application only applies to the duplex. If the property is demolished, then
8 the condition would no longer apply.

9
10 **d.) Next Meeting**

11
12 Chair Flannigan stated the next Planning Commissioner meeting was scheduled for March 4, 2019
13 at 6:30 p.m.

14
15
16 **AGENDA ITEM 7. Adjournment.**

17
18 There being no further business on the agenda, Chair Flannigan asked for a motion to adjourn.

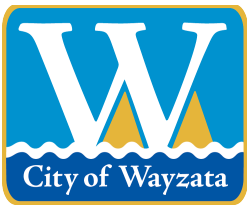
19
20 Commissioner Iverson made a motion, seconded by Commissioner Parkhill, to adjourn the
21 Planning Commission meeting. The motion carried unanimously.

22
23 The Planning Commission meeting was adjourned at 8:47 p.m.

24
25 Respectfully submitted,

26 Jenny Groess

27 *TimeSaver Off Site Secretarial, Inc.*



City of Wayzata Planning Commission Agenda Report

MEETING DATE: March 4, 2019	AGENDA ITEM: 4.b.
TITLE: Adoption of Report and Recommendation of Denial of a Variance at 143 and 151 Westwood La S	
PREPARED BY: PeggySue Imihy, Planning Consultant	
REVIEWED BY: Jeff Thomson, Director of Planning and Building	
60 DAY DEADLINE: March 29, 2019	

BACKGROUND:

Application Overview

The property owners, Todd and Katherine Urness, have re-submitted a development application for a fence and gate located on the properties at 143 and 151 Westwood Lane. The applicant is proposing a five (5) foot tall steel fence in the side and front yard with a wooden, 50% opaque, gate across the driveway in the front yard. The development application requests approval of a variance for the height of the fence in the front yard.

Planning Commission Review

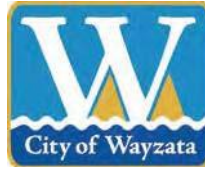
The Planning Commission held a public hearing on the development application on January 7, 2019. At its February 20, 2019 meeting, the Planning Commission reviewed the revised plans and voted four (4) in favor and three (3) opposed to direct staff to prepare a report and recommendation for denial of the development application.

ACTION REQUESTED:

City staff has drafted the attached Planning Commission Report and Recommendation which recommends denial of the development application based on the findings discussed by the Commission.

ATTACHMENTS:

1. Draft Planning Commission Report and Recommendation



WAYZATA PLANNING COMMISSION

March 4, 2019

REPORT AND RECOMMENDATION OF DENIAL OF A VARIANCE AT 143 AND 151 WESTWOOD LA S

SUMMARY OF RECOMMENDATION

Denial of Variance Height of Fence in Front Yard

REPORT AND RECOMMENDATION

Section 1. BACKGROUND

- 1.1 **Project.** Applicants and property owners, Todd and Katherine Urness, (collectively, the “Applicant”) have submitted a development application (the “Application”) for the properties at 143 and 151 Westwood Lane South (the “Property”) to allow a five (5) foot tall steel fence in the front yard, with a wooden, 50% opaque gate across the driveway, all as depicted in the Application (the “Proposed Fence”). The Application was amended by the Applicant after the public hearing on the Application at the January 7, 2019 Planning Commission meeting. The Application no longer includes requests for a variance to use chain link fencing or a conditional use permit for a 100% opaque gate.
- 1.2 **Application Request.** The Application contains a request for a variance from the Zoning Ordinance’s forty-two (42) inch height limit on fences in the front yard to allow for a sixty (60) inch fence in the front yard of the Property (the “Fence Height Variance”).
- 1.3 **Property.** The street addresses, property identification numbers and owners of the Property are:

143 Westwood Lane	01-117-23-12-0005	Todd and Katherine Urness
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151 Westwood Lane	01-117-23-13-0012	Todd and Katherine Urness
-------------------	-------------------	---------------------------

- 1.4 Land Use. The Property is zoned R-1 Low Density Single Family Residential District and guided One Acre Single Family. It is not located in any overlay district.
- 1.5 Notice and Public Hearing. Notice of a public hearing on the Application was published in the *Wayzata Sun Sailor* on December 20, 2018. A copy of the notice was mailed to all property owners located within at least 350 feet of the Property on December 20, 2018. The public hearing on the Application was held at the January 7, 2019 Planning Commission meeting.

Section 2. STANDARDS

- 2.1 Height Limit for Fences in Front Yard; Variances. Fences in the front yard of property in the City may not exceed forty-two (42) inches in height. City Code Section 918.01E.02. The criteria and conditions governing considerations of variance request are as follows:
- A. Variances shall only be permitted when they are:
 - (i) in harmony with the general purposes and intent of the Zoning Ordinance; and
 - (ii) consistent with the Comprehensive Plan.
 - B. Variances may be granted when the Applicant for the variance establishes that there are practical difficulties in complying with this Ordinance.
 - C. "Practical difficulties," as used in connection with the granting of a variance, means that:
 - (i) the property owner's proposal for the property is reasonable but not permitted by Zoning Ordinance;
 - (ii) the plight of the landowner is due to circumstances unique to the property, and not created by the landowner; and
 - (iii) the variance, if granted, will not alter the essential character of the locality.
 - D. Economic considerations alone do not constitute practical difficulties. Practical difficulties include, but are not limited to, inadequate access to direct sunlight for solar energy systems.
 - E. Variances shall be granted for earth sheltered construction as defined in Minnesota Statutes, section 216C.06, subdivision 14, when in harmony with this Ordinance.
 - F. The City Council shall not permit as a variance any use that is not allowed under this Ordinance for property in the zoning district where the affected

person's land is located, except the City Council may permit as a variance the temporary use of a one family dwelling as a two family dwelling.

- G. The City Council may impose conditions in the granting of variances. A condition must be directly related to and must bear a rough proportionality to the impact created by the variance.
- H. An application for a variance shall set forth reasons that the variance is justified under the criteria of this section in order to make reasonable use of the land, structure or building.

City Code Section 905.01.C

Section 3. FINDINGS

Based on the Application materials, staff reports, public comment presented at the public hearing, and Wayzata's Zoning Ordinance, the Planning Commission of the City of Wayzata makes the following findings of fact:

- 3.1 Front Yard Fence Height Variance. The Fence Height Variance does not meet all of the standards for granting a variance under the Zoning Ordinance:
 - A. The Fence Height Variance is not in harmony with the purpose and intent of the Zoning Ordinance. The intent of the fence height requirement is to minimize the visual impact of fences located in the front yard and along the public street, and the Fence Height Variance would have an adverse visual effect from the surrounding neighborhood and from the public street.
 - B. The Fence Height Variance is not consistent with the Comprehensive Plan, which seeks to preserve the distinctive character of the City's existing residential neighborhoods and promote a welcoming, small town character.
 - C. The Applicant has not sufficiently demonstrated in the Application or its presentations to the Planning Commission that there are practical difficulties in complying with the front yard fence height requirement under the relevant criteria of the Zoning Ordinance.
 - D. The Fence Height Variance request is not due to circumstances unique to the Property, which can accommodate a front yard fence that complies with the height limits of the Zoning Ordinance, and has a large rear yard area where a fence could be constructed to comply with the Zoning Ordinance requirements.

- E. The Fence Height Variance, if granted, would alter the essential character of the Property and the surrounding neighborhood. A five (5) foot high front yard gate and fence are not in keeping with the essential character of the neighborhood, which contains large and open front yards, without any front yard gates and without any fences of the proposed height.

Section 4. RECOMMENDATION

- 4.1 Planning Commission Recommendation. Based on the findings in section 3 of this Report, the Planning Commission recommends **DENIAL** of the Fence Height Variance.

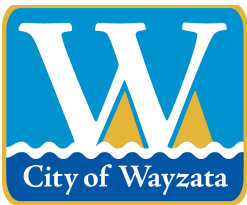
Adopted by the Wayzata Planning Commission this 4th day of March 2019.

Voting For Denial Recommendation: Bashioum, Iverson, Plantan, Merriam

Voting Against Denial Recommendation: Douglas, Flannigan, Parkhill

Abstaining: None

Absent: None



City of Wayzata Planning Commission Agenda Report

MEETING DATE: March 4, 2019	AGENDA ITEM: 5.a.
TITLE: Consider Development Application for Chase Bank at 1022 Wayzata Blvd E	
PREPARED BY: Jeff Thomson, Director of Planning and Building	
REVIEWED BY: N/A	
60 DAY DEADLINE: May 2, 2019	

BACKGROUND:

Application Overview

The applicant, Core States Group, and the property, Monaco Fuel, LLC, have submitted a development application to construct a one-story retail bank on the property at 1022 Wayzata Blvd E. The proposal includes demolition of the existing building, parking lot, and other site improvements. The new development would consist of a 3,500 square foot, single-story commercial building. The other site improvements include a 15-stall parking lot and drive-up ATMs on the rear of the site. The development application requests approval of design review and a setback variance.

Planning Commission Review

The Planning Commission held a public hearing on the development application on February 20, 2019. After its review, the Planning Commission tabled the application and asked the applicant to consider the following comments and issues:

- ATM location and canopy structure setback
- Additional screening and buffering including fencing and landscaping
- Illuminated signage oriented towards the residential neighborhood
- Site lighting

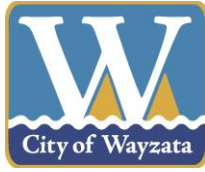
The applicant has submitted revised plans for the application. The revised plans, updated staff report, and design review critique are attached.

ACTION REQUESTED:

After considering the revised plans, the Planning Commission should direct staff to prepare a report and recommendation, with appropriate findings, reflecting a recommendation on the application for review and adoption at the next Planning Commission meeting.

ATTACHMENTS:

1. Staff Report
2. Revised Plans
3. Updated Design Review Critique
4. Public Comments



**Staff Report
March 4, 2019**

Development Application

Introduction

The applicant, Core States Group, and the property, Monaco Fuel, LLC, have submitted a development application to construct a one-story retail bank on the property at 1022 Wayzata Blvd E. The proposal includes demolition of the existing building, parking lot, and other site improvements. The new development would consist of a 3,500 square foot, single-story commercial building. The other site improvements include a 15-stall parking lot and drive-up ATMs on the rear of the site. The development application requests approval of design review and a setback variance.

Based on the Planning Commission review and public hearing, the applicant has submitted revised plans for the project. The revised plans include the following changes:

- ATM Relocation: The drive-up ATM has been moved to the northeast, to the exit side of the drive aisle, and the canopy structure over the ATM has been reduced in size. The setback from the south property line has been increased from 0 feet to 25 feet. The canopy structure would be set back 55 feet from the south property line of the development site, but would not meet the 50-foot setback from the internal residential property line within the development site. The variance has been reduced, but the structure continues to require a setback variance.
- Screening: A 6-foot-tall solid fence has been added along the south side of the parking lot on top of the retaining walls to provide screening to the residential neighborhood to the south. In addition, the landscape plan has been updated to provide additional landscaping within the parking lot and on the south side of the lot.
- Reduced lighting levels: With the reduction of the ATM canopy, one of the lights has been removed from the structure. In addition, the two proposed site light poles on the south of the property have been changed. The new light fixture proposed has a house-side shield which covers the back of the light facing the neighborhood, and projects all light forward toward the parking lot. By doing this, light levels have been reduced to a maximum of 0.1 foot-candles at the residential property line, which meets the City's zoning ordinance standards.

Project Location

The property is on Wayzata Blvd E, west of Central Ave S:



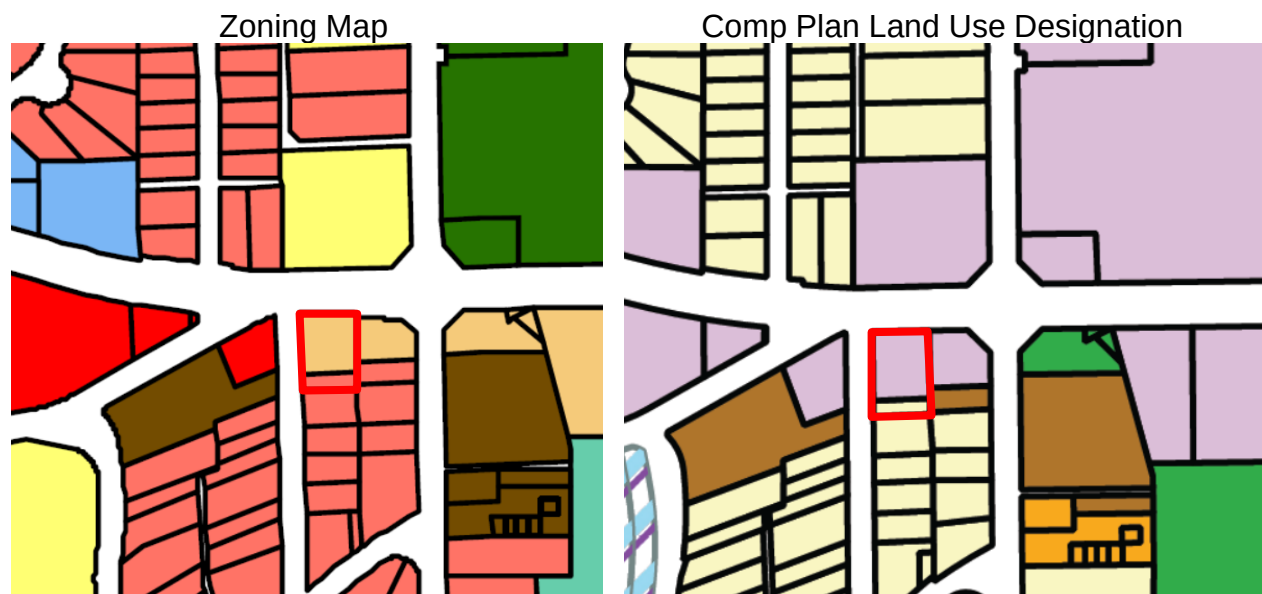
Property Information

The property identification number and owner of the properties are as follows:

Address	PID	Owner
1022 Wayzata Blvd E	06-117-22-41-0015	Monaco Fuel, LLC
1022 Wayzata Blvd E	06-117-22-41-0016	Monaco Fuel, LLC

The site is comprised of two separate parcels, which have different zoning and land use classifications. The current zoning and comprehensive plan land use designation for the properties are as follows:

Current zoning:	C-3/Service District (North Parcel) R-3A/Single and Two Family Residential (South Parcel)
Comp Plan designation:	Mixed Use Commercial (North Parcel) Low Density Single-Family (South Parcel)
Overlay districts:	None



Adjacent Land Uses.

The following table outlines the uses, zoning, and Comprehensive Plan land use designations for adjacent properties:

Direction	Adjacent Use	Zoning	Comp Plan Land Use Designation
North	Wayzata Blvd E	N/A	N/A
	Walgreens	PUD/Planned Unit Development	Mixed Use Commercial
East	Wayzata-Pennhurst Cleaners	C-3/Service District	Mixed Use Commercial
South	Single-family homes	R-3A/Single and Two Family Residential District	Low Density Single Family
West	Huntington Ave	N/A	N/A
	Edina Realty building	C-1/Office and Limited Commercial District	Mixed Use Commercial

Application Requests

As part of the submitted development application, the applicant is requesting approval of the following items:

- Design review: Construction of a new commercial building requires design review. (City Code Section 909.04.B)

- Setback variance for canopy structure: The C-3 zoning district requires a minimum rear yard setback of 50 feet from any rear lot line that abuts a residential zoning district. The proposed canopy structure over the ATMs on the rear of the property line would be set back 25 feet from the south property line, which is under common ownership and part of the development site, but zoned R-3A. (City Code Section 977.06.3)

Public Hearing Notice

The public hearing notice was published in the *Lakeshore Weekly News* on February 7, 2017. The public hearing notice was also mailed to all property owners located within at least 350 feet of the subject property. The public hearing was held at the February 20, 2019 Planning Commission meeting.

Analysis of Application

City staff has reviewed the pertinent information and City Code requirements for the development application, and provides the following analysis and information:

Comprehensive Plan

The Comprehensive Plan land use designation for the subject property is Mixed Use Commercial. The Comprehensive Plan includes the following discussion for the Mixed Use Commercial district:

The Mixed Use Commercial land use category was created to reflect the reality that many traditional service commercial uses along the Wayzata Blvd and Central Avenue corridors, in addition to smaller commercial parcels within the Bluff neighborhood, may wish to evolve over time to include a mixture of commercial, limited office, and residential uses. This Mixed Use Commercial category provides flexibility to property owners who wish to incorporate a residential component with retail or other commercial uses on their site.

Zoning

The following table outlines the zoning standards for the C-3/Service District:

	C-3 Zoning District	Proposed
Height (max.)	2 stories and 30 ft., whichever is less	1 story, 26.3 ft.
Floor area ratio (max.)	1.0	0.15
Lot coverage (max.)	50%	14.9%
Landscaped area (min.)	20%	31.9%
Building setbacks (min.)		
Principal Structure		
Front (north)	10 ft.	12 ft.
Side (east)	10 ft.	30.8 ft.
Side (west)	10 ft.	11 ft.
Rear (south)	50 ft.	92 ft.

Accessory Structure		
Side (east)	10 ft.	32 ft.
Side (west)	10 ft.	71 ft.
Rear (south)	50 ft.	25 ft.**
Lot area (min.)	15,000 sq. ft.	18,971 sq. ft.
Parking setbacks (min.)		
Front (north)	10 ft.	N/A
Side (east)	10 ft.	12 ft.
Side (west)	10 ft.	30 ft.
Rear (south)	10 ft.	23 ft.

**variance requested

Proposed Uses

The applicant is proposing to build a one story, 3,500 square foot commercial building. The building would contain a single tenant, which is proposed to be Chase Bank. Banks, savings, and other financial institutions are a permitted use in the C-3 zoning district provided that they do not have drive-up window facilities. The proposed bank has outdoor ATM machines, but it would not have traditional drive-up teller services.

Parking

The proposed plans include 15 off-street parking stalls on the site. The City's zoning ordinance establishes minimum parking requirements for individual commercial uses. Similar to office buildings, banks are required to have a minimum of three parking spaces for each 1,000 square feet of floor area. Based on the proposed building size of 3,500 square feet, the development is required to have 10 on-site parking stalls. The 15 proposed stalls provides additional parking then is required to meet the City's ordinance standards.

Design Review

The project is subject to the design standards for the Wayzata Blvd design district. A complete design review critique of the proposal is included as an attachment. The following the item does not comply with the City's design standards:

- Façade Transparency: The design standards require that the ground level façade fronting along Wayzata Blvd must be comprised of at least 50% transparent glass. The proposed building design includes only 27.9% transparent glass along Wayzata Blvd, which does not meet the City's design standards.

Fencing and Screening.

The zoning ordinance requires that commercial uses that abut property zoned for residential use must provide screening along the boundary of the residential property. All the fencing and screening specifically required by this Ordinance shall consist of either a fence or a green belt planting strip. A green belt planting strip shall consist of evergreen trees and/or deciduous trees and plants and shall be of sufficient width and density to provide an effective visual screen. This planting strip shall be designed to provide

complete visual screening to a minimum height of six feet. Earth mounding or berms may be used but shall not be used to achieve more than three feet of the required screen. A screening fence shall be constructed of masonry, brick, wood or metal. Such fence shall provide a solid screening effect of six feet in height.

Exterior Lighting

The zoning ordinance states that any lighting used to illuminate an off-street parking area, sign or other structure, shall be arranged as to deflect light away from any adjoining residential property. The source of lights shall be hooded or controlled in some manner so as not to light adjacent property. Bare incandescent light bulbs shall not be permitted in view of adjacent property. Any light or combination of lights which cast light on residential property may not exceed 0.4 foot candles as measured at the property line. The revised site lighting plans comply with these ordinance standards.

Applicable Code Provisions for Review

Comprehensive Plan

The Comprehensive Plan land use designation for the subject property is Mixed Use Commercial. The objective of the Mixed Use Commercial land use category is to maintain and enhance these areas for primarily general retail and other commercial uses, while allowing the integration of a residential component. The Comprehensive Plan includes the follow “1st Tier” priorities for the Mixed Use Commercial and Mixed Use Residential land use categories:

- Allow for a broad range commercial and residential uses that provide daily goods and services, as well as a variety of housing opportunities.
- Increase the walkability of eastern Wayzata Blvd. where possible, through improvements in the public and private realm.
- Plan development of parking so that it is not a focal point, but rather placed behind buildings with appropriate buffers and landscaping.
- Give particular attention in commercial and services areas to building design and scale, street trees, and extensive use of landscaping to minimize the effects of buildings, parking areas and driveways.
- Consolidate access to streets wherever possible.
- Develop and enforce ordinances to eliminate the visual pollution created by signs and "franchise" architecture.
- Adequately screen or buffer all service and commercial uses from any adjacent residential neighborhoods.
- Create safe and convenient pedestrian movement within all service and commercial districts.
- Strictly regulate and enforce outdoor commercial storage and environmental quality maintenance.
- Enact and enforce a commercial maintenance code to help ensure that commercial development continues to maintain community character.
- Identify ecological and water quality impacts on the lake and other water bodies caused by proposed land use developments, for example stormwater runoff, and work to mitigate these impacts.

Design Standards City Code Section 801.09: The design standards set forth in Section 9 of the Wayzata City Zoning Ordinance are referred to collectively as the “Design Standards” or the “Standards”. The purpose of the Design Standards is to shape the City’s physical form and to promote the quality, character and compatibility of new development in the City. The Standards function to:

- A. To guide the expansion and renovation of existing structures and the construction of new buildings and parking, within the commercial districts of the City;
- B. To assist the City in reviewing development proposals;
- C. To improve the City’s public spaces including its streets, sidewalks, walkways, streetscape, and landscape treatments.

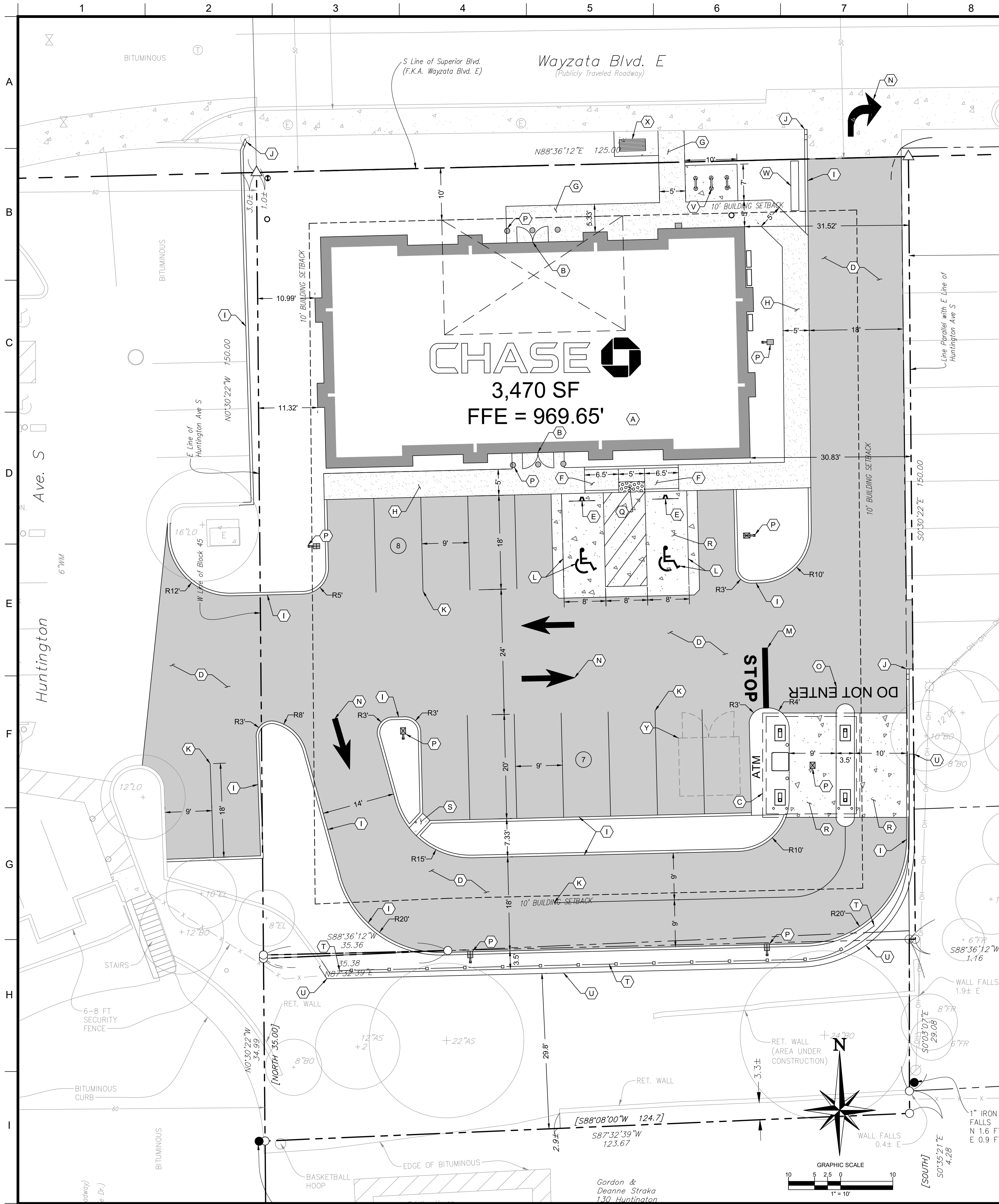
With the exception of Section 7 of the Design Standards, a deviation from any section of the Design Standards shall require a finding by the City Council (after considering the Planning Commission’s recommendation) that the negative impact of such deviation is outweighed by one or more of the following factors:

- 1. The extent to which the project advances specific policies and provisions of the City’s Comprehensive Plan.
- 2. The extent to which the deviation permits greater conformity with other Standards, policies behind the Standards, or with other Zoning Ordinance standards.
- 3. The positive effect of the project on the area in which the project is proposed.
- 4. The alleviation of an undue burden, taking into account current leasing, housing and commercial conditions.
- 5. The accommodation of future possible uses contemplated by the Design Standards, the Zoning Ordinance or the Comprehensive Plan.
- 6. A national, state or local historic designation.
- 7. The project is the remodeling of an existing building which largely otherwise conforms to the Design Standards.

Variance Standards: Section 801.05.1.C provides the criteria for reviewing variances from the Zoning Ordinance. The Variance requested in the Application is a Setback Variance. The variance review criteria are as follows:

- A. Variances shall only be permitted when they are:
 - (i) in harmony with the general purposes and intent of this Ordinance; and

- (ii) consistent with the Comprehensive Plan.
- B. Variances may be granted when the Applicant for the variance establishes that there are practical difficulties in complying with this Ordinance.
- C. "Practical difficulties," as used in connection with the granting of a variance, means that:
 - (i) the property owner's proposal for the property is reasonable but not permitted by this Ordinance;
 - (ii) the plight of the landowner is due to circumstances unique to the property, and not created by the landowner; and
 - (iii) the variance, if granted, will not alter the essential character of the locality.
- D. Economic considerations alone do not constitute practical difficulties. Practical difficulties include, but are not limited to, inadequate access to direct sunlight for solar energy systems.
- E. Variances shall be granted for earth sheltered construction as defined in Minnesota Statutes, section 216C.06, subdivision 14, when in harmony with this Ordinance.
- F. The City Council shall not permit as a variance any use that is not allowed under this Ordinance for property in the zoning district where the affected person's land is located, except the City Council may permit as a variance the temporary use of a one family dwelling as a two family dwelling.
- G. The City Council may impose conditions in the granting of variances. A condition must be directly related to and must bear a rough proportionality to the impact created by the variance.
- H. An application for a variance shall set forth reasons that the variance is justified under the criteria of this section in order to make reasonable use of the land, structure or building.



- SITE LEGEND**
- PROPERTY BOUNDARY LINE
 - RIGHT-OF-WAY LINE
 - CENTERLINE OF EXISTING ROADWAY
 - ADJACENT PROPERTY LINE
 - EXISTING CURB
 - EXISTING EDGE OF PAVEMENT
 - EXISTING FENCE
 - EXISTING TREE
 - EXISTING STORM STRUCTURES
 - EXISTING SANITARY STRUCTURES
 - EXISTING UTILITY POLE
 - PROPOSED CURB
 - PROPOSED BUILDING
 - PROPOSED ASPHALT
 - PROPOSED SIDEWALK
 - PROPOSED CONCRETE
 - PROPOSED WATER STRUCTURES
 - PROPOSED STORM STRUCTURES
 - PROPOSED SANITARY STRUCTURES
 - PROPOSED LIGHTING STRUCTURES
 - PROPOSED SIGN
 - PROPOSED PARKING COUNT

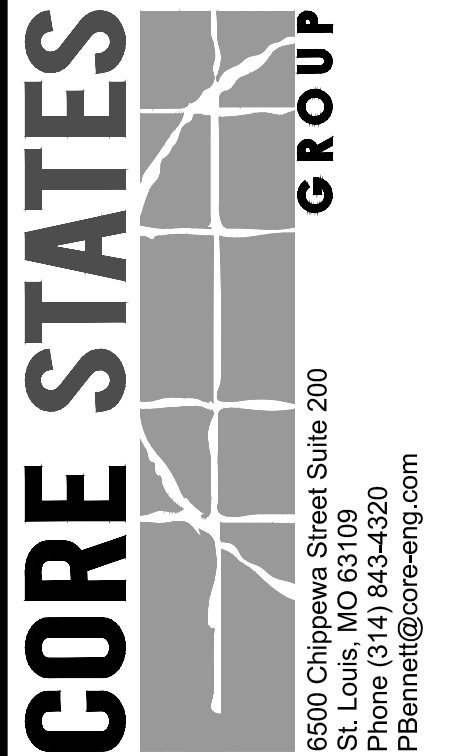
SITE NOTES:

- REFER TO SHEET C2 FOR GENERAL NOTES.
- REFER TO SHEET C6 FOR DEMOLITION PLAN.
- REFER TO SHEET C8 FOR GRADING AND DRAINAGE PLAN.
- REFER TO SHEET C9 FOR UTILITY PLAN.
- REFER TO SHEET LP-1 FOR LANDSCAPE PLAN.
- REFER TO PHOTOMETRIC PLAN FOR SITE LIGHTING DETAILS.
- ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC.) UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS.
- ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
- CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED OTHERWISE.

KEYED NOTES:

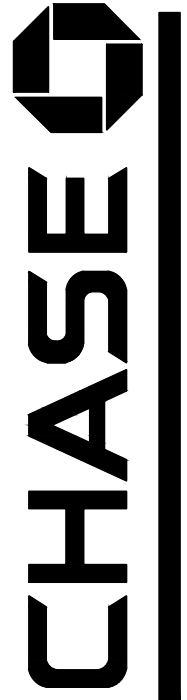
- A. PROPOSED CHASE BANK. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND ELEVATIONS.
- B. PROPOSED BUILDING SIGNS TO BE PROVIDED AND INSTALLED BY OTHERS. ALL SIGNAGE PERMITTED AND APPROVED SEPARATELY.
- C. PROPOSED DRIVE-THRU ATM. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND ELEVATIONS.
- D. PROPOSED ASPHALT PAVEMENT. REFER TO SHEET C10 FOR DETAIL.
- E. PROPOSED ADA PARKING SIGNAGE. REFER TO SHEET C10 FOR DETAIL.
- F. PROPOSED ADA COMPLIANT PARALLEL CURB RAMP. REFER TO SHEET C10 FOR DETAIL.
- G. PROPOSED CONCRETE SIDEWALK. REFER TO SHEET C10 FOR DETAILS.
- H. PROPOSED CONCRETE SIDEWALK WITH TURNED DOWN EDGE. REFER TO SHEET C10 FOR DETAILS.
- I. PROPOSED CONCRETE CURB. REFER TO SHEET C10 FOR DETAIL.
- J. PROPOSED DEPRESSED CURB. REFER TO SHEET C10 FOR DETAIL.
- K. PROPOSED 6" SOLID WHITE PAINTED STRIPE (TYPICAL). REFER TO SHEET C10 FOR DETAIL.
- L. PROPOSED ACCESSIBLE PARKING STRIPING. REFER TO SHEET C10 FOR DETAIL.
- M. PROPOSED 24" WIDE THERMOPLASTIC STRIPE STOP BAR. REFER TO SHEET C10 FOR DETAIL.
- N. PROPOSED DIRECTION TRAFFIC MARKING PAINTED (TYPICAL). REFER TO SHEET C11 FOR DETAIL.
- O. PROPOSED THERMOPLASTIC "DO NOT ENTER". REFER TO SHEET C11 FOR DETAIL.
- P. PROPOSED SITE LIGHT FIXTURE. (SEE SITE NOTE # 6)
- Q. PROPOSED DETECTABLE WARNING. REFER TO SHEET C10 FOR DETAIL.
- R. PROPOSED CONCRETE PAVEMENT. REFER TO SHEET C10 FOR DETAIL.
- S. PROPOSED CONCRETE FLUME. REFER TO SHEET C11 FOR DETAIL.
- T. PROPOSED 6" TALL PERIMETER SCREEN FENCE. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- U. PROPOSED RETAINING WALL. REFER TO GRADING PLAN (SHEET C8) FOR ELEVATIONS.
- V. PROPOSED BIKE RACKS. REFER TO SHEET C11 FOR DETAIL.
- W. PROPOSED MONUMENT SIGN TO BE PROVIDED AND INSTALLED BY OTHERS. ALL SIGNAGE PERMITTED AND APPROVED SEPARATELY.
- X. PROPOSED BENCH PER THE CITY OF WAYZATA DESIGN STANDARDS.
- Y. FUTURE TRASH ENCLOSURE LOCATION.

ZONING DATA C-3 - SERVICE DISTRICT		
ITEM	EXISTING / REQUIRED	PROPOSED
PARCEL ID	0611722410015, 0611722410016	0611722410015, 0611722410016
FUTURE LAND USE	MIXED USE COMMERCIAL	MIXED USE COMMERCIAL
MAXIMUM BUILDING HEIGHT (FT)	30 FT	26.375 FT
BUILDING AREA (SF)	4,091 SF	3,470 SF
FRONT SETBACK (FT)	10 FT	10.00 FT (NORTH)
SIDE SETBACK (FT)	10 FT	10.99 FT (WEST) 10.25 FT (EAST FOR ATM)
REAR SETBACK (FT)	10 FT	23.59 FT (SOUTH FOR ATM)
PARKING SPACES	1 SPACES / 350 SF GFA 3,470 ÷ 350 = 10 SPACES MIN.	15 SPACES (INCLUDING ADA SPACES)
ADA PARKING SPACES	1 SPACE	2 SPACES
TOTAL PARCEL AREA	0.536 AC (23,339 SF)	0.536 AC (23,339 SF)
TOTAL LIMITS OF DISTURBANCE	0.472 AC (20,568 SF)	0.472 AC (20,568 SF)
TOTAL OFF-SITE WORK	N/A	0.030 AC (1,306 SF)
PARCEL IMPERVIOUS SURFACES AREA (% OF LOT AREA)	0.441 AC (19,207 SF) 82.28%	0.365 AC (15,884 SF) 68.10%
PARCEL PERVIOUS SURFACES AREA (% OF LOT AREA)	0.095 AC (4,132 SF) 17.72%	0.171 AC (7,455 SF) 31.90%



DOCUMENTS PREPARED BY CORE STATES, INC. INCLUDING THIS DOCUMENT ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IT IS USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED. USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT



THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES SHOWN ON THESE PLANS IS BASED ON RECORD DRAWINGS, FIELD SURVEY, AND/OR OTHER AVAILABLE INFORMATION. NO GUARANTEE IS MADE BY CORE STATES, INC. FOR THE ACCURACY OF THE INFORMATION SHOWN HEREON. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY EXCAVATION TO AVOID DAMAGE TO EXISTING UTILITIES.

REVISIONS			
REV	DATE	COMMENT	BY

DOCUMENT
CIVIL
CONSTRUCTION
DOCUMENTS FOR
CHASE BANK

SITE LOCATION
1022 WAYZATA
BOULEVARD E.,
WAYZATA, MN 55391

ENGINEER SEAL

SHEET TITLE
SITE PLAN

JOB #: JPM-25535
DATE: 02-27-19
SCALE: 1"=10'
DRAWN BY: ZPM
CHECKED BY: PTB

SHEET NO.

C7

Scale 1" = 20'

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GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR**
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM
 2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION PURPOSES.
 3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID CONTRACTOR'S LICENSE ISSUED BY THE APPROPRIATE LOCAL JURISDICTION.
- B. SCOPE OF WORK**
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR COMPLETION, INCLUDING THE OBTAINING OF ALL NECESSARY PERMITS HEREIN AND/OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
 2. THE CONTRACTOR SHALL BE INFORMED OF ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, INSTALLATION AND MAINTENANCE OF THE PROJECT.
 3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
1. FURNISH RUNNER-GROWN PLANTS COMPLYING WITH ANSI Z601-2014. PROVIDE WELL-SHAPED, FULLY DEVELOPED, HEALTHY, VIGOROUS SPECIES FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES MUST BE OBTAINED FROM A REPUTABLE NURSERY OR PROPAGATOR WITH A REPUTABLE AND SIMILAR CLIMATIC CONDITIONS.
2. ROOT SYSTEMS SHALL BE HEALTHY, DENSE, BRANCHED ROOT SYSTEMS, NON-POUND, ROUND, FREE OF GUMMINGS, AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
3. TREES MAY BE PLANTED FROM CONTAINERS, BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED OTHERWISE. THE PLANTING LEGEND, BALLED-ROOT TREES ARE NOT ACCEPTABLE.
4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE SPECIES AND SIZE AT THE SAME OR BETTER PRICE. REPLACEMENT PLANTS SHALL BE HEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE. SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
5. TREES SHALL BE ACCEPTED IF THE PLANTER OR THE LANDSCAPE ARCHITECT, TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
6. TREE MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
7. FOR PRUNK TREES, MEASUREMENTS SHALL BE TAKEN FROM THE TOP OF THE TRUNK TO THE TOP OF THE ROOT BALL, WHERE CALIPER MEASUREMENTS ARE USED. THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
8. TOPS OF TREES OR SHRUBS TO BE PLANTED SHALL BE PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF. SOD SHALL BE 10 INCHES TO 12 INCHES PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD. SEED: PROVIDE BLEND OF SPECIES AND VARIETIES AS NOTED ON THE PLANS, WITH MAXIMUM PERCENTAGE OF PURELY GERMINAL SEED. SEED SHALL BE PROVIDED BY THE SUPPLIER. SEEDS ON PLANS: EACH BAG OF SEED SHALL BE ACCOMPANIED BY A TAG FROM THE SUPPLIER INDICATING THE COMPOSITION OF THE SEED.
- E. TOPSOIL: SANDY TO LOAMY OAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- F. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, PH RANGE OF 5.5 TO 8; MOISTURE CONTENT OF 40 TO 60 PERCENT; 100 PERCENT PASSING THROUGH 3/4 INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DILGEMMIS/CM; NOT EXCEEDING 0.5 PERCENT NITR CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO NATURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- G. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING LABORATORY.
- H. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS TOP DRESSING OF TREES AND SHRUBS.
- I. TREES: STAKING AND GUYING
1. STAKES: 6' LONG GREEN METAL T-POSTS.
2. GUY AND TIE WIRE: ASTM A-641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
3. STRAP CHAFING HARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDTH, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- J. STEPS: PROVIDE PROVISIONAL STEPS TO ALL TREES EXCEEDING 12 INCH X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED ALIKE.
- K. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR SPECIFIC ORNAMENTAL PLANTS MAY BE USED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

A. SOIL PREPARATION

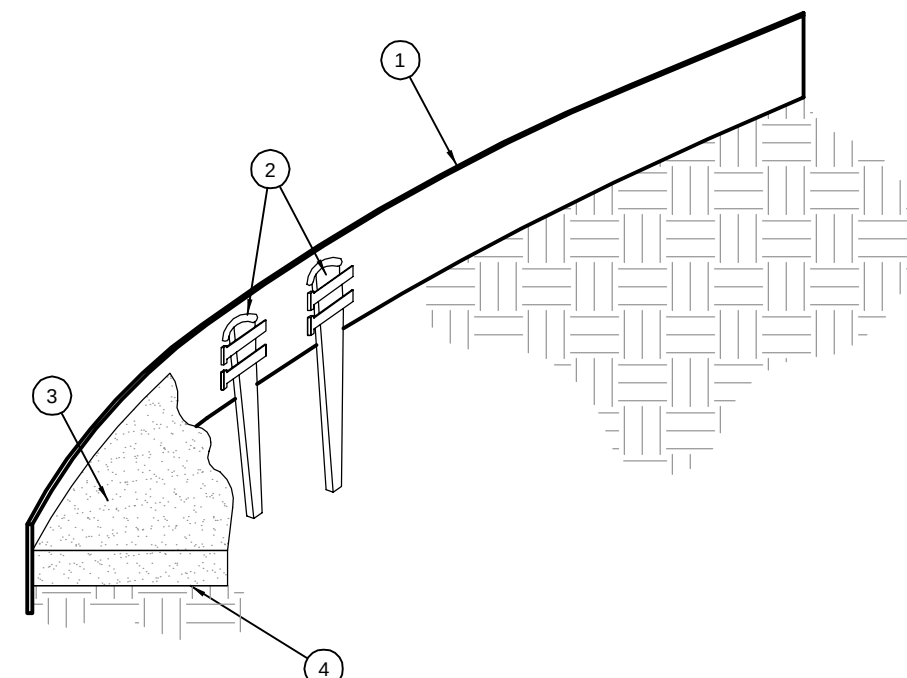
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1 OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
2. a. SOIL TESTING:
 - a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE MUST BE TAKEN AT A MINIMUM OF 18" DEPTH AND MORE THAN ONE QUART OF SOIL TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS LOCATIONS WITHIN THE AREA.
 - b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL, CLAS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, TOTAL CEC, LIME, SOLUBLE SODIUM, AND SODIUM ADSORPTION RATIO.
 - c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 - d. SOIL REPORT PROVIDED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVED, AS WELL AS PRE-PLANTING AND POST-PLANTING CARE RECOMMENDATIONS FOR ALL OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
3. THE CONTRACTOR SHALL FOLLOW THE RECOMMENDATIONS PROVIDED IN THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
4. FOR BIDDING PURPOSES ONLY, THE FOLLOWING ARE THE ASSUMED SOILS AND SOIL TESTING:
 - a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU YDS. PER 1,000 S.F.
 - ii. PREPLANT TURF FERTILIZER (10-10-10 OR SIMILAR, LOW SULFIDE, ORGANIC) - 15 LBS PER 1,000 S.F.
 - b. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 - c. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU YDS. PER 1,000 S.F.
 - ii. 12-12-12 FERTILIZER (OR SIMILAR ORGANIC) - 15 LBS PER 1,000 S.F.
 - d. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 - e. IRON SULPHATE - 2 LBS. PER CU YD.
5. IN THE CONTEXT OF THE PLANS, GRADING, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH FINISH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1 OF FINISH GRADE. THE CONTRACTOR SHALL FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - a. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SOIL SURFACE GRADING PLANS AND SPECIFICATIONS. THE FINISH GRADES OF ALL AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - b. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE REPORT OF ANY SOIL TEST WILL BE NEEDED. THAT REPORT SHALL BE PROVIDED TO THE OWNER. THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON SOIL TEST, PER SPECIFICATIONS) TO THE FINISH GRADES TO BE ESTABLISHED.
 - c. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE. IN ORDER TO ALLOW FOR PROPER MULCH DEPTH, TREAT THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - d. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 2" BELOW THE FINISH SURFACE OF THE WALK SURFACES. IN ORDER TO ALLOW FOR PROPER MULCH DEPTH, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - e. REPORT ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, PHOTOGRAPHIC REPORT, THE SOIL TESTING REPORT, AND THE SPECIFICATIONS TO THE LANDSCAPE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

B. SUBMITTALS

- 3. SUBMITTALS**
- a. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE. PHOTO OR SAMPLES OF SOIL TO BE USED FOR SOIL TESTS AND SOIL PREPARATION. SOIL TESTS AND RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
- b. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
- c. WHEN MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- 4. GENERAL PLANTING**
- a. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
- b. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
- c. TRENCHING NEAR EXISTING TREES:
- CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO EXISTING TREES. CRZ SHALL BE ENCIRCLED BY A LINE DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (45" ABOVE THE AVERAGE GRADE AT THE TRUNK).
 - ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" & LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED BY THE PIPE, UNLAP UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
- d. SEVERED ROOTS SHALL BE PROTECTED BY A WOUND HEALING SEALANT ALLOWED TO AIR-DRY.

C. TREE PLANT

- tree PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
- D. THE SIDES OF THE BOTTOM OF THE HOLE SHALL BE SMOOTHED TO PREVENT DAMAGE TO THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
- E. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT PROBLEMS, THE CONTRACTOR SHALL CAREFULLY EXAMINE THE ENTIRE BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT, NO "TEASE" ROOTS CUT OUT FROM THE ROOTBALL.
- F. THE TREE IS TO BE SUBSTANTIRED SURGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
- G. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIAMETER SHALL NOT BE USED IN THE BACKFILL. OFF SET JOINTS IN ADJACENT CURBS SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK. USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF THE SAME TYPE AND QUALITY AS THE EXISTING TOPSOIL.
- H. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF STAKES (BEYOND THE TRUNK GUARD) SHALL BE LIMITED TO ONE PER SIDE OF EACH TREE AT THE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL CONFORM TO THE FOLLOWING GUIDELINES:
- | | |
|--------------------------|--|
| a. 1"-1.75" TREES | TWO STAKES PER TREE |
| b. 1.75"-4" TREES | THREE STAKES PER TREE |
| c. TREES OVER 4" CALIPER | TREES OVER 4" CALIPER |
| d. MULTI-TRUNK TREES | THREE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE. |
- I. UPON COMPLETION OF THE PLANTING, THE CONTRACTOR AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH MULCH (TYPE AND DEPTH PER PLANS).
- J. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING
- K. DIRT AND PLANTING ARE TO BE FURNISHED BY THE OWNER. LESS DEEP THAN EACH PLANTS' ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
- L. AFTER PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- M. SODDING
- N. LAWN SODS VARYING TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
- O. LAY SOD WITHIN 24 HOURS FROM THE TIME OF SHIPPING. DO NOT LAY IF THE GRASS IS FROZEN. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD TOGETHER. DO NOT OVERTHROW OR CRUSH SODS. WHEN LAYING SODS, DO NOT ALLOW THE SODS TO ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
- P. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
- Q. MULCH
- R. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
- S. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, SUCH AS PORCHES, PATIOS, DRIVEWAYS, ETC. WHERE THERE IS CONCERN FOR DAMAGE TO FOUNDATIONS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" THICKER THAN THE TOP OF WALL.
- T. CLEANUP
- U. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
- V. DISPOSAL LEGAL. EXCAVATED MATERIALS OFF THE PROJECT SITE.
- W. INSPECTION AND ACCEPTANCE
- X. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND READY FOR OCCUPANCY.
- Y. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY. WHEN THE REQUESTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REMOVE, REPLACE AND/OR REPAIR THE DEFECTIVE WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
- Z. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN FULLY INSPECTED AND THE OWNER HAS GIVEN WRITTEN RESPONSE TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND MAINTENANCE PERIODS WILL COMMENCE.
- AA. LANDSCAPE MAINTENANCE
- AB. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PRUNING, RESTAKING OF TREES, RESETTLING OF PLANTS THAT HAVE SETTLED, MOVING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT YET ESTABLISHED WELL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKSMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- AC. SHOULD SEEDED AND/or SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
- AD. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST BE MET:
- | |
|--|
| a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY THE LANDSCAPE CONTRACTOR PRIOR TO FINAL ACCEPTANCE. |
| b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE. |
| c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FINAL ACCEPTANCE. |
| d. SEEDED AREAS - BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEDDed OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED. |
- AE. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
- AF. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THE TREES, SHRUBS, PERENNIALS, SOD, SEEDING/GRASSPLANTED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REMAIN AT HIS OWN EXPENSE FOR THE MAINTENANCE OF THE PLANTS AND PLANTS WHICH DIE DURING THAT TIME, OR REPLACE ANY PORTIONS OF THE IRRIGATION SYSTEM WHO OPERATE IMPROPERLY, AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY DEAD PLANTS. THE REPLACEMENT CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
- AG. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A COPY OF THE RECORD DRAWINGS SHALL BE PROVIDED TO THE CITY ENGINEER. THE RECORD DRAWINGS DOCUMENTED THROUGH CHANGES ORDERS, ADDENDA, OR CONTRACTOR CONSULTANT DRAWING MARK-

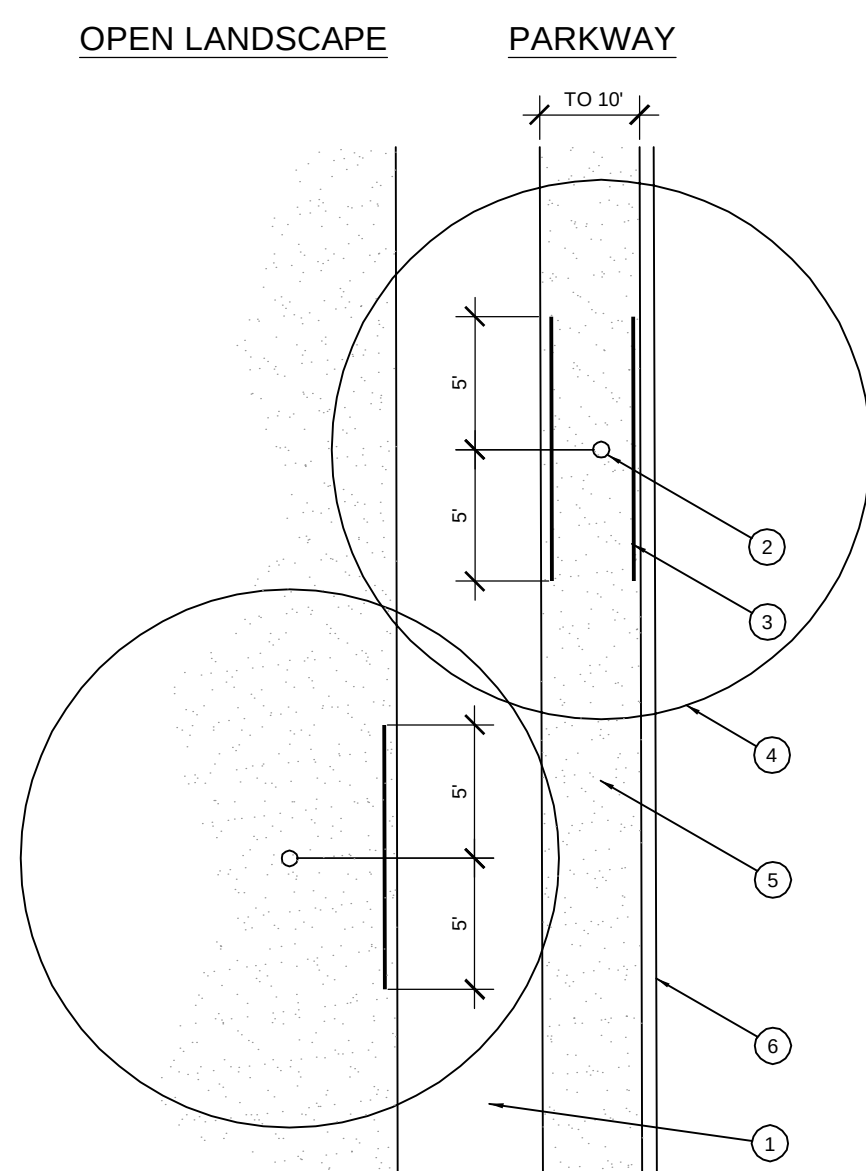


- ① ROLLED-TOP STEEL EDGING PER PLAN.
- ② TAPERED STEEL STAKES.
- ③ MULCH, TYPE AND DEPTH PER PLANS.
- ④ FINISH GRADE.

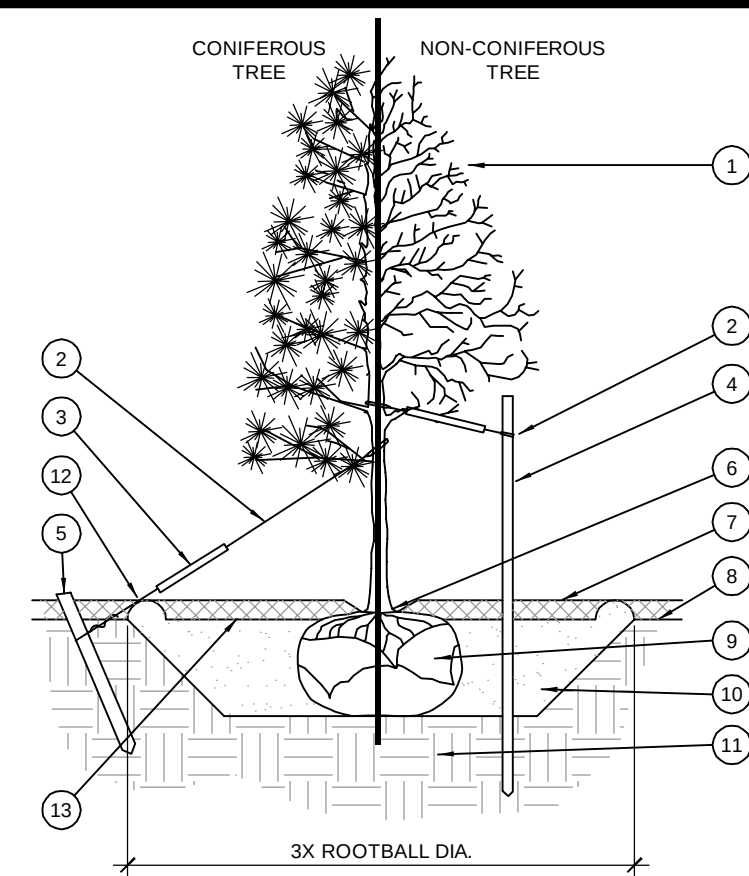
NOTES:

- 1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
- 2) BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE
- 3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

D STEEL EDGING
SCALE: NOT TO SCALE



ROOT BARRIER - PLAN VIEW
SCALE: NOT TO SCALE

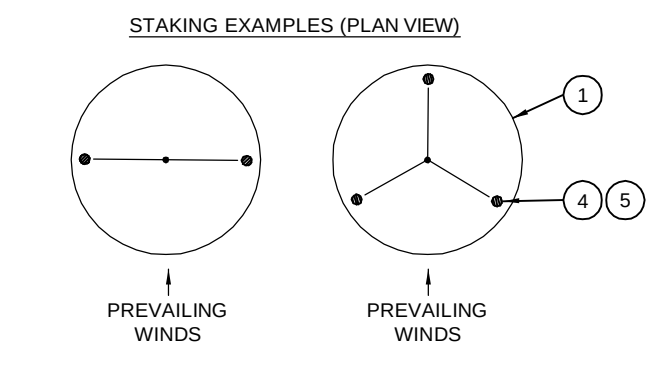


- 1 TREE CANOPY.
- 2 CINCH TIES (24" BOX/2" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT ROOT AND STAKE (36" BOX/2" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
- 3 24" X 3/4" P.V.C. MARKERS OVER WIRES.
- 4 GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
- 5 PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
- 6 TRUNK FLARE.
- 7 MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
- 8 FINISH GRADE.
- 9 ROOT BALL.
- 10 BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- 11 UNDISTURBED NATIVE SOIL.
- 12 4" HIGH EARTHEN WATERING BASIN.
- 13 FINISH GRADE.

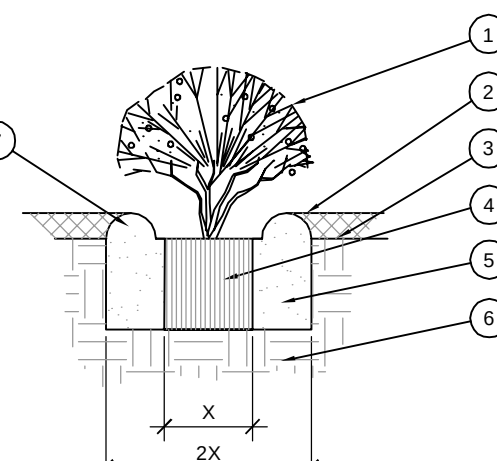
NOTES

1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE EQUAL TO THE HEIGHT OF THE TREE TO BE PLANTED. THE ROOT FLARE IS 2" - 4" ABOVE FINISH GRADE.
3. FOR 8&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF WIRE BASKET. REMOVE EXCESS SOIL FROM BOTTOM OF WIRE TWIN, ROLF, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
4. REMOVE ALL NURSERY STAKES AND TAGS FROM ALL NEWLY PLANTED TREES.
5. FOR TREES 36" BOX OR CAL. AND LARGER, USE THREE STAKES OR DEADMAN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.
6. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM SWAYING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

A TREE PLANTING
SCALE: NOT TO SCALE



- 1 SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.
- 2 MULCH, TYPE AND DEPTH PER PLANS. PLACE N MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
- 3 FINISH GRADE.
- 4 ROOT BALL.
- 5 BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- 6 UNDISTURBED NATIVE SOIL.
- 7 3" HIGH EARTHEN WATERING BASIN.



B SHRUB AND PERENNIAL PLANTING
SCALE: NTS

- ## PLANTING

[illegible]

LANDSCAPE ARCHITECT SEAL

I HEREBY CERTIFY THAT THIS PLAN,
SPECIFICATION, OR REPORT WAS
PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A DULY
LICENSED LANDSCAPE ARCHITECT UNDER
THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: Lawrance M. Lesser
TYPED NAME: LAWRENCE M. LESSER
DATE: 2/27/2019 LICENSE NUMBER: 56666

SHEET TITLE	
PLANTING	
DETAILS, SPECS	

JOB #:	JPM.2553
DATE:	12-12-1
SCALE:	AS NOTE
DRAWN BY:	LM
CHECKED BY:	LML/R

SHEET NO.

LP-2



1. FENCING: 6 FOOT HIGH CHAIN LINK FENCING.
2. POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL

1. ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.

EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
2. PROTECTIVE FENCING SHALL BE LOCATED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1" FROM THE TRUNK FOR EVERY 1" OF DBH) AS SPECIFIED SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.

5. THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.

DEEP. CHAIN LINK SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE CHAIN LINK TO THE POSTS TO HOLD THE CHAIN LINK IN A STABLE AND UPRIGHT POSITION.

- a. DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
- b. DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.

e. DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.

PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.

9. WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION,

10. THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES.

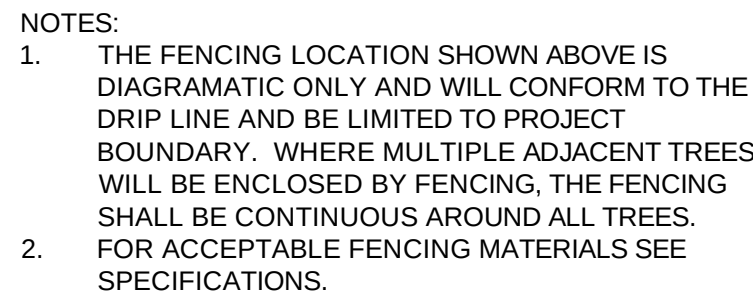
12. TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S

13. ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.

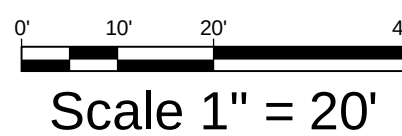
15. IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.

18. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION RELATED ACTIVITIES HAVE BEEN REMOVED.



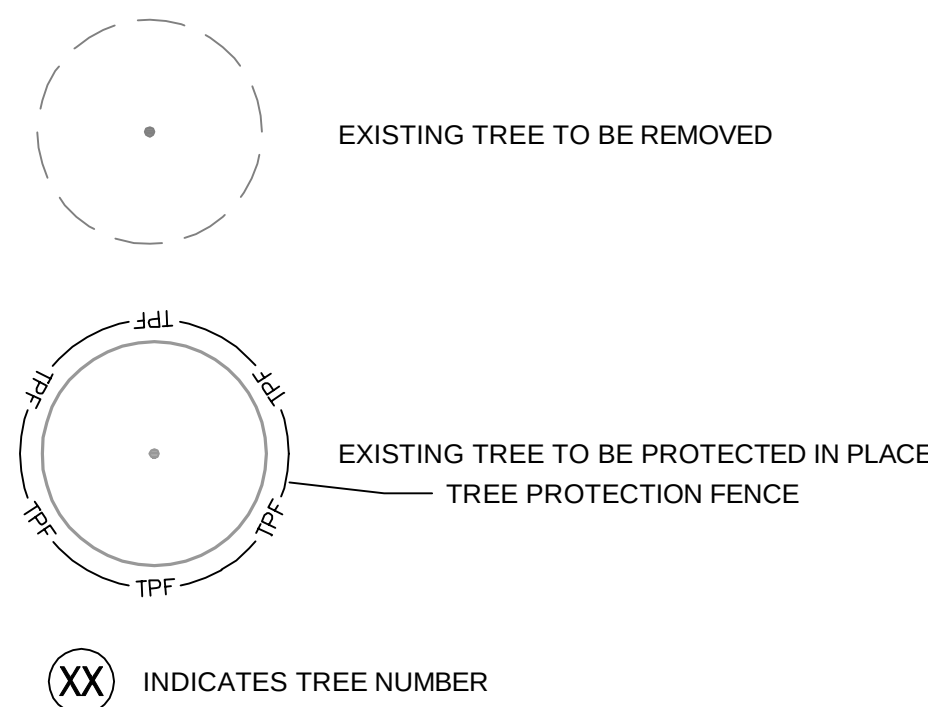
SCALE: NOT TO SCALE



SCALE: NOT TO SCALE



TREE NO.	COMMON NAME	DBH	STATUS	REMARKS
01	BOXELDER	24"	SIGNIFICANT	PROTECT IN PLACE
02	ASH	22"	SIGNIFICANT	PROTECT IN PLACE
03	ASH	12"	SIGNIFICANT	PROTECT IN PLACE
04	BOXELDER	8"	NOT PROTECTED	PROTECT IN PLACE
05	ELM	8"	SIGNIFICANT	PROTECT IN PLACE
06	LOCUST	10"	SIGNIFICANT	REMOVE
07	LOCUST	16"	SIGNIFICANT	PROTECT IN PLACE



DOCUMENTS PREPARED BY CORESTATES, INC., INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT OR PROJECTS FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.



THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.

[illegible]

DOCUMENT
CIVIL
CONSTRUCTION
DOCUMENTS FOR
CHASE BANK
WAYZATA
SITE LOCATION
1022 WAYZATA
BOULEVARD E.,
WAYZATA, MN 55391

LANDSCAPE ARCHITECT SEAL

I HEREBY CERTIFY THAT THIS PLAN,
SPECIFICATION, OR REPORT WAS
PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A DULY
LICENSED LANDSCAPE ARCHITECT UNDER
THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: Lawrance M. Lesser
TYPED NAME: LAWRENCE M. LESSER
DATE: 2/27/2019 LICENSE NUMBER: 56666

SHEET TITLE

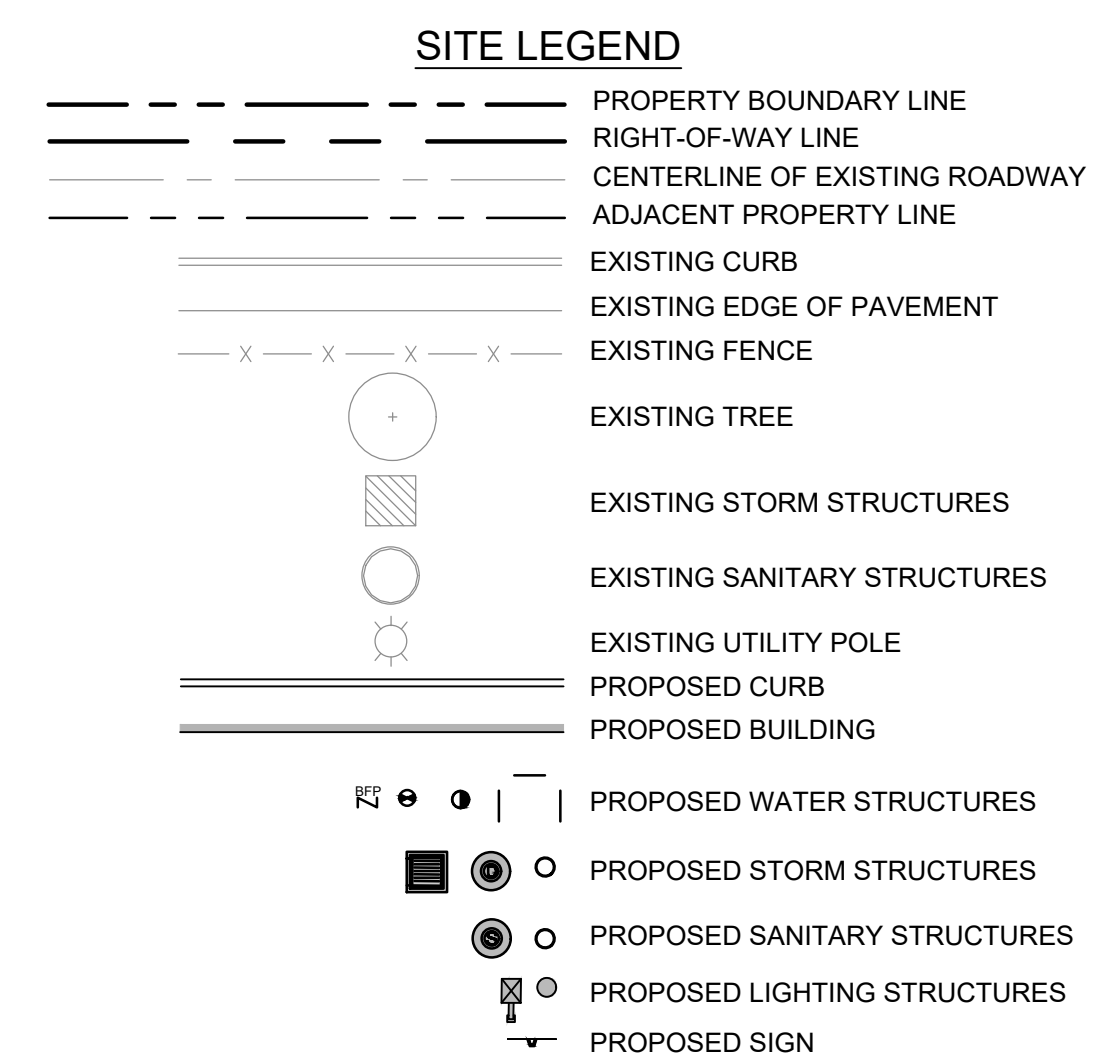
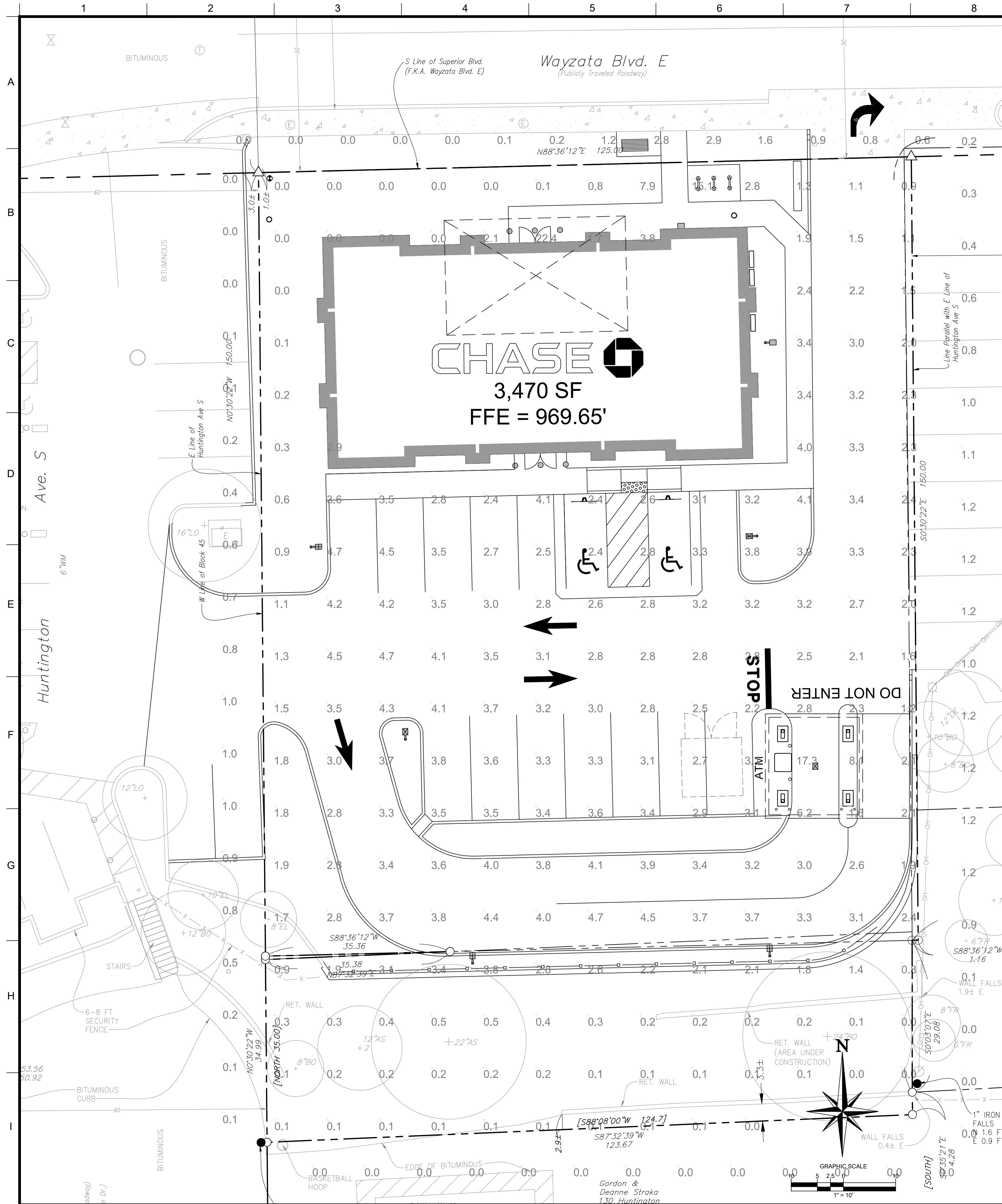
TREE SURVEY

JOB #:	JPM.25535
DATE:	12-12-18
SCALE:	AS NOTED
DRAWN BY:	LML
CHECKED BY:	LML/RM

SHEET NO.

TS-1





LUMINAIRE SCHEDULE						
SYMBOL	MANUFACTURER	MODEL	CATALOG	QTY	DISTRIBUTION	MOUNT HT.
	GE	RECESSED CANOPY LIGHT	ECRA0A5F54001BWHITE	1	TYPE 5	10'-6"
	LUMARK	CROSSTOUR LED	XTOR6B-W-BZ-MS/DIM-L20-CPB	1	TYPE 3	11'-0"
	GE	ROUND DI SERIES	D14R20930FL1V/2V10	6	TYPE 5	9'-0"
	MCGRAW EDISON	GLEON GALLEON LED	GLEON-AF-02-LED-E1-SL4-7030-BK-HSS	3	TYPE 4	20'-0"
	MCGRAW EDISON	GLEON GALLEON LED	GLEON-AF-02-LED-E1-5WQ-7030-BK	1	TYPE 5	20'-0"
	MCGRAW EDISON	GLEON GALLEON LED	GLEON-AF-03-LED-E1-5WQ-7030-BK	1	TYPE 5	20'-0"
	MCGRAW EDISON	GLEON GALLEON LED	GLEON-AF-01-LED-E1-SL3-7030-BK-HSS	1	TYPE 3	20'-0"

CALCULATION SUMMARY			
AREA	AVERAGE	MAX	MIN
PROPERTY ANALYSIS	2.50 fc	22.4 fc	0.0 fc
LIGHTING NOTES			
LIGHT ANALYSIS CONDUCTED AT 3FT ABOVE FINISHED GRADE.			
ALL PROPOSED FIXTURES ON TIMER TO OPERATE DURING NIGHT TIME HOURS, 30 MINUTES AFTER SUNSET AND 30 MINUTES BEFORE SUNRISE.			
CONTRACTOR TO INSTALL FIXTURE ON COOPER LIGHTING POLE RSS-6-A-XX-S-Y-N-1.			
MOUNT HEIGHTS ARE BASED ON HEIGHT ABOVE FINISHED ASPHALT GRADE.			

McGraw-Edison

DESCRIPTION
The GLEON LED luminaire delivers exceptional performance in a sleek, modern design. It is available in multiple sizes and finishes, making it a versatile choice for a wide range of applications. The luminaire is designed to be installed in a variety of locations, including outdoor areas, and is built to withstand harsh weather conditions.

INSTALLATION
The luminaire is designed to be installed in a variety of locations, including outdoor areas, and is built to withstand harsh weather conditions. The luminaire is designed to be installed in a variety of locations, including outdoor areas, and is built to withstand harsh weather conditions.

IM-813

LED Light Square House Side Shield Installation Instructions
Feuille d'instructions pour l'installation du pare-lumière latéral
carre côté-édifice du luminaire à DEL
Instrucciones de instalación del escudo lateral de la carcasa cuadrada de la luz LED

Cooper Lighting
by **E.T-N**

Steel Poles

RSS ROUND STRAIGHT STEEL

DESCRIPTION
The RSS Round Straight Steel pole is a versatile choice for a wide range of applications. It is available in multiple sizes and finishes, making it a versatile choice for a wide range of applications. The pole is designed to be installed in a variety of locations, including outdoor areas, and is built to withstand harsh weather conditions.

Lumark

DESCRIPTION
The Lumark LED luminaire delivers exceptional performance in a sleek, modern design. It is available in multiple sizes and finishes, making it a versatile choice for a wide range of applications. The luminaire is designed to be installed in a variety of locations, including outdoor areas, and is built to withstand harsh weather conditions.

Lumination LED Luminaires
Downlights Powered by Infusor™

Product Description
The Lumination LED luminaire delivers exceptional performance in a sleek, modern design. It is available in multiple sizes and finishes, making it a versatile choice for a wide range of applications. The luminaire is designed to be installed in a variety of locations, including outdoor areas, and is built to withstand harsh weather conditions.

Ordering Number Logic
Tool™ LED Recessed Canopy Light (SCM)

Photometrics

CORE STATES GROUP

6500 Chippewa Street Suite 200
St. Louis, MO 63109
Phone (314) 843-4320
PBlannett@core-eng.com

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CLIENT

CHASE

811

Know what's below. Call before you dig.

REVISIONS			
REV	DATE	COMMENT	BY

DOCUMENT
CIVIL
CONSTRUCTION
DOCUMENTS FOR
CHASE BANK

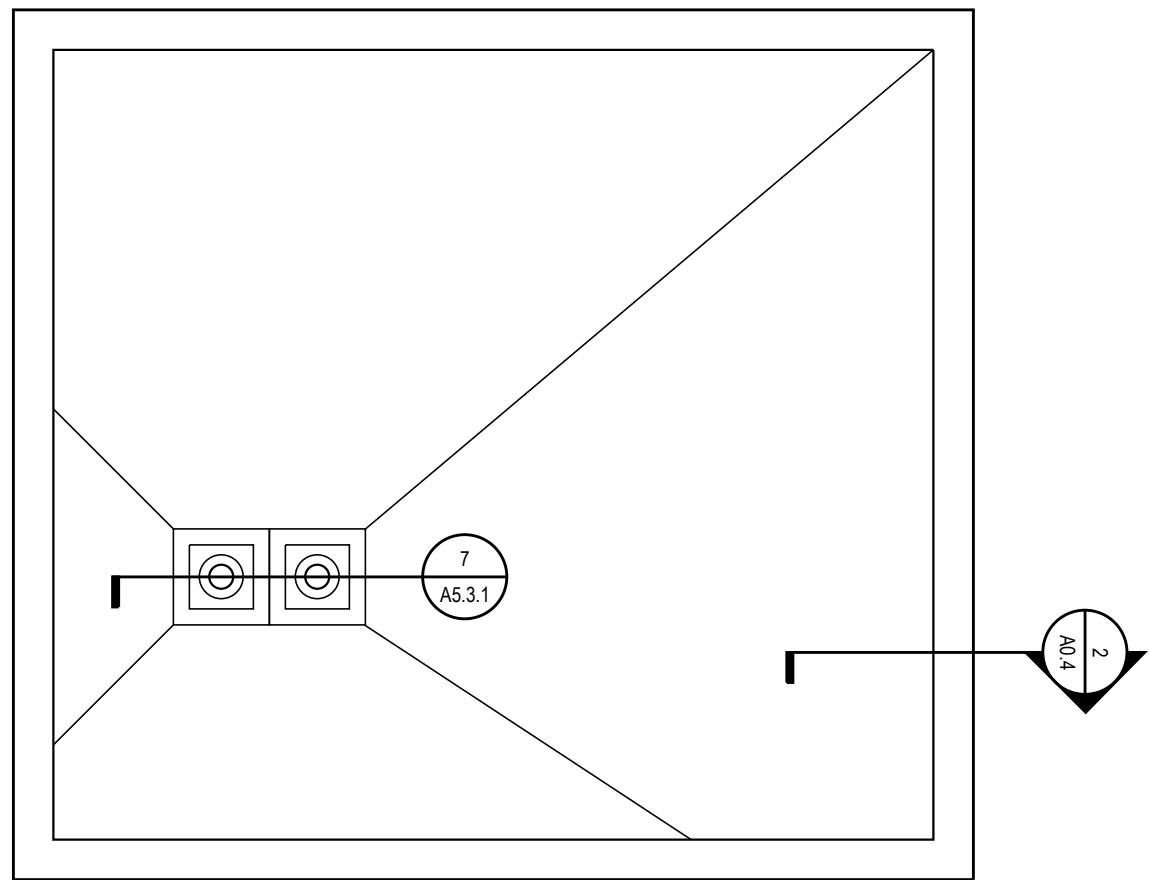
SITE LOCATION
1022 WAYZATA
BOULEVARD E.,
WAYZATA, MN 55391

ENGINEER SEAL

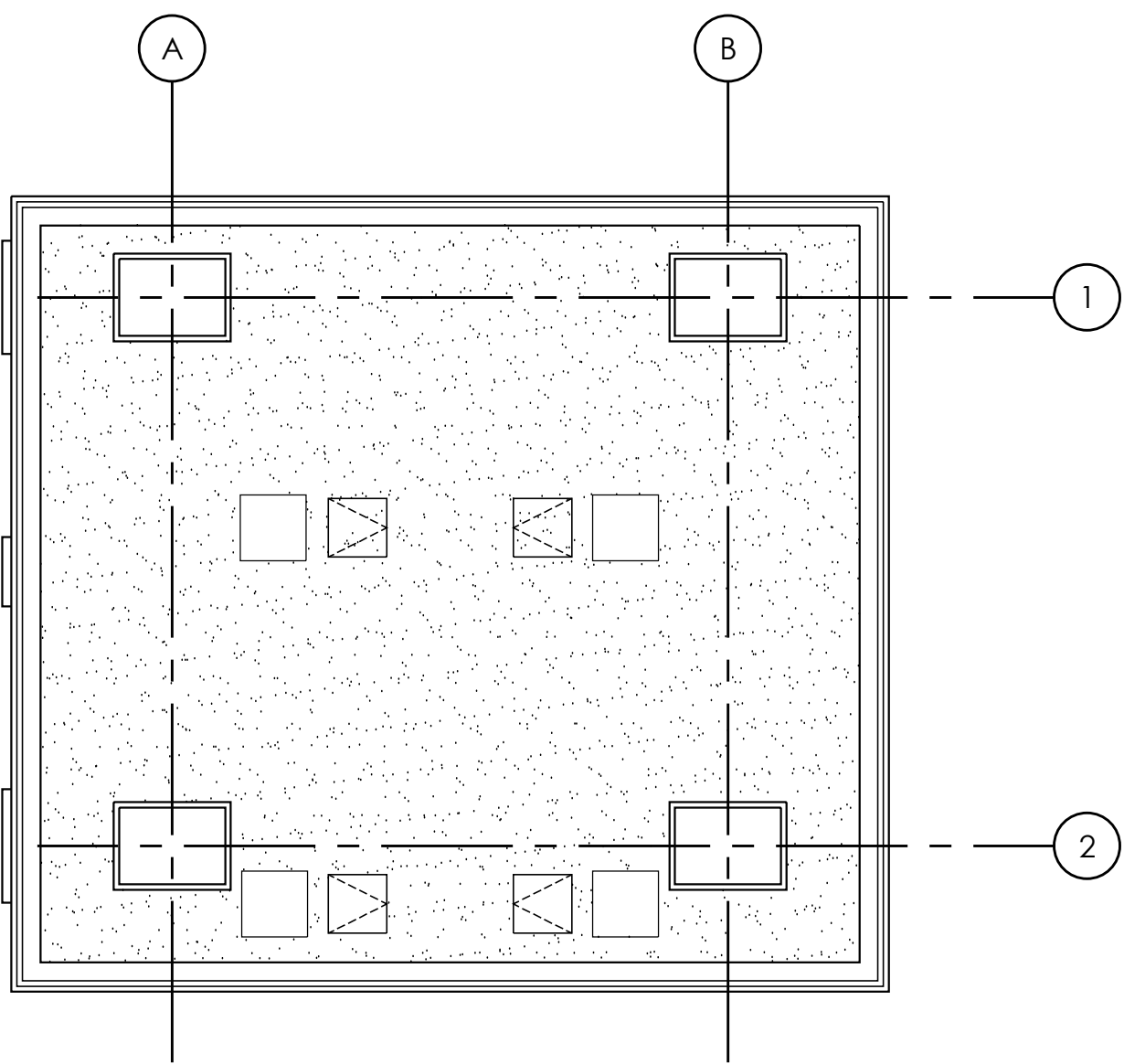
SHEET TITLE
LIGHTING PLAN

JOB #: JPM 25535
DATE: 02-26-19
SCALE: 1"=10'
DRAWN BY: ZPM
CHECKED BY: PTB

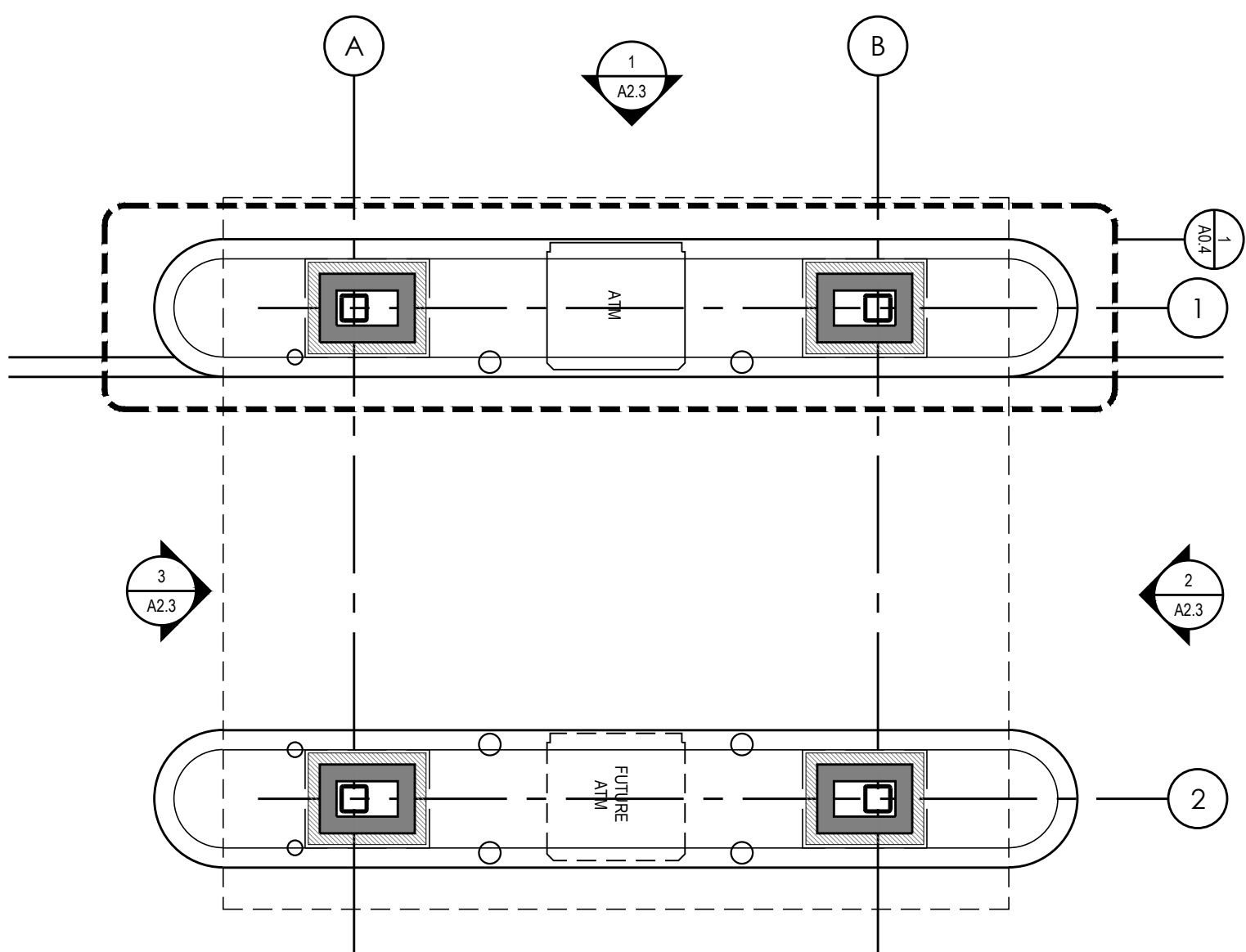
SHEET NO.
C12



6 REMOTE ATM ROOF PLAN
A2.3 1/4" = 1'-0"



5 REFLECTED CEILING PLAN
A2.3 1/4" = 1'-0"



4 CONSTRUCTION FLOOR PLAN
A2.3 1/4" = 1'-0"



CHASE

J.P. MORGAN CHASE

WAYZATA, MN.

1022 WAYZATA BLVD. E.

WAYZATA, MN 55391

CHASE OVP#38200P315515



CORE STATES

GROUP

CORESTATES, INC.

58 Mount Bethel Road
Suite 301
Warren, NJ 07059
908.462.9700
www.core-engr.com

ARCHITECT OF RECORD

THESE DRAWINGS ARE NOT COMPLETE WITHOUT THE SEPARATE TYPE WRITTEN SPECIFICATIONS MANUAL WHICH ARE PART OF THE CONTRACT DOCUMENTS.

ISSUE	DATE	DESCRIPTION
	2019.02.12	PERMIT SET

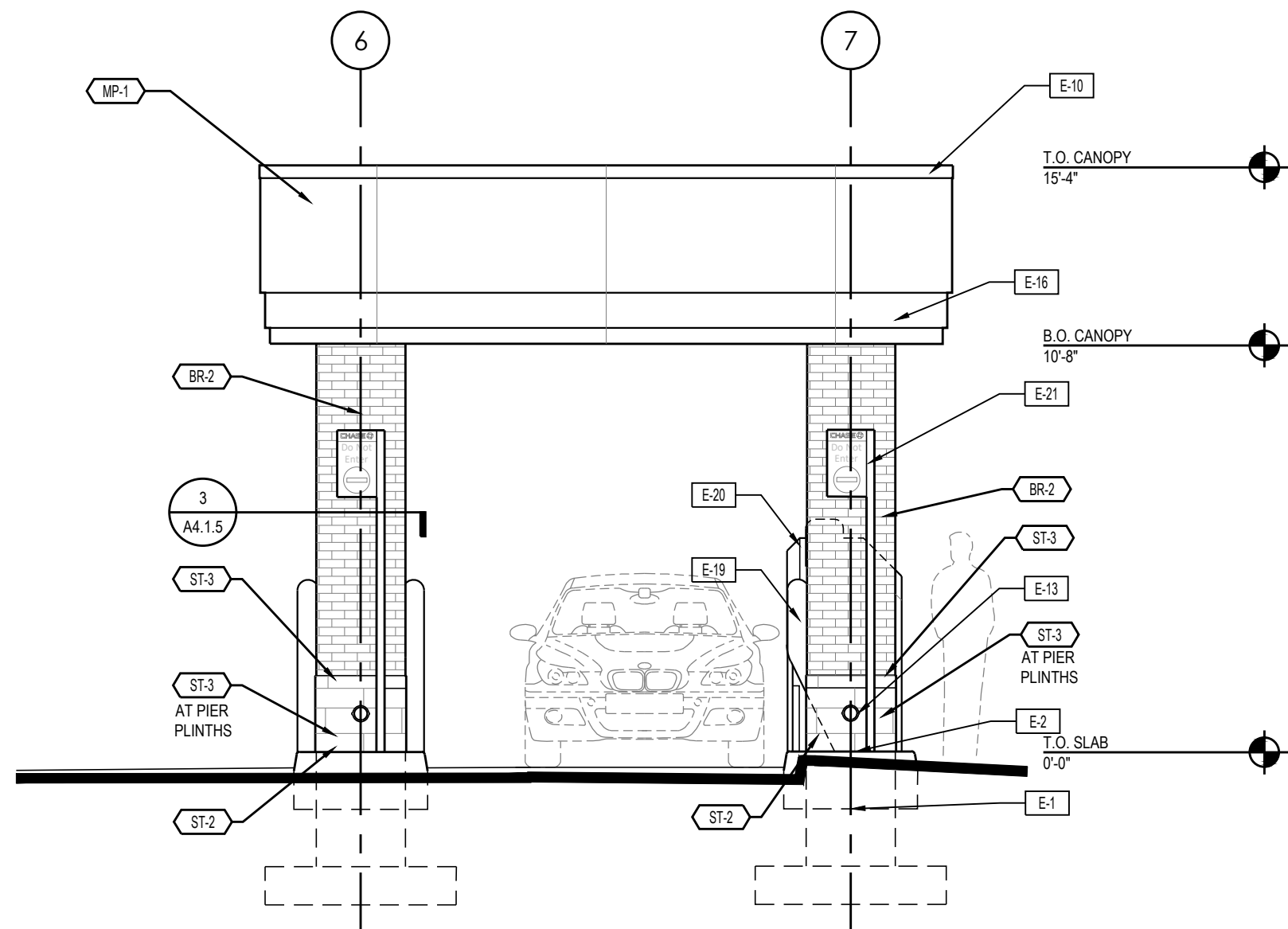
PROJECT INFORMATION	
PROJECT NO:	JPM.25535
DATE:	2018. 10. 02
PROTOTYPE:	18.3
DRAWN BY:	JM
CHECKED BY:	JZ
VERSION:	1.00

SHEET TITLE

GC BUILT
DRIVE UP
REMOTE ATM

SHEET NUMBER

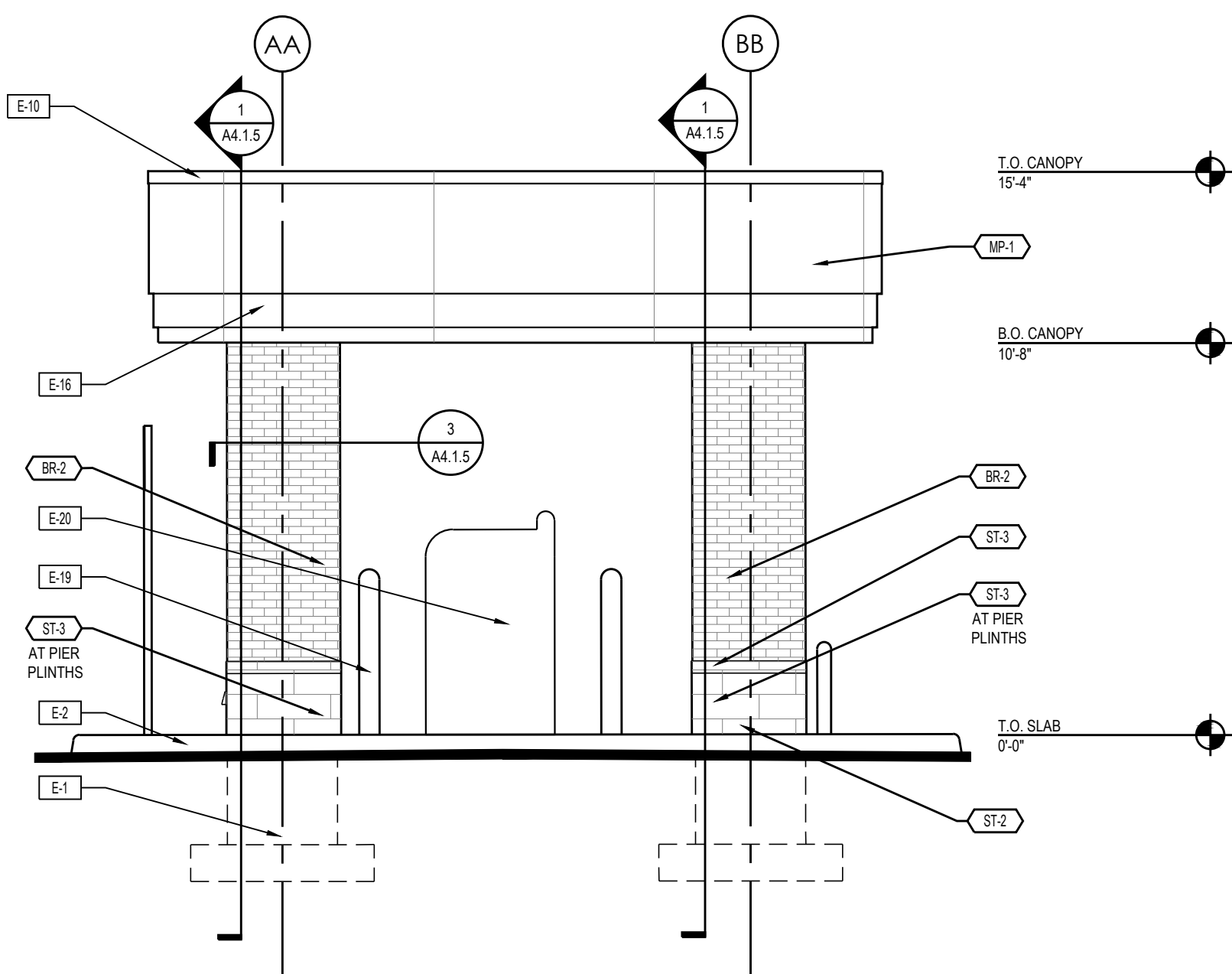
A1.4.1



DRIVE-UP CANOPY ELEVATION - END (SOUTH)

SCALE
1/4"=1'-0"

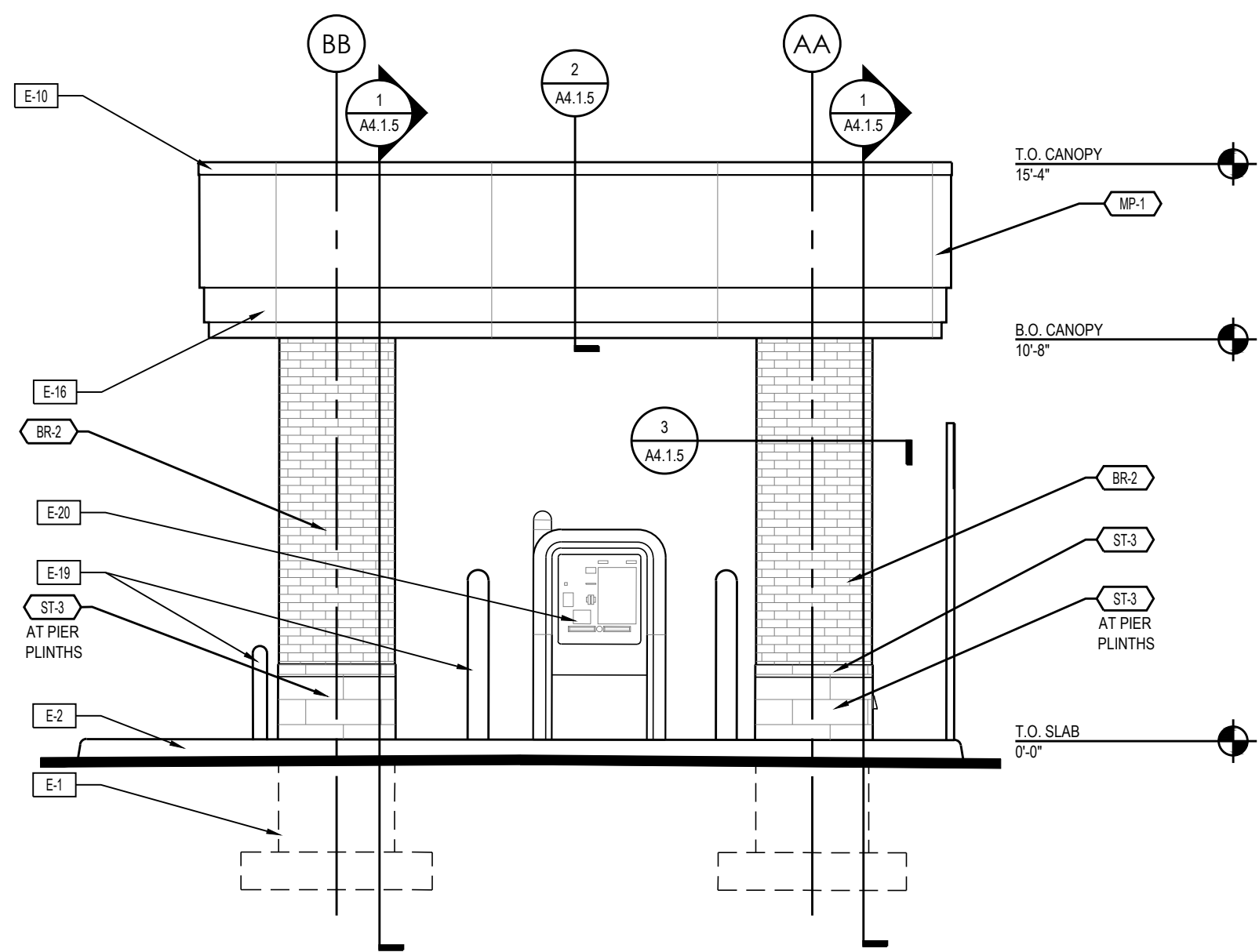
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DRIVE-UP CANOPY ELEVATION - EXIT SIDE (EAST)

SCALE
1/4"=1'-0"

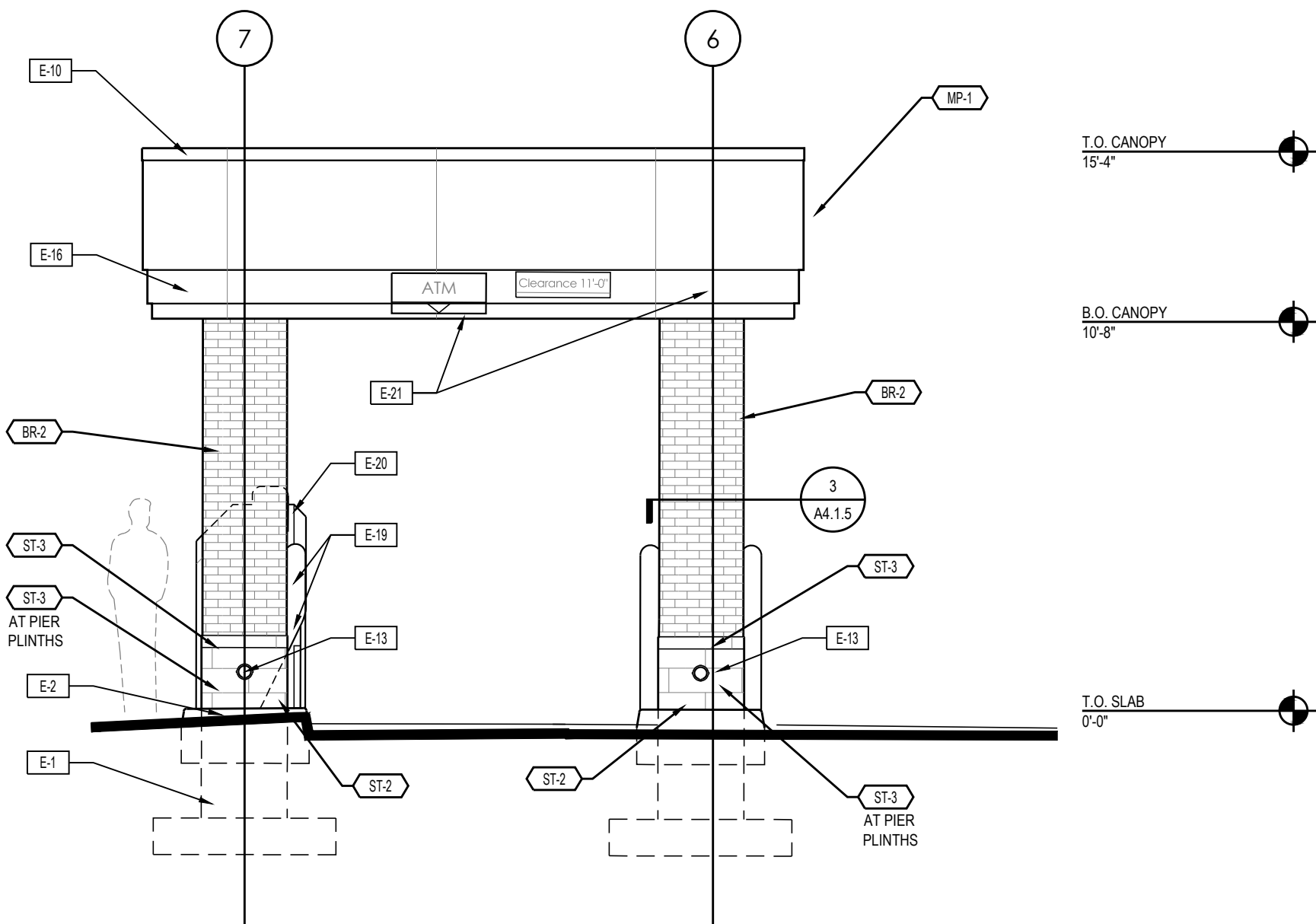
3



DRIVE-UP CANOPY ELEVATION - ENTRANCE SIDE (WEST)

SCALE
1/4"=1'-0"

2



DRIVE-UP CANOPY ELEVATION - END (NORTH)

SCALE
1/4"=1'-0"

1

ELEVATION NOTES

E-1	"CONCRETE FOOTINGS / FOUNDATIONS: REFER TO STRUCTURAL DWGS."
E-2	"CONCRETE CURB AND ISLANDS: REFER TO ARCHITECTURAL SITE PLAN AND DRIVE-UP CANOPY PLAN"
E-3	"EMERGENCY ACCESS KEY BOX: WHERE REQUIRED BY LOCAL CODE ONLY- RECESS-MOUNT IN WALL CONSTRUCTION AS REQD. TO SET FACE FLUSH WITH ADJACENT WALL FINISH- VERIFY FINAL LOCATION WITH AUTHORITIES HAVING JURISDICTION"
E-4	IRRIGATION SYSTEM SENSOR
E-5	"LIGHTING TIMER SYSTEM PHOTO SENSOR: REFER TO ELECTRICAL DRAWINGS"
E-6	IRRIGATION SYSTEM CONTROL BOX.
E-7	"REVEAL: REFER TO WALL SECTIONS AND DETAILS - STOP 4" FROM TELLER WINDOW AND BANK EQUIPMENT OPENINGS"
E-8	"CONTROL JOINT: VERTICAL ELASTOMERIC SEALANT JOINT CONTINUOUS THROUGH MASONRY VENEER- MATCH SEALANT COLOR TO VENEER COLOR- ALSO PLACE CONTROL JOINTS AT EACH INSIDE CORNER (NOT GRAPHICALLY INDICATED)- REFER TO DETAIL 2/A5.4.1"
E-9	"EIFS REVEAL: 3/8" WIDE V-GROOVE ALIGNED WITH MASONRY CONTROL JOINTS BELOW"
E-10	"COPING: REFER TO ROOF PLAN- FINISH TO MATCH EPT-1"
E-11	"GUTTERS & DOWNSPOUTS: REFER TO ROOF PLAN- FINISH TO MATCH EPT-1"
E-12	"SCUPPER: REFER TO ROOF PLAN"
E-13	"DOWNSPOUT NOZZLE: REFER TO PLUMBING DRAWINGS AND PLUMBING FIXTURE SCHEDULE"
E-14	"ROOF VENT: REFER TO ROOF PLAN"
E-15	AUTOMATIC DOOR OPERATOR BUTTON AND KEYCARD READER RECESSED FLUSH WITH WALL SURFACE- DO NOT SURFACE-MOUNT
E-16	"CANOPY FASCIA: REFER TO WALL SECTIONS AND DETAILS"
E-17	"AWNING: OPTIONAL DESIGN ELEMENT- VERIFY WITH OWNER- BY SIGNAGE VENDOR, NOT IN CONTRACT- COORD. STRUCTURAL SUPPORT / BLOCKING IN WALL AS REQD."
E-18	NOT USED

E-19	"BOLLARD: CONCRETE-FILLED STEEL PIPE EMBEDDED IN CONCRETE CURB- WITH PLASTIC COVER- REFER TO SITE PLAN, DRIVE-UP CANOPY PLAN AND DETAILS- OMIT AT POSITIONS NOT ADJACENT TO VEHICULAR LANE (LANDSCAPE, WALK, ETC.)"
E-20	"BANK EQUIPMENT: FURNISHED AND INSTALLED BY BANK EQUIPMENT VENDOR- COORD. WALL OPENINGS AND ELECTRICAL / DATA REQUIREMENTS WITH OWNER-FURNISHED EQUIPMENT SHOP DRAWINGS AND PRODUCT DATA"
E-21	"SIGNAGE: BY OWNER'S SIGN VENDOR- N.I.C.- PROVIDE ROUGH ELEC. WORK AND BLOCKING IN WALL AS REQD. FOR VENDOR INSTALLATION"
E-22	"BUILDING ADDRESS NUMBER: WHITE VINYL NUMBERS WITH 1/2" WIDE STROKE APPLIED TO INTERIOR FACE OF GLASS TRANSOM- MIN. 6" HEIGHT OR AS REQD. BY LOCAL CODE"
E-23A	"LIGHT FIXTURE: REFER TO LIGHT FIXTURE SCHEDULE"
E-23B	NOT USED
E-24	"HOSE BIB SET FLUSH WITH FACE OF MASONRY VENEER- REFER TO PLUMBING FIXTURE SCHEDULE"
E-25	"ELECTRICAL OUTLET: SET FLUSH WITH FACE OF MASONRY VENEER- PROVIDE METAL COVER COMPLIANT WITH N.E.C."
E-26	"UTILITY EQUIPMENT: PROVIDE AND INSTALL UTILITY TERMINATION CABINETS AND METERS AS REQUIRED- COORD. WITH OWNER'S SECURITY AND TELE-DATA SERVICES- COORD. CABINET AND METER LOCATIONS WITH LOCAL JURISDICTION- REFER TO SITE PLAN"
E-27	"FLASHING AT PREFAB CANOPY: PRE-FINISHED ALUMINUM FLASHING TO SPAN GAP BETWEEN PREFAB CANOPY AND BUILDING- REFER TO WALL SECTIONS AND DETAILS- COLOR TO MATCH EPT-4- VERIFY FINAL FLASHING LENGTH AND CONFIGURATION WITH APPROVED CANOPY SHOP DWGS"
E-28	"SNOW GUARDS: PRE-FAB. ALUM. CLIPS COLOR-MATCHED TO ROOFING- PROVIDE FOR ALL ROOFING MATERIALS WHERE APPROPRIATE TO CLIMATE AT ALL SLOPING ROOF SURFACES OVER PEDESTRIAN WALKS"
E-29	TRUSS SIGNAGE - SEE DETAIL 3/A3.1.
E-30	NOT USED
E-31	"TELE / DATA / UTILITY CONNECTIONS: COORDINATE FINAL LOCATION WITH CIVIL ENGINEER"

NOTE:
NOT ALL NOTES USED IN THE SCOPE OF
THIS PROJECT

CHASE
J.P. MORGAN CHASE
WAYZATA, MN.
1022 WAYZATA BLVD. E.
WAYZATA, MN 55391
CHASE OVP#38200P315515

CORE STATES
GROUP
CORESTATES, INC.

58 Mount Bethel Road
Suite 301
Warren, NJ 07059
908.462.9700
www.core-eng.com

ARCHITECT OF RECORD

THESE DRAWINGS ARE NOT COMPLETE WITHOUT THE
SEPARATE TYPE WRITTEN SPECIFICATIONS MANUAL
WHICH ARE PART OF THE CONTRACT DOCUMENTS.

ISSUE DATE DESCRIPTION

2019.02.12 PERMIT SET

PROJECT INFORMATION

PROJECT NO: JPM.25535
DATE: 2018. 10. 02
PROTOTYPE: 18.3
DRAWN BY: JIM
CHECKED BY: JZ
VERSION: 1.00

SHEET TITLE

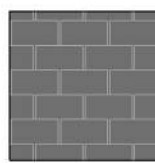
DRIVE-THRU
INTERIOR
ELEVATIONS

SHEET NUMBER

A2.3



SOUTH ELEVATION



ROOF
APPLICATION: ASPHALT SHINGLES
COLOR: WEATHERED WOOD



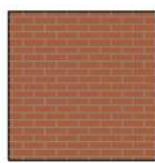
MULLIONS
APPLICATION: EXTERIOR MATERIAL
COLOR: ANNOXIDIZED ALUMINUM



STONE - ST1
APPLICATION: SAVANNA STONE
COLOR: LIMESTONE #3



METAL
APPLICATION: CANOPY/TRIM
COLOR: BLUE



BRICK BR-2
APPLICATION: EXTERIOR
COLOR: TO MATCH ADJACENT
SHOPPING CENTER

WAYZATA BLD. GLAZING	
TOTAL FACADE AREA	205,981 IN ²
TOTAL GLAZING (% OF FACADE AREA)	79,426 IN ² 38.56%
TOTAL TRANSPARENT GLAZING (% OF FACADE AREA)	57,425 IN ² 27.90%
TOTAL SPANDREL GLAZING (% OF FACADE AREA)	21,951 IN ² 10.66%



NORTH ELEVATION (WAYZATA BLVD. E.)



CHASE
J.P. MORGAN CHASE
WAYZATA BLVD
1022 WAYZATA BLVD.
WAYZATA, MN 55391
CHASE OVP#38200P315515



CORE STATES
DESIGN P.C.

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ISSUE	DATE	DESCRIPTION
1	2018.11.29	ISSUE TO PLANNING BOARD
2	2019.01.23	PLANNING BOARD REV

PROJECT INFORMATION	
PROJECT NO:	JPM.25535
DATE:	01/23/2019
PROTOTYPE:	18.3
DRAWN BY:	E.HAWKES
CHECKED BY:	J.ZIETKIEWICZ
VERSION:	1.00

SHEET TITLE

EXTERIOR
ELEVATIONS

SHEET NUMBER

EL-1



EAST ELEVATION



WEST ELEVATION



J.P. MORGAN CHASE

WAYZATA BLVD

1022 WAYZATA BLVD.
WAYZATA, MN 55391
CHASE OVP#38200P315515

CORE STATES



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2	2019.01.23	PLANNING BOARD REV

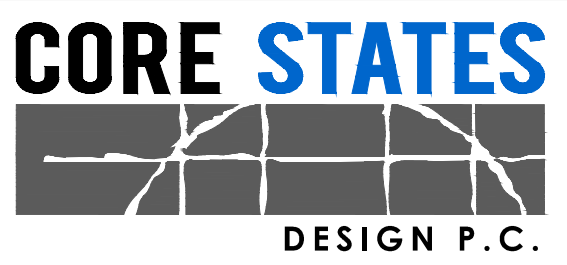
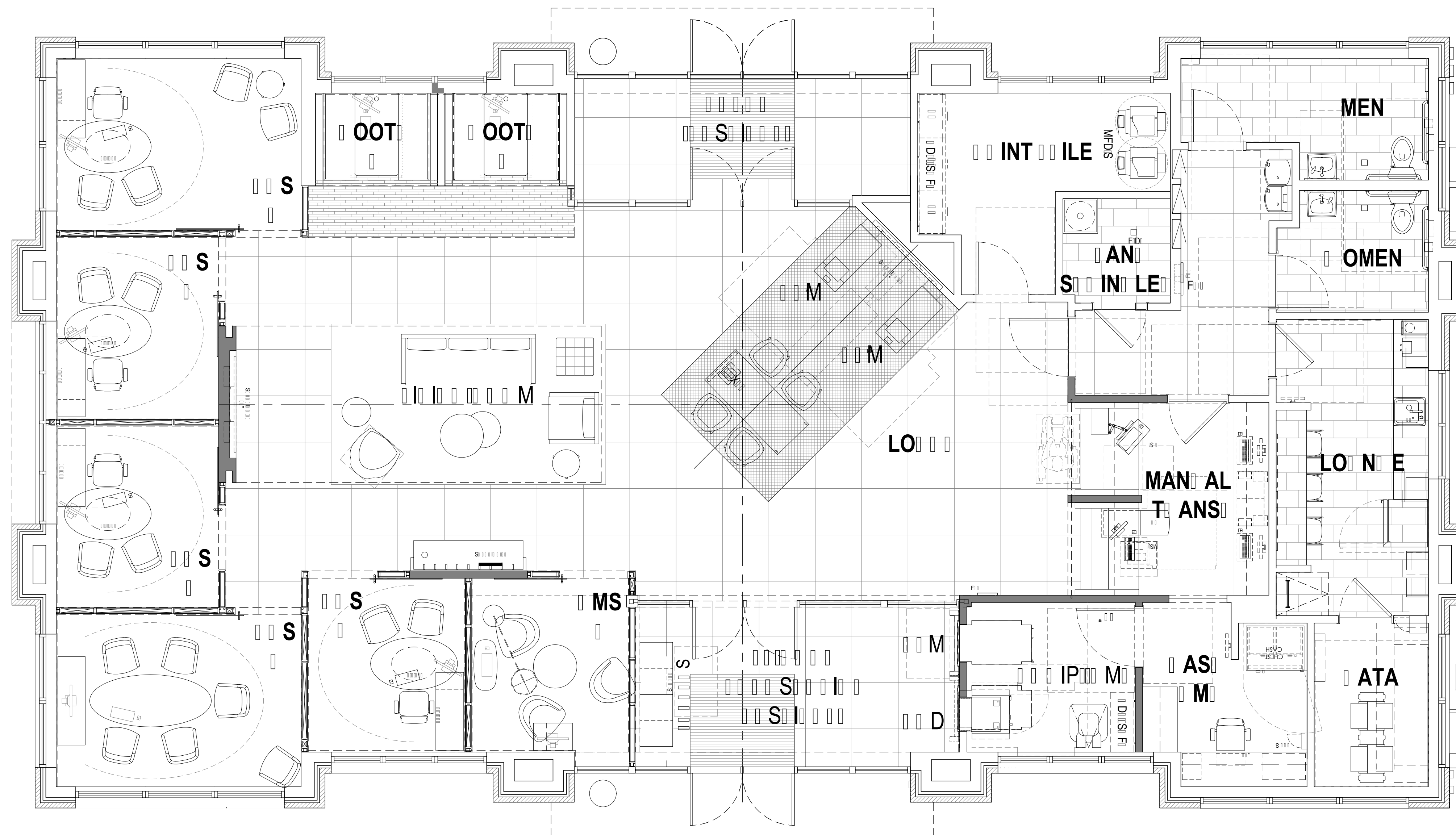
PROJECT INFORMATION		
PROJECT NO:	JPM.25535	
DATE:	01/23/2019	
PROTOTYPE:	18.3	
DRAWN BY:	E.HAWKES	
CHECKED BY:	J.ZIETKIEWICZ	
VERSION:	1.00	

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

EL-2



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SEPARATE TYPE WRITTEN SPECIFICATIONS MANUAL
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2	2019.01.23	PLANNING BOARD REV

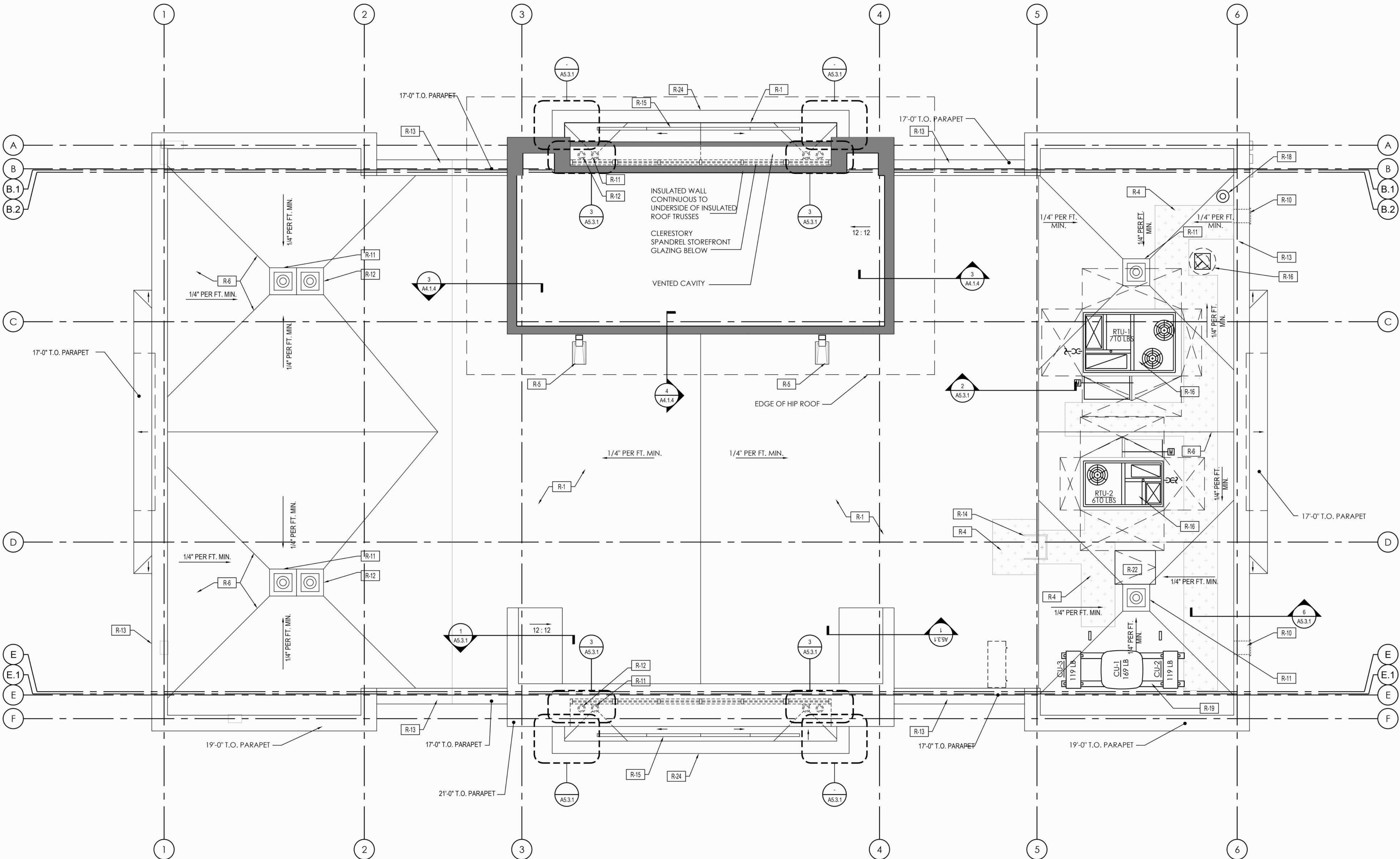
PROJECT INFORMATION	
PROJECT NO:	JPM.25535
DATE:	01/23/2019
PROTOTYPE:	18.3
DRAWN BY:	E.HAWKES
CHECKED BY:	J.ZIETKIEWICZ
VERSION:	1.00

SHEET TITLE

FLOOR
PLAN

SHEET NUMBER

FP-1



ROOF PLAN NOTES	
R-1	LOW-SLOPE ROOFING: BLACK 60 MIL TPO ROOFING OVER RIGID INSULATION
R-2	SHINGLE ROOFING: 30 YR ASPHALT SHINGLES
R-3	SNOW GUARDS: SHOP-FABRICATED PRE-FINISHED METAL CLIPS COMPATIBLE WITH ROOFING AND SUBSTRATE. COLOR-MATCH TO FINISH ROOFING. REQUIRED ONLY AT ROOF EDGES OVER PEDESTRIAN WALKS IN REGIONS WITH SUBSTANTIAL SNOWFALL.
R-4	ROOFING TRAFFIC PADS: SURFACE-ADHERED TEXTURED WALKWAY MATERIAL PER ROOFING MANUFACTURER SPECIFICATIONS TO ALL MECHANICAL EQUIPMENT
R-5	SPLASH BLOCK: PRE-FABRICATED CONCRETE BLOCK WITH DRAINAGE CHANNEL. SET ON MIN 60 MIL ROOFING MATERIAL PAD OR BUILT-UP 60 MIL ROOFING LAYERS AS REQD. TO PREVENT PREMATURE WEARING OF THE PRIMARY ROOFING MEMBRANE
R-6	FLAT ROOF DRAINAGE PLANES: INSTALL TAPERED INSULATION AS REQUIRED TO FORM RIDGES, VALLEYS, CRICKETS AND SADDLES AS REQUIRED TO ACHIEVE MINIMUM 1/4" PER FOOT PITCH OR MANUFACTURER'S MINIMUM PITCH REQUIREMENTS FOR THE APPLICATION, WHICHEVER IS GREATER. FORM SLOPES TO ELIMINATE THE POSSIBILITY OF PONDING
R-7	ROOF VENTS: SHOP-FABRICATED PRE-FINISHED CORROSION-RESISTANT METAL CONVECTIVE VENTS WITH INSECT SCREENS. METAL SHALL BE COMPATIBLE WITH ROOFING AND SUBSTRATE. COLOR-MATCH TO FINISH ROOFING
R-8	PIPE PENETRATION: PRE-FABRICATED WATER-TIGHT SURFACE-ADHERED ROOFING PORTAL COMPATIBLE WITH ROOFING MATERIAL
R-9	GUTTER AND DOWNSPOUT SYSTEM: • SHOP-FABRICATED PRE-FINISHED ALUMINUM. REFER TO EXTERIOR ELEVATIONS FOR COLOR • 6" K-STYLE GUTTER ON CONCEALED ALUMINUM CLIP HANGERS AT 24" o.c. MAX. • CORRUGATED RECTANGULAR DOWNSPOUTS SIZED AS REQUIRED, WITH LEAF BASKETS • SECURE DOWNSPOUTS TO FACADE WITH PRE-FAB. ALUM. DOWNSPOUT BRACKETS AT 48" o.c. MAX.
R-10	SCUPPER: WATER-TIGHT SHEET METAL THROUGH-WALL DRAINAGE CHANNEL. REFER TO DETAILS AS NOTED
R-11	ROOF DRAIN: METAL DRAIN PAN AND BASKET ASSEMBLY WITH CLAMP RING SECURED WATER-TIGHT TO ROOFING MEMBRANE. REFER TO PLUMBING FIXTURE SCHEDULE
R-12	OVERFLOW DRAIN: METAL DRAIN PAN AND BASKET ASSEMBLY WITH CLAMP RING SECURED WATER-TIGHT TO ROOFING MEMBRANE. REFER TO PLUMBING FIXTURE SCHEDULE
R-13	PARAPET COPING SYSTEM: SHOP-FABRICATED PRE-FINISHED ALUMINUM. REFER TO WALL SECTIONS FOR DETAILS AND EXTERIOR ELEVATIONS FOR COLOR
R-14	ROOF LADDER: REFER TO DETAILS AS NOTED
R-15	LIGHT FIXTURE: SURFACE-MOUNT ELECTRICAL UPLIGHT FIXTURE SECURED TO BLOCKING OVER ROOFING MEMBRANE. REFER TO LIGHT FIXTURE SCHEDULE AND WALL SECTIONS
R-16	MECHANICAL EQUIPMENT: VENTILATION UNIT, PACKAGED ROOFTOP HEATING AND COOLING UNIT OR SPLIT-SYSTEM A/C UNIT MOUNTED TO SHOP-FAB. VIBRATION-ISOLATING RAIL OR INSULATED CURB UNIT. LAP FLASH WATER-TIGHT TO ROOFING MEMBRANE
R-17	NOT USED
R-18	PLUMBING STACK VENT: PVC SIZED AS REQD. WITH PRE-FABRICATED COMPATIBLE FLASHING BOOT ADHERED TO ROOF MEMBRANE. EXTEND VENT TO ALIGN WITH ADJACENT PARAPET COPING AND PROVIDE LATERAL BRACING AS REQD.
R-19	SURFACE-MOUNT MECHANICAL PIPING: GAS AND REFRIGERANT PIPING SUPPORTED ON ROOFING BY B-LINE DURA-BLOK PRE-FAB. RUBBER-BASE GALVANIZED STEEL UNISTRUT PIPE SUPPORTS AT 8'-0" o.c. MAX.
R-20	SURFACE-MOUNT SIGNAGE EQUIPMENT ENCLOSURE: WATER-TIGHT SHOP-FABRICATED METAL SIGNAGE ENCLOSURE BY SIGN VENDOR. SECURE TO BACKSIDE OF PARAPET WALL WITH MINIMAL PENETRATIONS OF ROOFING MEMBRANE. PROVIDE PERIMETER WATER-TIGHT SEALANT COMPATIBLE WITH ROOF MEMBRANE
R-21	NOT USED
R-22	SCUTTLE: PRE-FAB. INSULATED ROOF SCUTTLE WITH RETRACTABLE SAFETY POST. FLASH WATER-TIGHT TO ROOFING MEMBRANE. PROVIDE CARABINER THROUGH LATCH
R-23	NOT USED
R-24	ALUMINUM COMPOSITE MATERIAL (ACM) FASCIA

CHASE

J.P. MORGAN CHASE
WAYZATA BLVD
1022 WAYZATA BLVD.
WAYZATA, MN 55391
CHASE OVP#38200F315515

CORE STATES
DESIGN P.C.

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ISSUE	DATE	DESCRIPTION
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PROJECT INFORMATION	
PROJECT NO:	JPM.25535
DATE:	01/23/2019
PROTOTYPE:	18.3
DRAWN BY:	E.HAWKES
CHECKED BY:	J.ZIETKIEWICZ
VERSION:	1.00

SHEET TITLE

ROOF PLAN

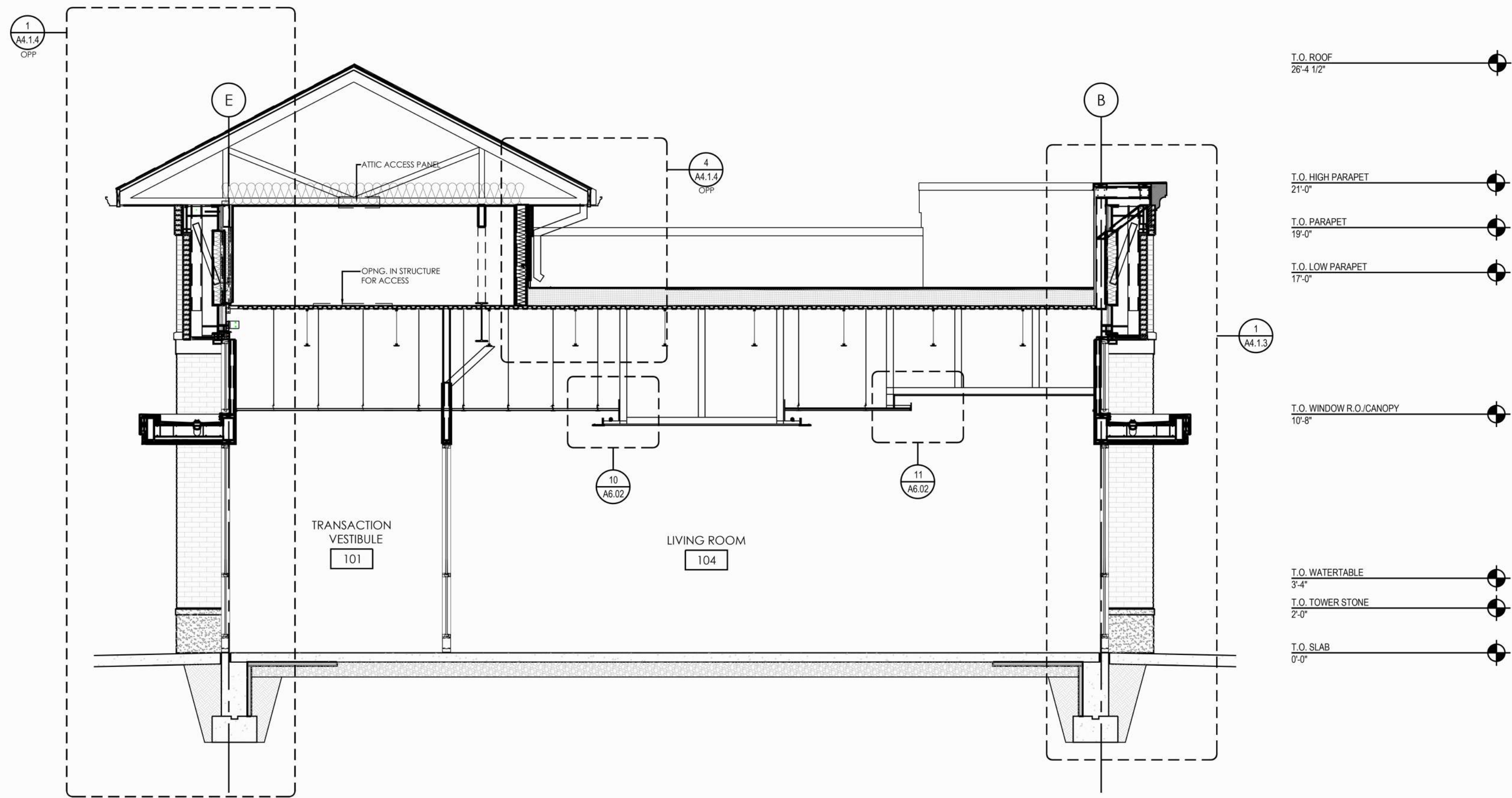
SHEET NUMBER

RP-1

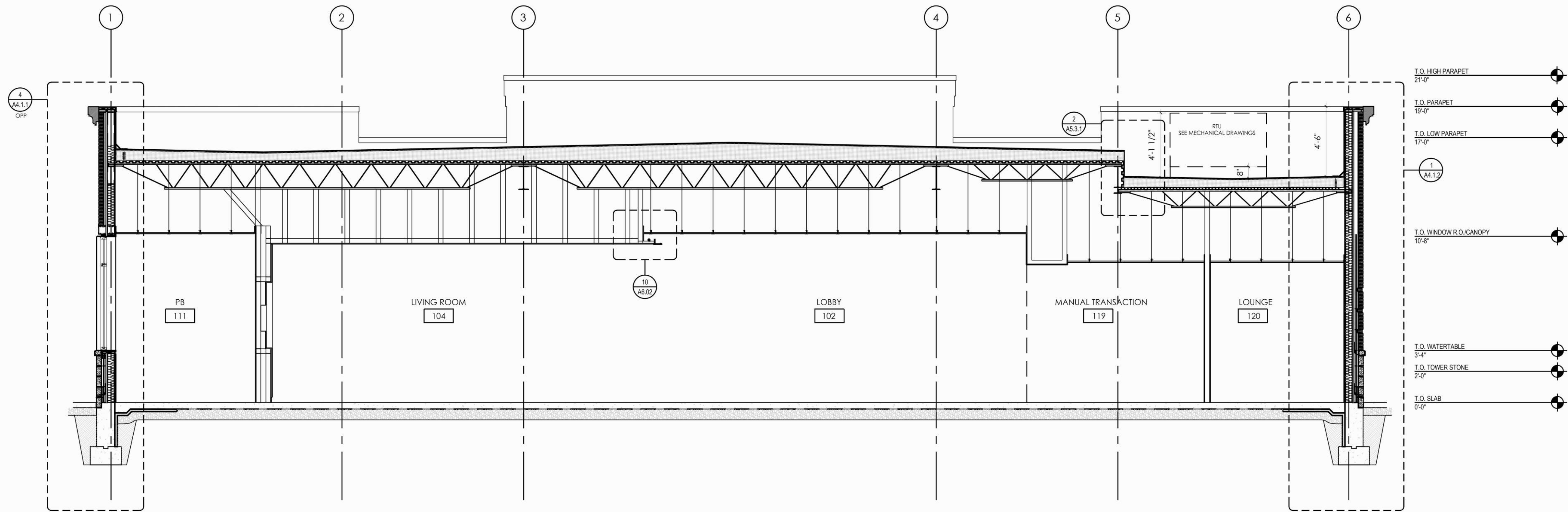
1
A1.3.1

ROOF PLAN
1/4" = 1'-0"





2 BUILDING SECTION
A4.0 1/4" = 1'-0"



1 BUILDING SECTION
A4.0 1/4" = 1'-0"

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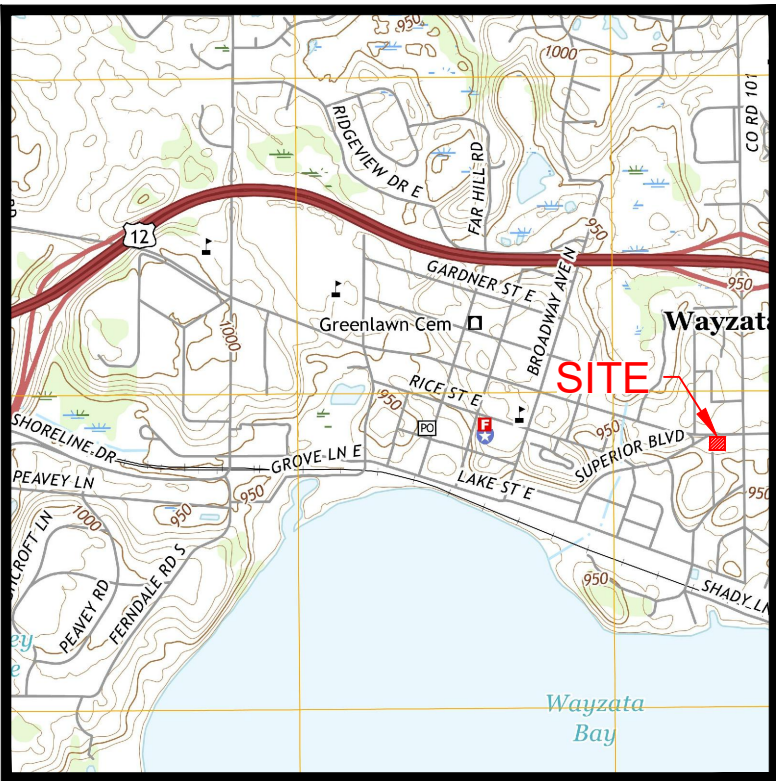
PROJECT INFORMATION	
PROJECT NO:	JPM.25535
DATE:	01/23/2019
PROTOTYPE:	18.3
DRAWN BY:	E.HAWKES
CHECKED BY:	J.ZIETKIEWICZ
VERSION:	1.00

SHEET TITLE

BUILDING SECTIONS

SHEET NUMBER

S-1



USGS QUAD MAP

SEQUENCE OF CONSTRUCTION

- PHASE 1
1. INSTALL STABILIZED CONSTRUCTION EXIT(S).
2. INSTALL SILT FENCE(S) AND SILT DIKE(S) ON THE SITE, AND INLET PROTECTION(S) (CLEAN) ONLY THOSE AREAS NECESSARY TO INSTALL SILT FENCE).
3. PREPARE TEMPORARY PARKING AND STORAGE AREA.
4. BEGIN DEMOLITION ACTIVITIES AND CLEARING AND GRUBBING THE SITE.
5. BEGIN GRADING THE SITE.
6. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
- PHASE 2
1. TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE.
2. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
3. INSTALL RIP RAP AROUND OUTLET STRUCTURES AS EACH OUTLET STRUCTURE IS INSTALLED.
4. INSTALL INLET PROTECTION AT ALL STORM SEWER STRUCTURES AS EACH INLET STRUCTURE IS INSTALLED.
5. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
6. PREPARE SITE FOR PAVING.
7. PAVE SITE.
8. INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES.
9. COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS INCLUDING OUT LOTS.
10. CALL ENGINEER OF RECORD AFTER THE SITE APPEARS TO BE FULLY STABILIZED FOR AN INSPECTION.
11. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER APPROVAL OF THE ENGINEER OF RECORD AND STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THE BMP.
12. CONTINUE DAILY INSPECTION REPORTS UNTIL THE FINAL DAILY INSPECTION IS SIGNED OFF BY THE OWNER THAT THE SITE IS FULLY STABILIZED AND THE PERMIT MAY BE TERMINATED.
13. CONTRACTOR TO FILE NOTICE OF TERMINATION APPLICATION TO THE APPLICABLE JURISDICTION AND SHALL PROVIDE A COPY OF APPROVAL TO THE OWNER AND ENGINEER OF RECORD.
14. MAINTAIN NPDES REPORT AFTER RAIN INSPECTIONS EVERY 7 DAYS.

NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMPS HAVE BEEN COMPLETELY INSTALLED.

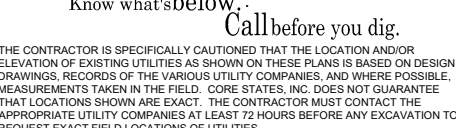
ACREAGE SUMMARY (IN ACRES)	
TOTAL PROJECT AREA	0.536
ON-SITE DISTURBED AREA	0.442
OFF-SITE DISTURBED AREA	0.030
TOTAL DISTURBED AREA (MUST MATCH NOI)	0.472
IMPERVIOUS AREA WITHIN PROPERTY	0.365
PERVIOUS/SEEDED AREA AT COMPLETION WITHIN THE PROPERTY	0.171
IMPERVIOUS AREA OFF-SITE	0.024
PERVIOUS AREA OFF-SITE	0.006

————— LOD —————

LIMITS OF DISTURBANCE

DIRECTION OF OVERLAND FLOW

DOCUMENTS PREPARED BY CORESTATES, INC., INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.



REV	DATE	COMMENT	BY

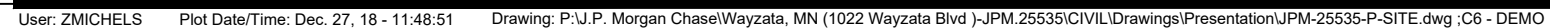
SITE LOCATION
1022 WAYZATA
BOULEVARD E.,
WAYZATA, MN 55391

SHEET TITLE
PHASE II EROSION
AND SEDIMENTATION
CONTROL PLAN

JOB #:	JPM.25
DATE:	12-2
SCALE:	1"
DRAWN BY:	
CHECKED BY:	

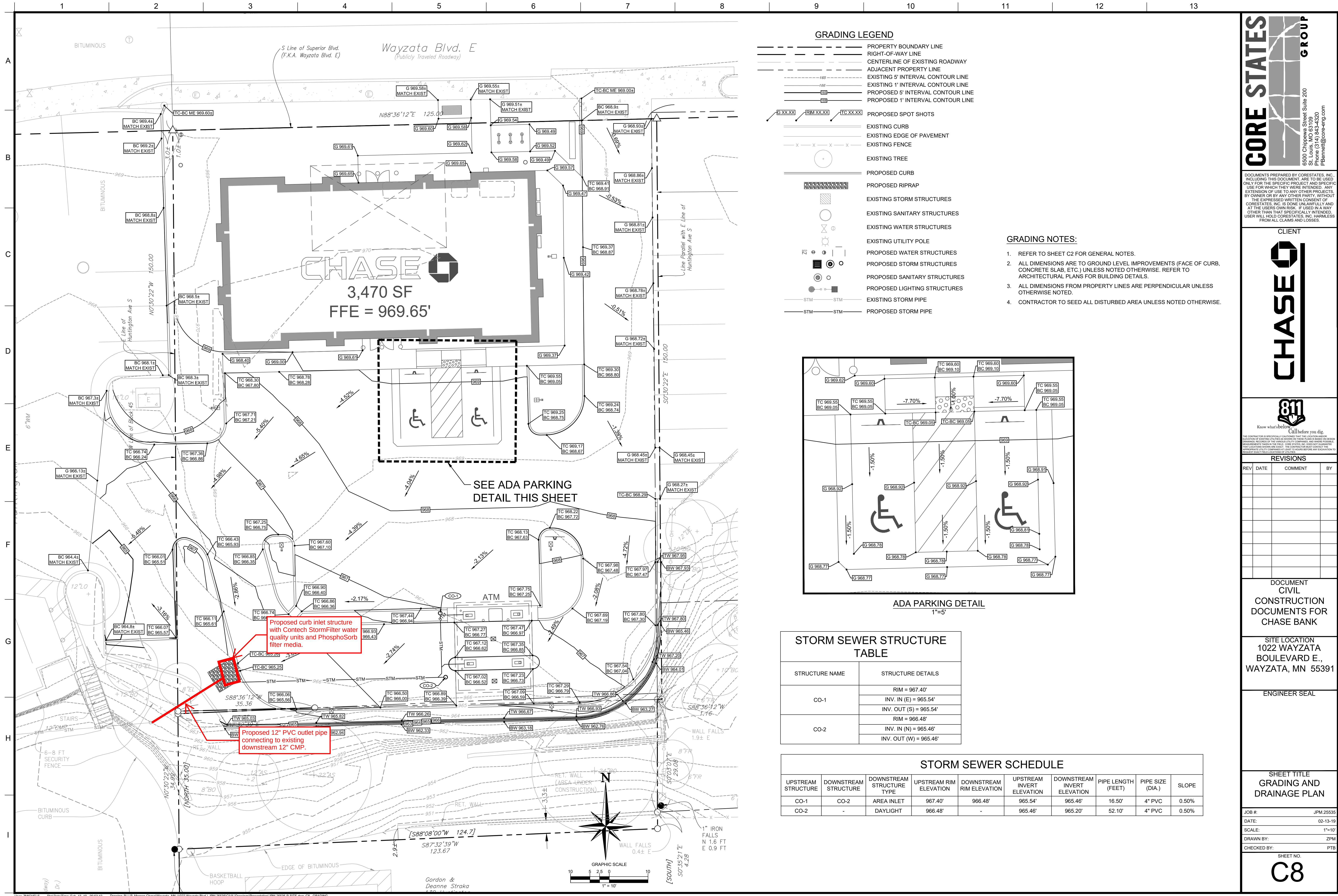
SHEET NO.

C4



- A. EXISTING BUILDING AND ALL APPURTENANCES TO BE REMOVED.
- B. EXISTING ASPHALT PAVEMENT TO BE SAWCUT AND REMOVED.
- C. EXISTING ASPHALT PAVEMENT TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- D. EXISTING CONCRETE PAVEMENT TO BE SAWCUT AND REMOVED.
- E. EXISTING CONCRETE PAVEMENT TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- F. EXISTING CONCRETE CURB TO BE SAWCUT AND REMOVED.
- G. EXISTING CONCRETE CURB TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- H. EXISTING FENCE TO BE REMOVED.
- I. EXISTING FENCE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- J. EXISTING PORTABLE PRODUCE STAND TO BE REMOVED.
- K. EXISTING FUEL PUMP ISLANDS, CANOPY, AND ASSOCIATED STRUCTURES TO BE REMOVED.
- L. EXISTING UNDERGROUND FUEL STORAGE TANKS AND ALL CORRESPONDING UTILITY LINES TO BE REMOVED.
- M. EXISTING UNDERGROUND UTILITY LINE TO BE REMOVED.
- N. EXISTING UTILITY LINE TO BE REMOVED.
- O. EXISTING UTILITY STRUCTURE TO BE REMOVED.
- P. EXISTING UTILITY STRUCTURE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- Q. EXISTING RETAINING WALL AND GUARDRAIL TO BE REMOVED.
- R. EXISTING TREE TO BE REMOVED.
- S. EXISTING TREE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.

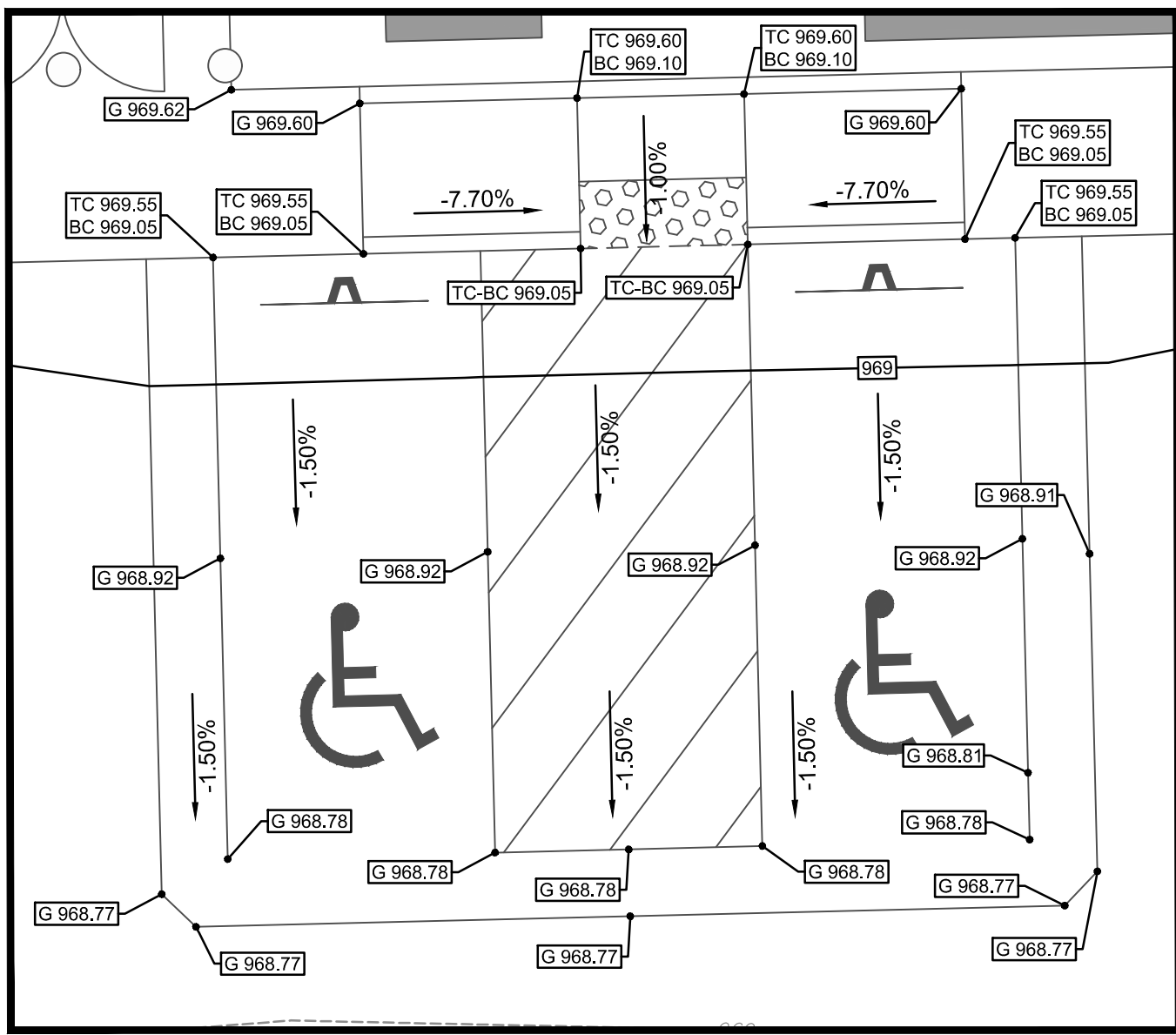
SHEET NO.
C6



GRADING LEGEND

---	PROPERTY BOUNDARY LINE
---	RIGHT-OF-WAY LINE
---	CENTERLINE OF EXISTING ROADWAY
---	ADJACENT PROPERTY LINE
---	EXISTING 5' INTERVAL CONTOUR LINE
---	EXISTING 1' INTERVAL CONTOUR LINE
---	PROPOSED 5' INTERVAL CONTOUR LINE
---	PROPOSED 1' INTERVAL CONTOUR LINE
---	PROPOSED SPOT SHOTS
---	EXISTING CURB
---	EXISTING EDGE OF PAVEMENT
---	EXISTING FENCE
---	EXISTING TREE
---	PROPOSED CURB
---	PROPOSED RIPRAP
---	EXISTING STORM STRUCTURES
---	EXISTING SANITARY STRUCTURES
---	EXISTING WATER STRUCTURES
---	EXISTING UTILITY POLE
---	PROPOSED WATER STRUCTURES
---	PROPOSED STORM STRUCTURES
---	PROPOSED SANITARY STRUCTURES
---	PROPOSED LIGHTING STRUCTURES
---	EXISTING STORM PIPE
---	PROPOSED STORM PIPE

- ### GRADING NOTES:
- REFER TO SHEET C2 FOR GENERAL NOTES.
 - ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC.) UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS.
 - ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
 - CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED OTHERWISE.



STORM SEWER STRUCTURE TABLE	
STRUCTURE NAME	STRUCTURE DETAILS
CO-1	RIM = 967.40'
	INV. IN (E) = 965.54'
	INV. OUT (S) = 965.54'
CO-2	RIM = 966.48'
	INV. IN (N) = 965.46'
	INV. OUT (W) = 965.46'

STORM SEWER SCHEDULE								
UPSTREAM STRUCTURE	DOWNSTREAM STRUCTURE	DOWNSTREAM STRUCTURE TYPE	UPSTREAM RIM ELEVATION	DOWNSTREAM RIM ELEVATION	UPSTREAM INVERT ELEVATION	DOWNSTREAM INVERT ELEVATION	PIPE LENGTH (FEET)	PIPE SIZE (DIA.)
CO-1	CO-2	AREA INLET	967.40'	966.48'	965.54'	965.46'	16.50'	4" PVC
CO-2	-	DAYLIGHT	966.48'	-	965.46'	965.20'	52.10'	4" PVC

CORE STATES GROUP

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St. Louis, MO 63109
Phone (314) 843-4320
Pblanett@core-eng.com

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CLIENT

CHASE

811
Know what's below.
Call before you dig.
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR DEPTH OF EXISTING UTILITIES SHOWN ON THESE PLANS IS BASED ON RECORD DRAWINGS AND FIELD SURVEY. CORE STATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES.

REVISIONS			
REV	DATE	COMMENT	BY

DOCUMENT
CIVIL
CONSTRUCTION
DOCUMENTS FOR
CHASE BANK

SITE LOCATION
1022 WAYZATA
BOULEVARD E.,
WAYZATA, MN 55391

ENGINEER SEAL

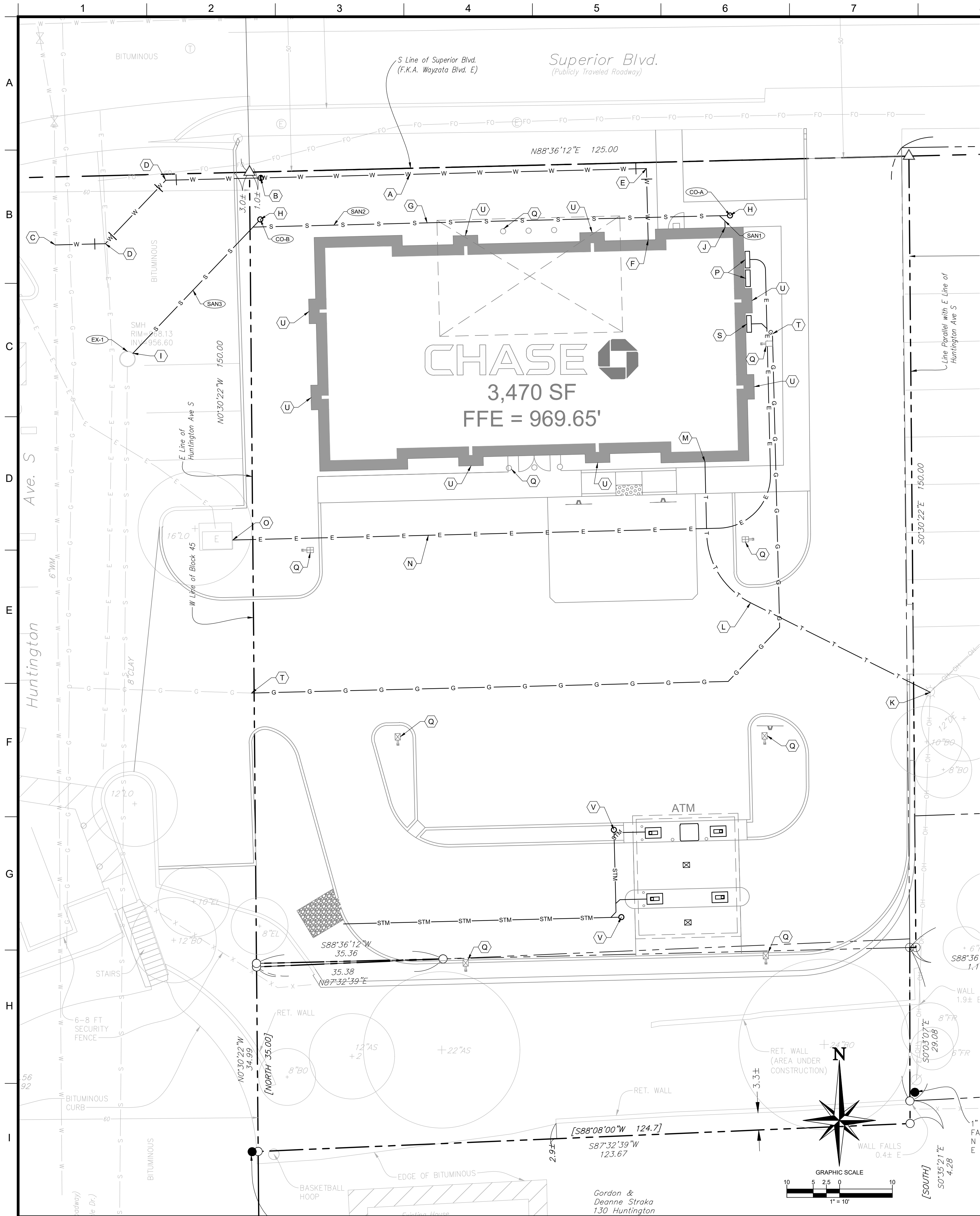
SHEET TITLE
GRADING AND
DRAINAGE PLAN

JOB #: JPM 25535
DATE: 02-13-19
SCALE: 1"=10'
DRAWN BY: ZPM
CHECKED BY: PTB

SHEET NO.
C8

User: ZMCHILLS Plot Date/Time: Feb. 13, 19 - 09:53:42 Drawing: P:\P Morgan Chase\Wayzata, MN\1022 Wayzata Blvd - JPM 25535\CIVIL\Drawings\Presentations\JPM 25535-F-SITE.dwg, C8 - GRADING

Page 48 of 74



UTILITY LEGEND

---	PROPERTY BOUNDARY LINE
---	RIGHT-OF-WAY LINE
---	EXISTING EASEMENT
---	CENTERLINE OF EXISTING ROADWAY
---	ADJACENT PROPERTY LINE
---	EXISTING CURB
---	EXISTING EDGE OF PAVEMENT
---	EXISTING FENCE
○	EXISTING TREE
---	PROPOSED CURB
---	EXISTING STORM STRUCTURES
---	EXISTING SANITARY STRUCTURES
---	EXISTING WATER STRUCTURES
---	EXISTING UTILITY POLE
---	PROPOSED WATER STRUCTURES
---	PROPOSED STORM STRUCTURES
---	PROPOSED SANITARY STRUCTURES
---	PROPOSED LIGHTING STRUCTURES
---	EXISTING GAS MAIN
---	EXISTING STORM PIPE
---	EXISTING SANITARY
---	EXISTING WATER MAIN
---	EXISTING UNDERGROUND ELECTRIC
---	EXISTING TELEPHONE
---	EXISTING FIBER OPTIC
---	PROPOSED STORM PIPE
---	PROPOSED WATER
---	PROPOSED SANITARY
---	PROPOSED ELECTRIC
---	PROPOSED TELEPHONE/CABLE
---	PROPOSED GAS

- UTILITY NOTES:**
- REFER TO SHEET C2 FOR GENERAL NOTES.
 - REFER TO SHEET C6 FOR DEMOLITION PLAN.
 - REFER TO SHEET C7 FOR SITE PLAN.
 - REFER TO SHEET C8 FOR GRADING AND DRAINAGE PLAN.
 - REFER TO PHOTOMETRIC PLAN FOR SITE LIGHTING DETAILS.
 - REFER TO SHEET LP-1 FOR LANDSCAPE PLAN.
 - REFER TO SHEET IR-1 FOR IRRIGATION PLAN.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING COMPLETE OR EXACT. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - REFER TO ARCHITECTURAL PLANS FOR SITE ELECTRICAL PLANS.
 - A MINIMUM VERTICAL CLEARANCE OF 18" SHALL BE MAINTAINED AT ALL UTILITY CROSSINGS.

- KEYED NOTES:**
- PROPOSED 4" COPPER (TYPE M) POTABLE WATER AND FIRE SERVICE LINE. MAINTAIN 36" OF COVER.
 - PROPOSED 4" GATE VALVE PER CITY OF WAYZATA PUBLIC WORKS STANDARDS
 - PROPOSED LOCATION FOR 4" COPPER (TYPE M) POTABLE WATER AND FIRE SERVICE LINE TAP AT EXISTING MAIN. CONTRACTOR SHALL COORDINATE WITH CITY OF WAYZATA PUBLIC WORKS AND FIELD VERIFY SIZE AND LOCATED OF EXISTING WATER MAIN.
 - PROPOSED 4" COPPER (TYPE M) - 45° BEND.
 - PROPOSED 4" COPPER (TYPE M) - 90° BEND.
 - PROPOSED LOCATION FOR 4" COPPER (TYPE M) POTABLE WATER AND FIRE SERVICE CONNECTION TO THE BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 - PROPOSED PVC (SCHEDULE 40) SANITARY SEWER SERVICE. REFER TO SANITARY SEWER SCHEDULE BELOW FOR DETAILS.
 - PROPOSED SANITARY SEWER CLEANOUT LOCATION. REFER TO SHEET C11 FOR DETAIL.
 - PROPOSED POINT OF CONNECTION SANITARY SEWER SERVICE AT EXISTING MANHOLE. CONTRACTOR TO PATCH AND REPAIR EXISTING MANHOLE AS NECESSARY WHEN INSTALLING NEW CONNECTION. CONTRACTOR TO FIELD VERIFY LOCATION AND INVERTS PRIOR TO CONSTRUCTION. (SEE UTILITY NOTE #8).
 - PROPOSED LOCATION FOR SANITARY SEWER TIE IN TO THE BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 - PROPOSED POINT OF CONNECTION FOR TELEPHONE AND CABLE SERVICE AT EXISTING UTILITY POLE. CONTRACTOR TO COORDINATE WITH TELEPHONE COMPANY.
 - CONTRACTOR TO PROVIDE UNDERGROUND CONDUITS FOR TELEPHONE AND CABLE. CONTRACTOR TO COORDINATE WITH TELEPHONE COMPANY FOR CONDUIT SPECIFICATIONS.
 - PROPOSED LOCATION FOR TELEPHONE AND CABLE TIE IN TO THE BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 - CONTRACTOR TO PROVIDE UNDERGROUND SECONDARY CONDUIT FOR ELECTRICAL SERVICE. CONTRACTOR TO COORDINATE WITH ELECTRICAL COMPANY FOR CONDUIT SPECIFICATIONS.
 - PROPOSED POINT OF CONNECTION FOR ELECTRICAL SERVICE AT EXISTING TRANSFORMER. CONTRACTOR TO COORDINATE WITH ELECTRICAL COMPANY.
 - PROPOSED WALL MOUNTED ELECTRIC METER, CT CABINET, AND MANUAL TRANSFER SWITCH. REFER TO ELECTRICAL DRAWINGS FOR DETAILS.
 - PROPOSED SITE LIGHT FIXTURE. (SEE UTILITY NOTE #5).
 - PROPOSED UNDERGROUND ELECTRICAL CONDUITS FOR SIGHT LIGHTING. ALIGNMENT OF UNDERGROUND CONDUITS ARE FOR GENERAL LOCATIONS ONLY. CONTRACTOR TO INSTALL UNDERGROUND CONDUITS TO PREVENT CONFLICTS AND FACILITATE PROPOSED WIRING SCHEMATIC.
 - PROPOSED LOCATION FOR GAS TIE IN TO THE BUILDING AT GAS METER. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 - PROPOSED GAS SERVICE. CONTRACTOR TO COORDINATE WITH GAS COMPANY TO VERIFY LOCATION OF EXISTING MAIN.
 - PROPOSED BUILDING DOWNSPOUT LOCATION. DOWNSPOUTS TO DISCHARGE TO GROUND. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 - PROPOSED STORM CLEANOUT. REFER TO SHEET C11 FOR DETAIL.

SANITARY SEWER STRUCTURE TABLE	
STRUCTURE NAME	STRUCTURE DETAILS
CO-A	RIM = 969.57'
	INV. IN (S) = 965.60'
	INV. OUT (W) = 965.60'
CO-B	RIM = 969.63'
	INV. IN (E) = 963.80'
	INV. OUT (SW) = 963.80'
EX-1	RIM = 968.13'
	INV. IN (NE) = 963.11'
	INV. OUT (S) = 956.60'

SANITARY SEWER SCHEDULE						
PIPE NAME	UPPER STRUCTURE	LOWER STRUCTURE	UPPER INVERT ELEVATION	LOWER INVERT ELEVATION	PIPE LENGTH (FEET)	PIPE SIZE/TYPE
SAN1	BLDG	CO-A	965.65'	965.60'	2.70'	4" PVC 2.00%
SAN2	CO-A	CO-B	965.60'	963.80'	90.00'	4" PVC 2.00%
SAN3	CO-B	EX-1	963.80'	963.11'	34.50'	4" PVC 2.00%

CORE STATES GROUP
6500 Chippewa Street Suite 200
St. Louis, MO 63109
Phone (314) 843-4320
Pblanett@core-eng.com

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CLIENT
CHASE

811
Know what's below. Call before you dig.

REVISIONS			
REV	DATE	COMMENT	BY

DOCUMENT
CIVIL
CONSTRUCTION
DOCUMENTS FOR
CHASE BANK

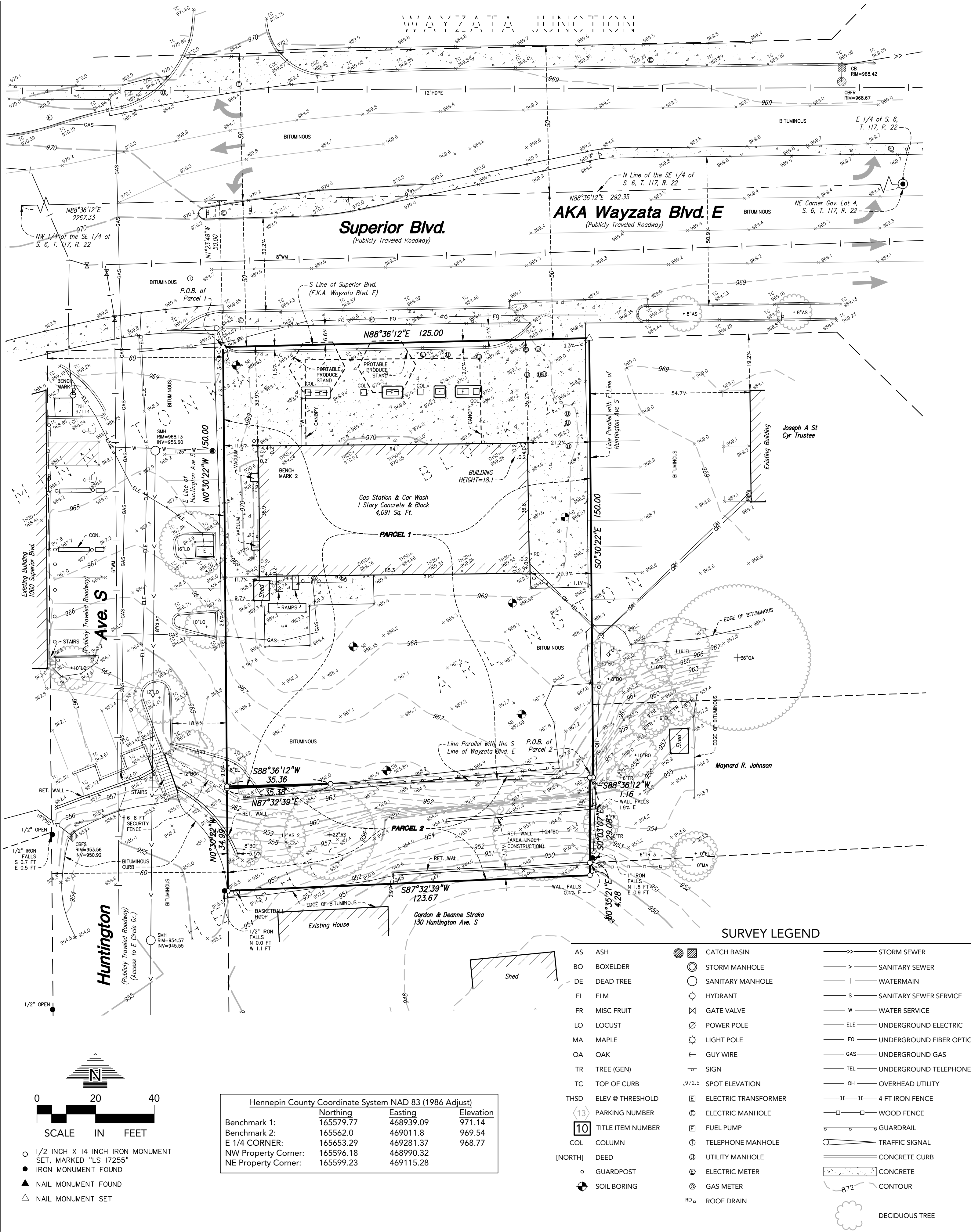
SITE LOCATION
1022 WAYZATA
BOULEVARD E.,
WAYZATA, MN 55391

ENGINEER SFAI

SHEET TITLE
UTILITY PLAN

JOB #:	JPM 25535
DATE:	12-28-18
SCALE:	1"=10'
DRAWN BY:	ZPM
CHECKED BY:	PTB

SHEET NO.
C9



DESCRIPTION OF PROPERTY SURVEYED
(Per Schedule A of the herein referenced Title Commitment)

Parcel 1:
That part of Block 45, Minnetonka Arlington Heights, Wayzata, Minn., bounded and described as follows:
Commencing at a point where the Easterly line of Huntington Avenue intersects the present Southerly line of Superior Boulevard (formerly know as Wayzata Boulevard); thence in an Easterly direction along the Southerly line of said Superior Boulevard a distance of 125 feet; thence in a Southerly direction on a line parallel with the Easterly line of said Huntington Ave a distance of 150 feet; thence Westerly on a line parallel with the Southerly line of said Superior Boulevard to a point on the Easterly line of Huntington Ave. 150 feet Southerly of point of beginning; thence Northerly along the Easterly line of said Huntington Ave. to the place of beginning.
Abstract Property

Parcel 2:
That part of Block 45, Minnetonka Arlington Heights, described as commencing at the Northeast corner of Government Lot 4, Section 6, Township 117, Range 22; thence South along the East line of said Government Lot 4, a distance of 50 feet; thence South 89 degrees 45 minutes West (assuming said East line as bearing North and South) a distance of 168 feet; thence South, parallel to the East line of said Government Lot 4, a distance of 150 feet to the actual point of beginning; thence South 0 degrees 32 minutes West a distance of 30.72 feet; thence South parallel to the East line of Said Government Lot 4, a distance of 4.28 feet; thence South 88 degrees 08 minutes West a distance of 124.7 feet, more or less, to the West line of said Block 45; thence North along the West line of said Block 45 a distance of 35 feet to an intersection with a line bearing South 88 degrees 08 minutes West from the actual point of beginning, thence North 88 degrees 08 minutes East to the actual point of beginning.
Torrens Property
(Certificate of Title No. 1464787)

NOTE: the description for Parcel 2 above is per Certificate of Title No. 144787. The description in the title commitment appears to have transposed distance of 169 feet (not 168 feet), as noted in bold text above.

TITLE COMMITMENT EXCEPTIONS
(Per Schedule B, Part II of the herein referenced Title Commitment)

The property depicted on this survey and the easements of record shown hereon are the same as the property and the easements described in the Commitment for Title Insurance issued by Fidelity National Title Insurance Company, File No. 300867, issued on October 15, 2018, commitment date September 18, 2018. The numbers below correspond to those in the title commitment.

1-15 do not require comment.

ALTA/NSPS OPTIONAL TABLE A NOTES
(The following items refer to Table A optional survey responsibilities and specifications)

- Monuments placed (or a reference monument or witness to the corner) at all major corners of the boundary of the property, unless already marked or referenced by existing monuments or witnesses to the corner are shown hereon.
- The address, if disclosed in documents provided to or obtained by the surveyor, or observed while conducting the fieldwork is 1022 Wayzata Boulevard E, Wayzata, MN.
- This property is contained in Zone X (areas determined to be outside the 0.2% annual chance floodplain) per Flood Insurance Rate Map No. 27053C0307F, Community Panel No. 2701880307F, effective date of November 4, 2016.
- The Gross land area is 23,004 +/- square feet or 0.53 +/- acres.
- Benchmark: MNDOT monument "ROGER MN053", located at the southwest corner of Trunk Highway 12 over Gleason Lake Road, 4.4 feet south of the south edge of eastbound Trunk Highway 12, 127.7 feet east-southeast of benchmark "2714 L", 2.52 feet east-northeast of witness post.
Elevation = 993.88 (NAVD88)

Site Benchmark 1: Located 9 feet east of the northeast corner of 1000 Superior Boulevard.
Elevation = 971.14 (NAVD88)

Site Benchmark 2: building threshold at the northwest corner of subject property
Elevation = 969.54 (NAVD88)
- (a) Any zoning classification, setback requirements, height and floor space area restrictions, and parking requirements, shown hereon, was researched to the best of our ability and is open to interpretation. Per the City of Wayzata Zoning Map and City Code, on October 8, 2018, information for the subject property is as follows:

Zone C-3 Service District;
Setbacks: Front 10 feet, Side 10 feet, Rear 10 feet;
Height: Thirty (30) feet, whichever is lesser;
Floor Area Ratio: The maximum floor area ratio (F.A.R.) shall be 1.0.

(b) Zoning information was not provided by the client.
Setback requirements, height and floor space area restrictions, and parking requirements were not provided by the zoning letter.
- (a) Exterior dimensions of all buildings are shown at ground level.

(b) Square footage is the exterior footprint of all buildings at ground level.

(c) The heights of all buildings above grade are measured at the locations shown hereon.
- Substantial features observed in the process of conducting fieldwork, are shown hereon.
- There are no striped parking stalls on this site.
- (a) There are no observable division or party walls on this site.
- We have shown underground utilities on and/or serving the surveyed property per Gopher State One-Call Ticket Nos. 182500450 and 182500470. The following utilities and municipalities were notified:

AT&T TRANSMISSION	(713)660-2060	CENTURYLINK	(800)283-4237
CITY OF WAYZATA	(952)404-5363	CONSOLIDATED COMMUNICATIONS I	(800)778-9140
MEDIACOM	(515)559-5690	HENNEPIN COUNTY PUBLIC WORKS	(612)596-0339
INTEGRA TELECOM HOLDINGS	(888)267-1063	WINDSTREAM COMMUNICATIONS	(800)289-1901
LUNDGREN BROTHERS CONSTRUCTION	(612)473-1231	MCI	(800)624-9675
MASTEC NORTH AMERICA, INC.	(800)778-9140	CENTER POINT ENERGY	(612)321-4421
MEDIACOM	(800)778-9140	SPRINT/LONG DISTANCE	(800)521-0579
XCEL ENERGY	(800)848-7558	ZAYO BANDWIDTH	(888)267-1063

- Utility operators do not consistently respond to locate requests through the Gopher State One Call service for surveying purposes such as this. Those utility operators that do respond, often will not locate utilities from their main line to the customer's structure or facility. They consider those utilities "private" installations that are outside their jurisdiction. These "private" utilities on the surveyed property or adjoining properties, may not be located since most operators will not mark such "private" utilities. A private utility locator may be contacted to investigate these utilities further, if requested by the client.
- The locations of underground utility lines shown hereon is an approximation based on available maps, unless otherwise noted on the survey.
- Maps provided by those notified above, either along with a field location or in lieu of such a location, are very often inaccurate or inconclusive. EXTREME CAUTION MUST BE EXERCISED BEFORE AN EXCAVATION TAKES PLACE ON OR NEAR THIS SITE. BEFORE DIGGING, YOU ARE REQUIRED BY LAW TO NOTIFY GOPHER STATE ONE CALL AT LEAST 48 HOURS IN ADVANCE AT 811 or (651) 454-0002.

- The names of the adjoining owners, as shown hereon, are based on information obtained from current tax records.
- The only evidence of recent earth moving work, building construction or building additions observed in the process of conducting our field work, was found around a retaining wall located in the southeast corner of the subject property.
- Professional Liability Insurance was provided to Client.

SURVEY REPORT

- The Surveyor was not provided utility easement documents for the subject property except for those shown on the Survey.
- The bearings for this survey are based on the Hennepin County Coordinate System NAD 83 (1986 Adjust).

CERTIFICATION

To Core States Group, Monaco Fuel LLC, a Minnesota limited liability company and Fidelity National Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1 - 5, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10(a), 11, 13, 16, and 20 of Table A thereof. The field work was completed on September 21, 2018.

Date of Plat or Map: October 15, 2018

Henry D. Nelson, PLS
Henry D. Nelson, PLS Minnesota License No. 17255
hnelson@loudcksinc.com



WAYZATA
SITE

1022 WAYZATA BLVD. E
WAYZATA, MN

CORE STATES GROUP

12700 HILLCREST ROAD
SUITE 192
DALLAS, TX 75230

LOUCKS

PLANNING
CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
ENVIRONMENTAL

7200 Hemlock Lane, Suite 300
Maple Grove, MN 55369
763.424.5505
www.loudcksinc.com

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SUBMITTAL/REVISIONS

10/15/18 SURVEY ISSUED

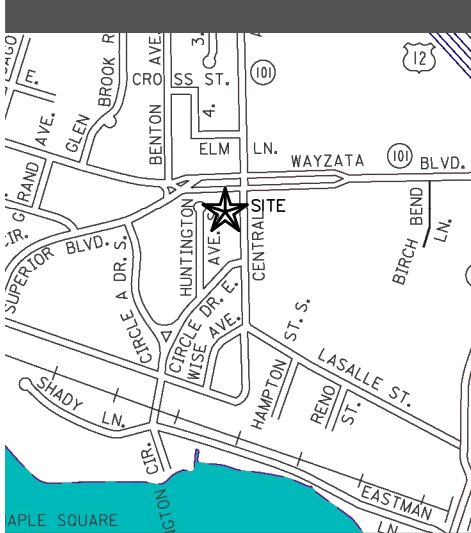
PROFESSIONAL SIGNATURE

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Henry D. Nelson
License No. 17255
Date 10/15/18

QUALITY CONTROL

Loucks Project No. 18483
Project Lead HDN
Drawn By SFH
Checked By HDN
Field Crew DJP, CMS



ALTA/NSPS
LAND TITLE
SURVEY

1 OF 2

1022 WAYZATA BLVD. E
WAYZATA, MN

PLANNING
CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
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7200 Hemlock Lane, Suite 300
Maple Grove, MN 55369
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10/15/18 SURVEY ISSUED

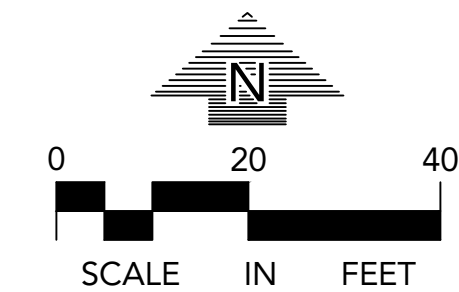
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Henry D. Nelson - FLS
License No. 1725
Date 10/15/11

Loucks Project No. 1848
Project Lead HDM
Drawn By SFH
Checked By HDM
Field Crew DJP, CM



2 OF 2



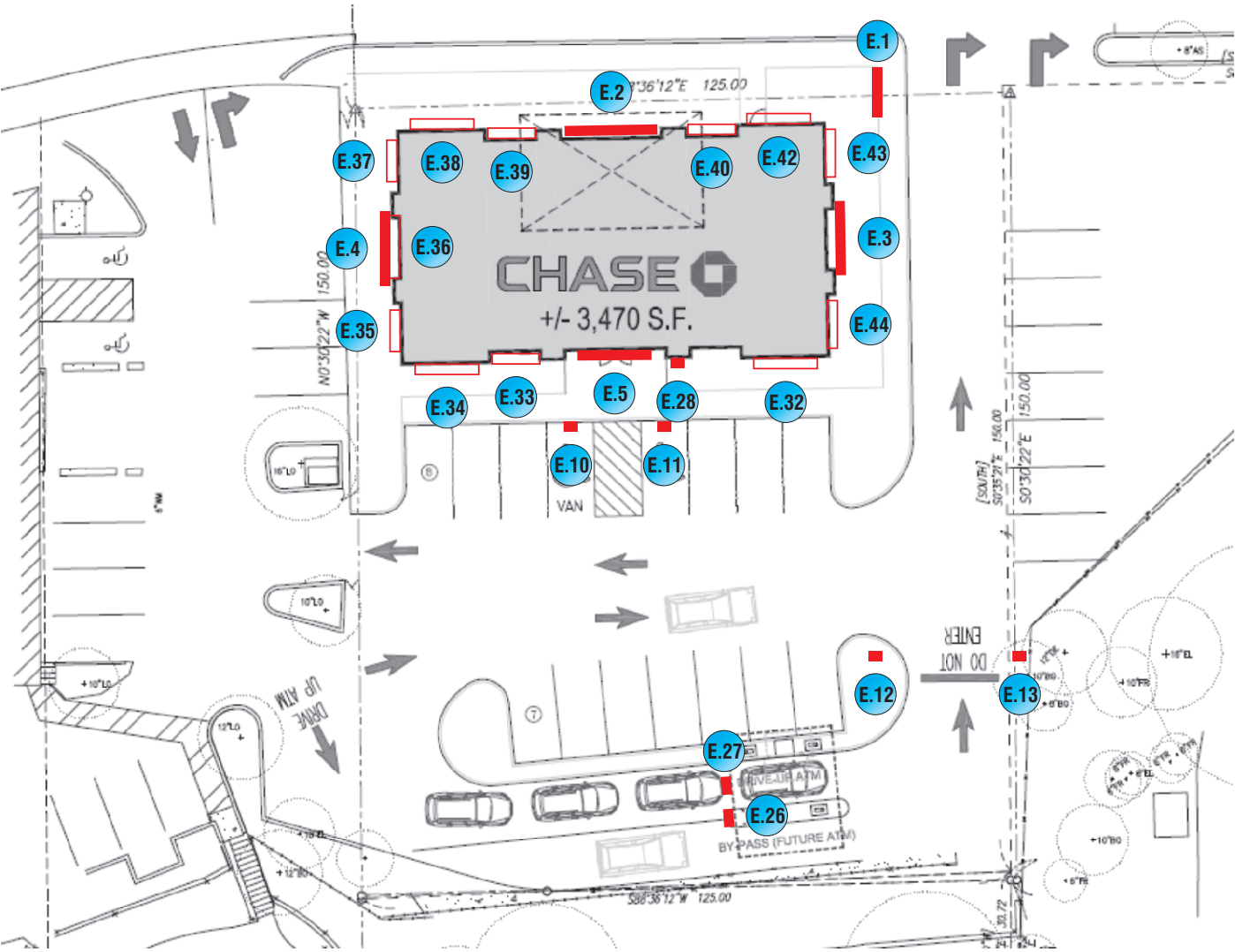
- 1/2 INCH X 14 INCH IRON MONUMENT
SET, MARKED "LS 17255"
● IRON MONUMENT FOUND
▲ NAIL MONUMENT FOUND
△ NAIL MONUMENT SET

EXTERIOR SIGN LEGEND - ALLOWED

Elevation	Sign No.	Sign Type	Description	Sq.Ft.
	E.1	CUSTOM M-25-RE*	Illuminated Monument Sign - Brick Base	25
North	E.2	LIF-WBO-30	30" White Channel Letters and Logo	41.02
East	E.3	LIF-WBO-24	24" White Channel Letters and Logo	26.32
West	E.4	LIF-WBO-24	24" White Channel Letters and Logo	26.32
South	E.5	LIF-WBO-24	24" White Channel Letters and Logo	26.32
	E.6	NONE	REMOVED FROM SCOPE OF WORK	
	E.7	NONE	REMOVED FROM SCOPE OF WORK	
	E.8	NONE	REMOVED FROM SCOPE OF WORK	
	E.9	NONE	REMOVED FROM SCOPE OF WORK	
	E.10	TC-P-ADA-MN-V-RE	Post Mount Handicap Stall Sign - Van Accessible	
	E.11	TC-P-ADA-MN-RE	Post Mount Handicap Stall Sign	
	E.12	DOT-DNE	Post Mount Do Not Enter Sign	
	E.13	DOT-DNE	Post Mount Do Not Enter Sign	
	E.14	NONE	REMOVED FROM SCOPE OF WORK	
	E.26	TC-CL-W	Clearance Sign	
	E.27	DU-C	Lane Designator	
	E.28	CPC-EWP-SF-28-RE	28" CPC S/F Entrance Wall Plaque	
	E.32	CUSTOM AWN-WU-S	Non-Illuminated Sunbrella Awning - Window Mount	
	E.33	CUSTOM AWN-WU-S	Non-Illuminated Sunbrella Awning - Window Mount	
	E.34	CUSTOM AWN-WU-S	Non-Illuminated Sunbrella Awning - Window Mount	
	E.35	CUSTOM AWN-WU-S	Non-Illuminated Sunbrella Awning - Window Mount	
	E.36	CUSTOM AWN-WU-S	Non-Illuminated Sunbrella Awning - Window Mount	
	E.37	CUSTOM AWN-WU-S	Non-Illuminated Sunbrella Awning - Window Mount	
	E.38	CUSTOM AWN-WU-S	Non-Illuminated Sunbrella Awning - Window Mount	
	E.39	CUSTOM AWN-WU-S	Non-Illuminated Sunbrella Awning - Window Mount	
	E.40	CUSTOM AWN-WU-S	Non-Illuminated Sunbrella Awning - Window Mount	
	E.42	CUSTOM AWN-WU-S	Non-Illuminated Sunbrella Awning - Window Mount	
	E.43	CUSTOM AWN-WU-S	Non-Illuminated Sunbrella Awning - Window Mount	
	E.44	CUSTOM AWN-WU-S	Non-Illuminated Sunbrella Awning - Window Mount	

*FINAL LOCATION TO BE CONFIRMED VIA CIVIL ENGINEERING REPORT
& VERIFIED BY FIELD SURVEY

Total Proposed Sq Ft	144.98
Total Allowable Sq Ft	150
Difference	5.02



SITE PLAN SCALE: 1/32"=1'-0"



Signtech™

4444 Federal Blvd. San Diego CA 92102
Phone: (619) 527-6100 / Fax: (619) 527-6111
signtech.com



JP Morgan Chase Bank
#38200P315515

Wayzata
1022 Wayzata Blvd E.
Wayzata, MN 55391

Initial Date: 12/17/18
Salesperson: Arthur Navarro
Coordinator: Tracey Pichierri
Designer: Andrew Sena
Scale: As noted

CUSTOMER APPROVAL

Customer Signature _____ Date _____
COPY, COLORS & SIZES

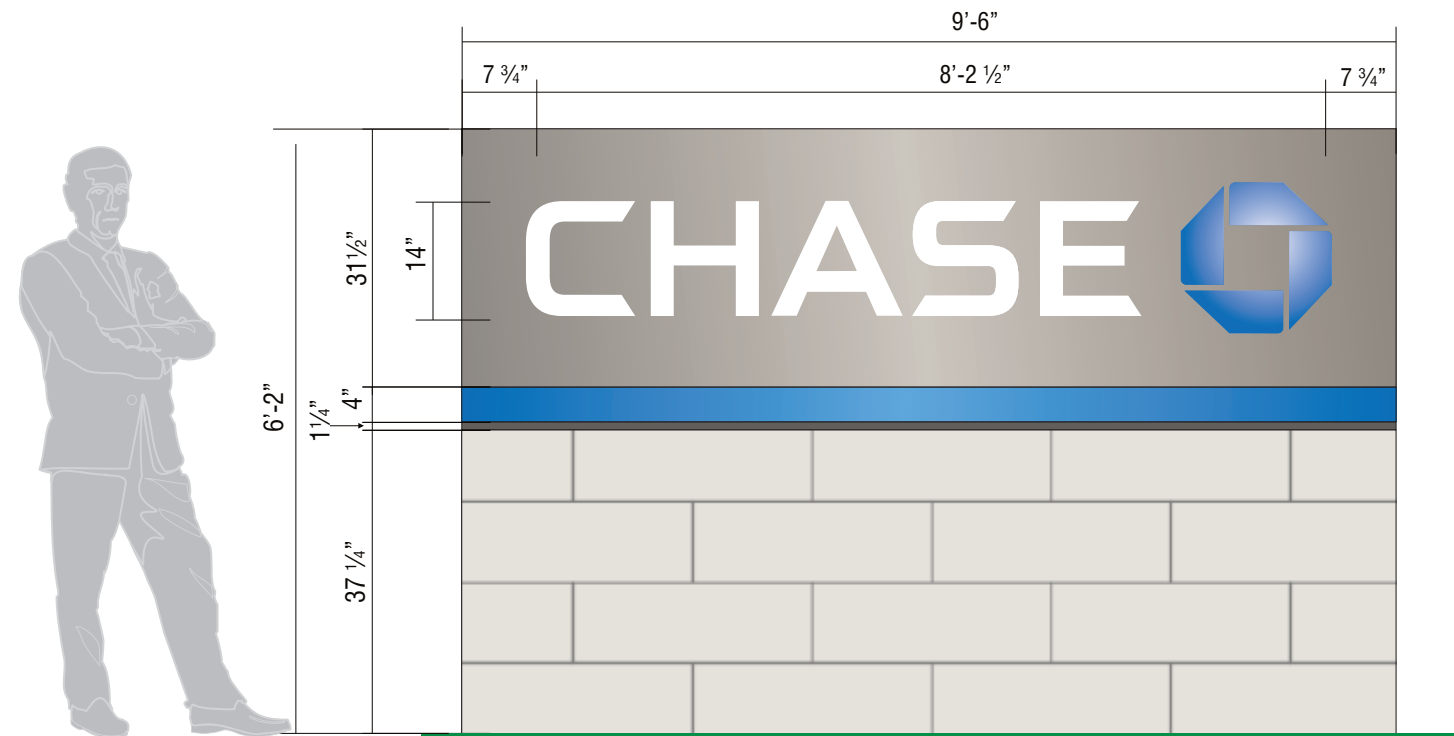
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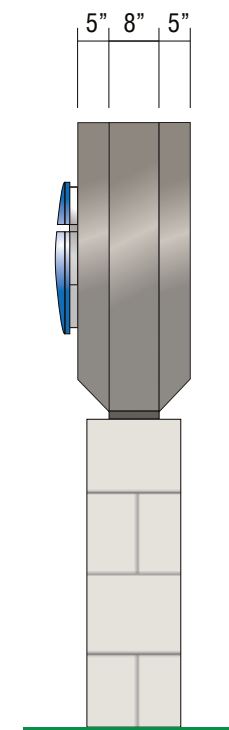
Drawing Number: 18-02197

Project ID: CHASE_38200P315515_1

Sign Legend / Site Plan



FRONT VIEW SCALE: 3/4"=1'-0"



END VIEW SCALE: 1/2"=1'-0"

E.1 SIGN TYPE CUSTOM M-25-RE BRICK BASE - TO MATCH BUILDING BRICK
MANUFACTURE AND INSTALL ONE (1) INTERNALLY ILLUMINATED D/F MONUMENT SIGN



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JP Morgan Chase Bank
#38200P315515

Wayzata
1022 Wayzata Blvd E.
Wayzata, MN 55391

Initial Date: 12/17/18
Salesperson: Arthur Navarro
Coordinator: Tracey Pichierri
Designer: Andrew Sena
Scale: As noted

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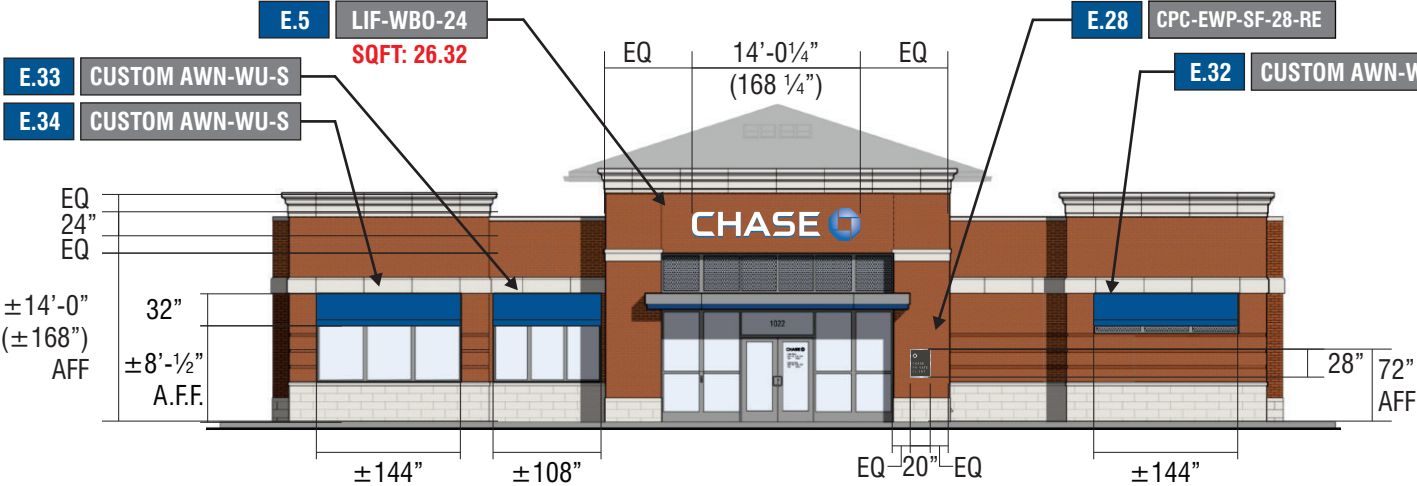
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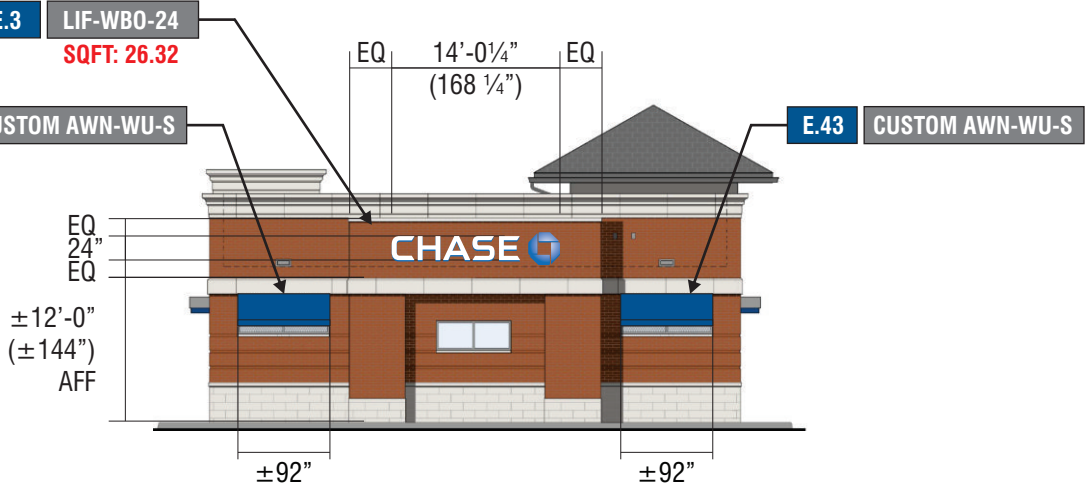
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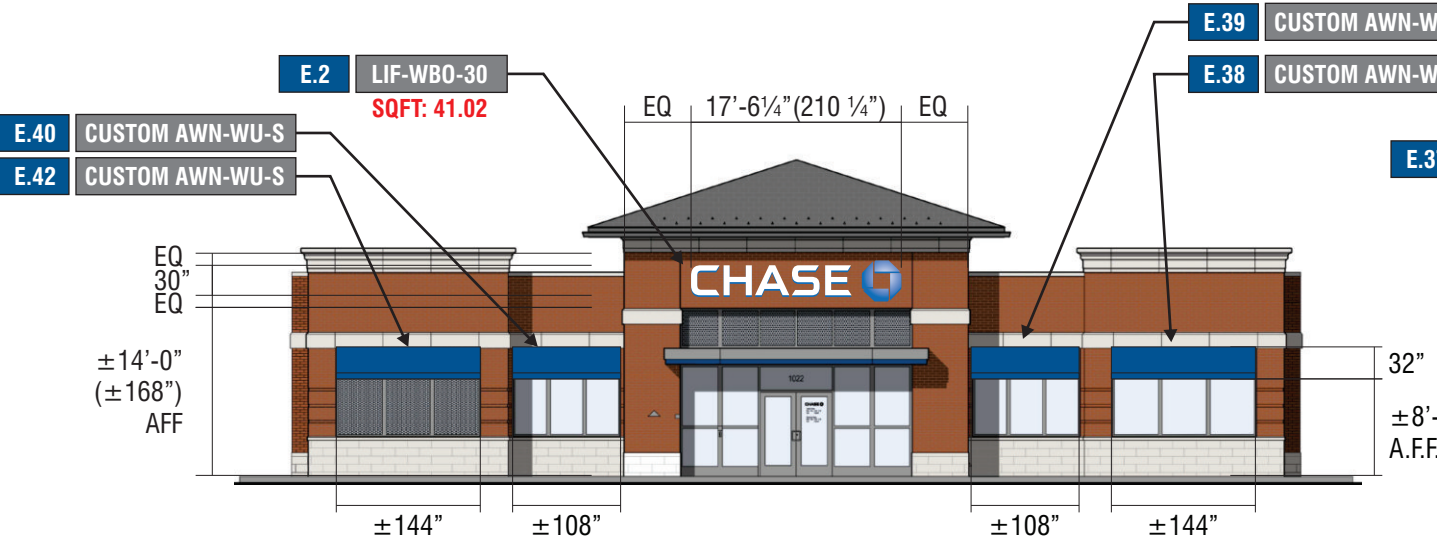
SIGNAGE OVERVIEW



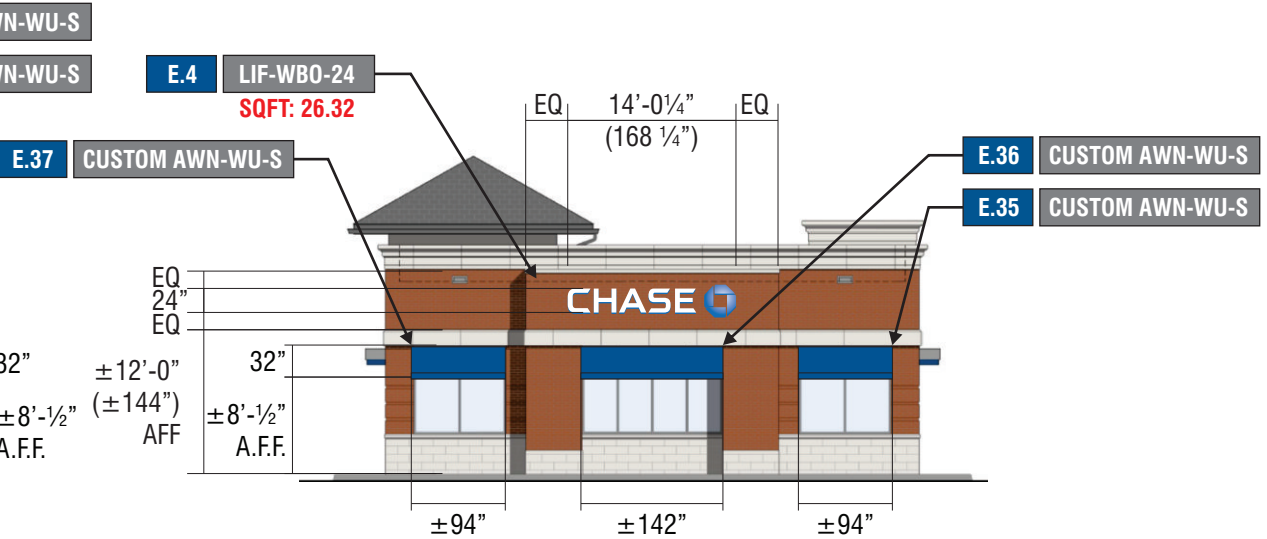
SOUTH ELEVATION SCALE: 1/16"=1'-0"



EAST ELEVATION SCALE: 1/16"=1'-0"



NORTH ELEVATION SCALE: 1/16"=1'-0"



WEST ELEVATION SCALE: 1/16"=1'-0"



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JP Morgan Chase Bank
#38200P315515

Wayzata
1022 Wayzata Blvd E.
Wayzata, MN 55391

Initial Date: 12/17/18
Salesperson: Arthur Navarro
Coordinator: Tracey Pichierri
Designer: Andrew Sena
Scale: As noted

CUSTOMER APPROVAL

Customer Signature _____ Date _____
COPY, COLORS & SIZES

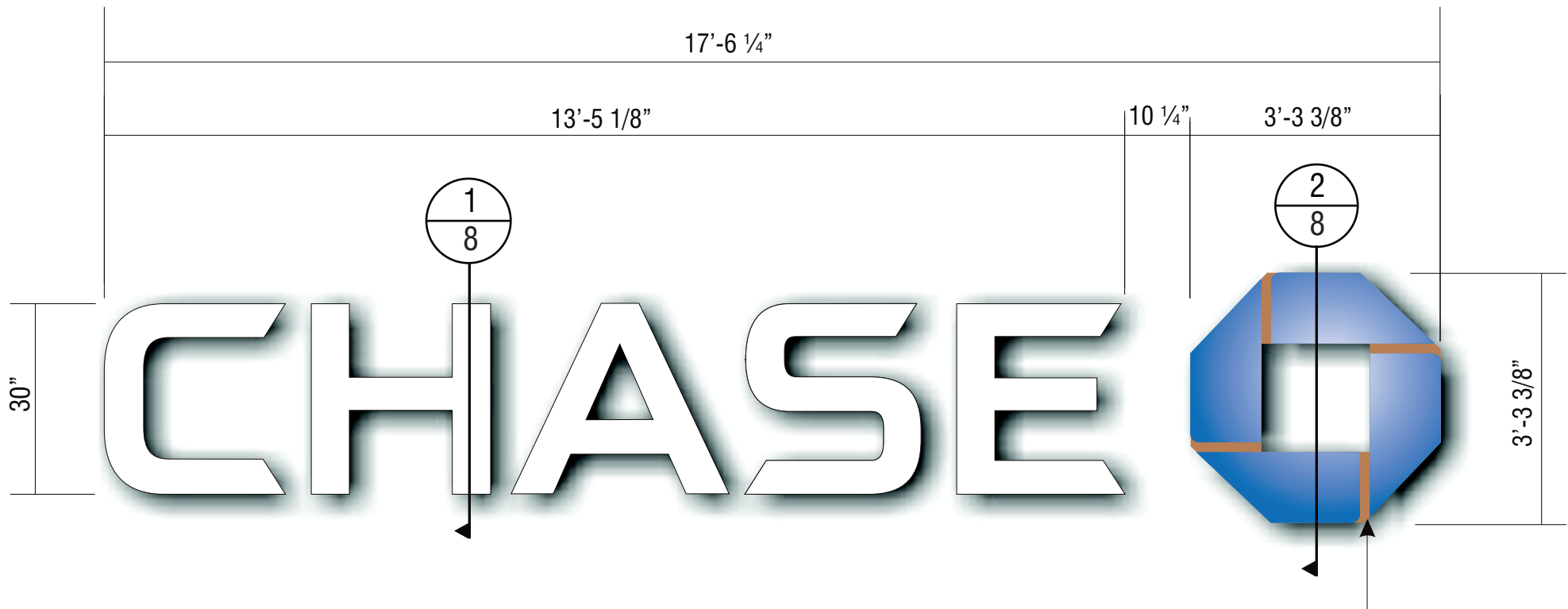
Signtech does NOT provide primary
electrical to sign location -
RESPONSIBILITY OF OTHERS!

Customer Signature _____ Date _____
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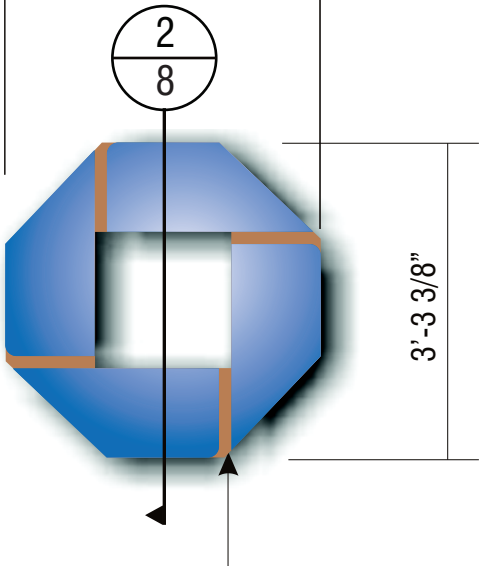
Drawing Number: 18-02197

Project ID: CHASE_38200P315515_1

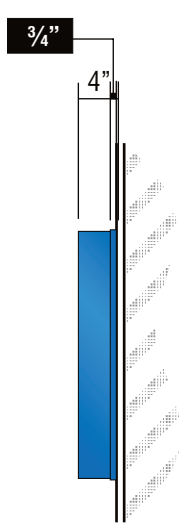
Exterior Elevations



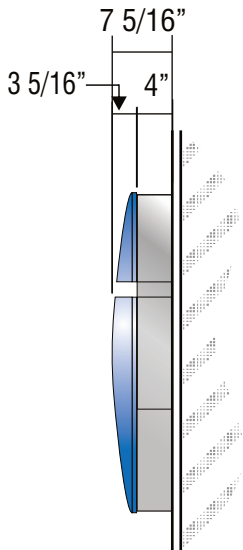
FRONT VIEW SCALE : 1/2" = 1'-0"



BRIDGE TO BE PAINTED TO MATCH WALL COLOR



ENDVIEW OF LETTER SCALE : 1/2" = 1'-0"



ENDVIEW OF LOGO SCALE : 1/2" = 1'-0"

E.2

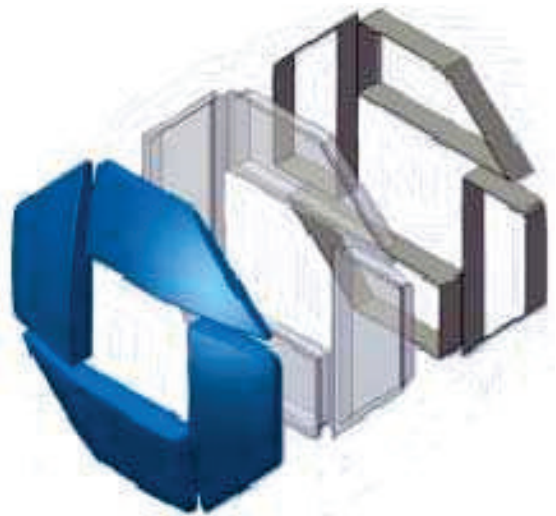
SIGN TYPE LIF-WBO-30

MANUFACTURE AND INSTALL ONE (1) SET OF INTERNALLY-ILLUMINATED CHANNEL LETTERS

LETTERS:
FACE: .177" ARISTECH #7328 P-95 WHITE PLEX (MATTE SIDE TO BE 1ST SURFACE) CHEM WELDED TO RETURNS
RETURNS: 0.118" x 4" DEEP ARISTECH #6046 BLUE WITH 3635-70 DIFFUSER VINYL ON 2ND (INTERIOR) SURFACE.
BACKS: .080" ALUM BACK WITH 3/4" x .080" OUTSIDE ALUM RETURN AND 1/2" x 1/8" ALUM ANGLE CLIPS ON INTERIOR OF LETTER FOR FACE ATTACHMENT
PAINT: EXTERIOR PAINTED MATTHEWS MP-00366 CHASE BLUE SEMI-GLOSS FINISH (60-70 UNITS) AND INTERIOR PAINTED SPRAY-LAT STAR BRITE WHITE LIGHT ENHANCEMENT PAINT.
ILLUMINATION: SLOAN PRISM 7100K #701269-7WSJ1-MB WHITE LEDs AND SLOAN POWER SUPPLY REQUIRED FOR PROPER EVEN ILLUMINATION.

LOGO:
BACKS: .080" ALUM BACK WITH STACK WELDED 4" x .080" ALUM RETURNS.
LOGO CAN FACE: .080" ALUM BRIDGE ELEMENTS WELDED TO INSIDE & OUTSIDE RETURNS
PLEX FACE: .118" THERMO FORMED ARISTECH #6046 BLUE LOGO ELEMENTS CHEM WELDED TO 3/4" CLEAR PLEX 2ND SURFACE FACES.
PAINT: EXTERIOR PAINT MATTHEWS "CHASE NICKEL" #MP-19891 GLOSS FINISH AND INTERIOR PAINTED SPRAY-LAT STAR BRITE WHITE LIGHT ENHANCEMENT PAINT.
ILLUMINATION: SLOAN PRISM #701269-BLSJ1-MB BLUE LEDs AND SLOAN POWER SUPPLY AS REQUIRED FOR PROPER EVEN ILLUMINATION

ELECTRICAL REQUIREMENTS FOR LED ILLUMINATION
As required by standard #2161 , Signtech Electrical Advertising, Inc., exclusively uses secondary Ground fault-Interrupted (GFI) transformers.
Each Sign MUST have: - A dedicated branch circuit
- Three wires : Line, Ground, and Neutral.
- Wire Size : Min 12 GA THHN Copper Wire.
NOTE: The gauge of the wire is dictated by the length of the run & amperage as per NEC Article 600.
- The ground wire must be continuous & go from the sign to the panelboard ground bus.



3D VIEW OF OCTAGON



Signtech™

4444 Federal Blvd. San Diego CA 92102
Phone: (619) 527-6100 / Fax: (619) 527-6111
signtech.com



JP Morgan Chase Bank
#38200P315515

Wayzata
1022 Wayzata Blvd E.
Wayzata, MN 55391

Initial Date: 12/17/18
Salesperson: Arthur Navarro
Coordinator: Tracey Pichierri
Designer: Andrew Sena
Scale: As noted

CUSTOMER APPROVAL

Customer Signature _____ Date _____
COPY, COLORS & SIZES

Signtech does NOT provide primary electrical to sign location -
RESPONSIBILITY OF OTHERS!

Customer Signature _____ Date _____
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Drawing Number: 18-02197

Project ID: CHASE_38200P315515_1

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	Comments	Compliance
Building Recesses		
<u>909.06.A.1 – All Districts</u> Building facades shall be articulated through the use of pilasters and/or recesses that create visible shadow lines and dimensions especially on the street level	The proposed building includes recesses and variation in building lines to create visible shadow lines and dimension, and to provide articulation of the building façade along Wayzata Blvd.	Yes
<u>909.06.A.2 – All Districts</u> Street level landscaped courtyards, outdoor seating areas and gathering areas shall be incorporated into building and site plan design.	The site plan include landscaping along the front of the building with trees and shrubs.	Yes
Building Width		
<u>909.07.A – New Buildings – All Districts</u> In order to reduce the scale of longer façades and to eliminate the long horizontal expressions of buildings, divisions or breaks in materials shall be included and at least three of the following design strategies shall be incorporated into the design: 1. Window bays 2. Special treatment at entrances 3. Variations in roof lines or parapet detailing 4. Awnings 5. Building setbacks or articulation of the facade 6. Rhythm of elements	The proposed building includes variations in roof lines, building setbacks and articulation, and a rhythm of elements.	Yes

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Upper Story Setbacks			
<u>909.08.A.1 – New Buildings – All Districts</u> Building height shall conform to the height of the applicable zoning district. Where three (3) story buildings are permitted, the third (3 rd) story must be recessed from all façades fronting public right of ways at least a distance equal to the vertical distance of the 3 rd story height from the second (2 nd) floor footprint, or an average of ten (10) feet across the facade, but no portion of the 3 rd story structure shall be closer than six (6) feet to the 2 nd story façade. The 3 rd story façade shall be designed with railings, pillars, dimensional windows, building recesses or other similar design techniques to break up the 3 rd story façade.		This section is not applicable as the proposed building is one story in height.	Not Applicable
<u>909.08.A.2 – New Buildings – All Districts</u> The façades fronting public right-of-ways of every two and three story building, longer than sixty (60) feet, must have a recessed second story of approximately twenty-five percent (25%) of the façade's length, setting back a minimum of six (6) feet from the face of the first floor façade. The required third floor setback must follow the frontal plane of the second story setback.		This section is not applicable as the proposed building is one story in height.	Not applicable
<u>909.08.A.3 – New Buildings – All Districts</u> Wintertime sun orientation, solar access, and views of Lake Minnetonka are significant issues within the Design Districts. Building height should not negatively and significantly impact neighboring properties.		The building height of the building is 21 feet to the top of the highest parapet and 26.3 feet to the top of the ridge of the partial hipped roof. The proposed building is less than the maximum height in the zoning district and meets all setback requirements.	Yes

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Roof Design			
<u>909.09.A – All Districts</u> “Green” roofs, roof garden terraces, arbors and other similar structures are encouraged on roofs of building.	The project does not include a green roof.		Not Applicable
<u>909.09.B.1 – Roof Materials – All Districts</u> The roof material for all sloped roofs in all districts shall be slate, untreated copper, pre-finished metal, cedar shake or asphalt shingle in dark colors.	The building includes both a flat roof and sloped roof. The sloped roof would consist of asphalt shingles in a dark color.		Yes
<u>909.09.B.2 – Roof Materials – All Districts</u> The roof material for all flat roofs in all districts shall be treated synthetic membrane or other similar material in dark colors.	The building includes both a flat roof and sloped roof. The flat roof would consist of a black synthetic membrane.		Yes
Screening of Rooftop Equipment			
<u>909.10.B – Wayzata Blvd District</u> All mechanical equipment shall be completely screened behind a parapet wall, so as not to be visible from adjacent properties and pedestrian view vantage points from adjacent sidewalks. No enclosure shall be larger than 25% of the roof area.	The mechanical equipment would be located on the roof deck and screened on all sides by the parapet walls.		Yes

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	Comments	Compliance
Facade Transparency		
<u>909.11.D – Wayzata Blvd District</u> No less than fifty percent (50%) of ground level façades for buildings containing commercial or office uses fronting Wayzata Blvd shall be transparent glass.	The building elevation along Wayzata Blvd would consist of only 27.9% transparent glass.	No. The applicant is requesting a design deviation.
Ground Level Expression		
<u>909.12 – All Districts</u> In multi-story buildings, the ground floor shall be distinguished from the floors above by the use of at least three of the following elements: 1. An intermediate cornice line 2. A difference in building materials or detailing 3. An offset in the façade 4. An awning, trellis, or loggia 5. Arcade 6. Special window lintels 7. Brick/stone corbels	This section is not applicable as the proposed building is one story in height.	Not Applicable
Entries		
<u>909.13 – All Districts</u> The front facade of all buildings shall be landscaped with window boxes or planters with seasonally appropriate plantings. The main entries shall face the primary street at sidewalk grade.	The front façade of the building includes landscaped planters. There is a main entry located on Wayzata Blvd at sidewalk grade.	Yes

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<u>909.14.A – Primary Opaque Surfaces – All Districts</u> Other than the accent materials listed in Section 909.14.G, ninety percent (90%) of the non-glass surfaces of each elevation of the exterior building façade shall be composed of one or more of the following materials: 1. Brick 2. Stone 3. Cast stone 4. Factory finished and certified wood, including, but not limited to: a. Wood shingles (cedar shingles six (6) inch maximum exposure) b. Lap-siding (six (6) inch maximum width) 5. Stucco		The exterior building materials consist entirely of brick and cast stone.	Yes
<u>909.14.B – Façade Coverage – All Districts</u> The primary opaque surface materials of all free standing buildings must be the same on all facades of the building.		The same materials – brick and cast stone – are used on all four sides of the building.	Yes
<u>909.14.C – Type of Brick – All Districts</u> On all facades of a free-standing building where brick is used, full course modular, Roman, Norman or other standard size brick must be used.		The proposed brick will be a modular size.	Yes

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<u>909.14.D – Façade Detail – All Districts</u> 1. Brick and/or stone façades shall be well detailed and dimensionally designed in order to avoid fractional cuts and odd pieces. All outside brick corners must be full bricks (custom if necessary), with no mitering, forming continuous vertical joints. 2. The narrow face of an exposed stone butt joint, at corners, must be a minimum dimension of two (2) inches. Mitered and quirked stone corners are also acceptable.		Final construction documents will be dimensioned to avoid as much as possible fractional cuts of brick. All outside corners will be laid using full bricks; mitering will not be allowed. The minimum size/thickness of the cast stone will be 2 inches.	Yes
<u>909.14.E – Brick Joints – All Districts</u> 1. The mortar for brick must be dark grey or in the color range of the brick. All joints must be concave or 'v' joint. No mortar may be used beyond the face of the brick. 2. All brick walls must be built to avoid efflorescence		The proposed brick mortar color will be dark grey, and all mortar joints will be struck concave.	Yes
<u>909.14.F – Stone Joints – All Districts</u> Stone joints shall be no larger than one-fourth (1/4) inch.		The joints for the cast stone will be 1/4" thick.	Yes

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<u>909.14.G – Accent Materials – All Districts</u> Only the following materials may be used for lintels, sills, cornices, bases, and decorative accent trims, and must be no more than 10 percent (10%) of the non-glass surfaces of each elevation of the exterior building façade: 1. Stone 2. Cast stone 3. Copper (untreated) 4. Rock faced stone 5. Aluminum or painted steel structural shapes 6. Fiber cement board 7. Premium grade wood trim with mitered outside corners. Examples of premium grade wood are cedar, redwood, and fir. 8. EIFS	The accent material used for the base, window sills, and accent trim is cast stone.	Yes
<u>909.14.H - Parapets, Flashing, Coping – All Districts</u> 1. Only the following materials may be used for parapets, flashing and coping: a. copper (untreated) b. brick c. stone d. cast stone e. premium grade wood. 2. Pre-finished, painted .032 aluminum may only be used as a standard parapet coping with a maximum exposed edge of five (5) inches.	The parapet walls would be constructed of brick and cast stone.	Yes

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<u>909.14.I – Awnings – All Districts</u> 1. Only the following types of awnings may be used: a. Fabric awnings of a heavy canvas in dark solid colors or other colors that are approved as part of the design review process b. Highly detailed, ornate metal in dark colors c. Glass awnings 2. Backlit awnings are prohibited. 3. Awnings with text or graphic material may be permitted but require approval via the sign permit process of the Zoning Ordinance.	The proposed building includes blue awnings on the north and south elevations that are made of heavy canvas.	Yes
<u>909.14.J – Balconies – All Districts</u> Balconies shall be accessible and useable by persons. Fake or unusable balconies are prohibited. All balconies shall remain within the property line. Metal railings with members painted dark, or glass panels are permitted.	The proposed building does not include balconies.	Not Applicable
<u>909.14.K – Glass – All Districts</u> Glass shall not be mirrored, reflective or darkened. Slight green, bronze and grey tints are acceptable. Spandrel glass shall not be counted as transparent glass for the purposes of calculations under the transparency requirements of Section 909.11 of the Standards, but may be used for detailing purposes. Environmentally appropriate glass, such as Low-emissivity glass, shall be used in all projects	The proposed glass would not be mirrored, reflective or darkened. There is spandrel glass along Wayzata Blvd that is not included in the transparency calculation.	Yes

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<u>909.14.L – Doors – All Districts</u> Unless there are building security concerns, main entry doors shall be primarily glass. If, for security reasons, a main entry door is not possible or practical, a main entry door must be well detailed. Appropriately designed wood doors may be utilized for retail and office buildings.	The proposed entry doors would be glass.	Yes
	Comments	Compliance
Franchise Architecture		
<u>909.15 – All Districts</u> A. Typical or standardized franchise architecture (including building design that is the trade dress of, or identified with a particular chain, franchise or business and is repetitive in nature) is prohibited. B. Large, bold or bright signage, trade dress or logos must be altered and scaled down to meet the purpose of these standards as articulated herein, and must not be repeated on the facades of the principal structure more than once. All new, altered and/or proposed signage for buildings must be submitted for review under Section 909.22 by the Planning Commission at the time of Design Standards Review application	The building does not include standardized franchise architecture.	Not Applicable

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Walkways				
<u>909.16.C – Wayzata Blvd District</u> - Continuous sidewalks at least five feet in width shall be provided along Wayzata Boulevard. - Lighted sidewalks shall extend between rear or side parking areas and building entrances		There is an existing five-foot wide sidewalk along Wayzata Blvd that would be retained. There would be a sidewalk to connect the building entrances to the rear parking lot. The sidewalk would be lit by building and site lighting.		Yes

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	Comments	Compliance
Landscaping		
<u>909.17.A – All Districts</u>		
A. Seasonal landscaping shall be used in all Design Districts, including use of window boxes, hanging flowers baskets, vines and/or other similar seasonal landscaping. If feasible, garden areas and ornamental trees shall be used at the street level. B. Window boxes, hanging baskets and planters with seasonally appropriate plantings shall be used around entries to buildings. C. Vines shall be used to cover walls with more than one hundred (100) square feet of uninterrupted surface area. D. Streetscaping shall include all of the following: 1. Boulevard species trees, with at least three (3) caliper inches. 2. Exposed aggregate sidewalks with brick accents 3. Street lights 4. Benches (if building length is 50 feet or greater), which utilize existing city bench designs. 5. Flowers	The proposed plans include landscape planters along the front of the building and the rear of the property. The existing five-foot sidewalk along Wayzata Blvd would be retained, and 3-inch caliper trees would be planted along the front of the building.	Yes
<u>909.17.C – Bluff and Wayzata Blvd Districts</u>		
Trees with a minimum of three (3) caliper inches shall be planted no more than twenty-six (26) feet apart within a landscaped boulevard.	The proposed landscape plan includes five 3-inch caliper trees – Princeton Sentry Ginkgos – along the Wayzata Blvd sidewalk.	Yes

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	Comments	Compliance
Parking Lot Landscaping		
<u>909.18 – All Districts</u> A landscaped buffer strip at least five (5) feet wide shall be provided between all parking areas and the sidewalk or street. The buffer strip shall consist of shade trees appropriately spaced for the particular Design District, and a decorative metal fence, masonry wall or hedge. A solid wall or dense hedge shall be no less than three (3) feet and no more than four (4) feet in height.	The proposed plans do not include any front yard or side yard parking.	Not Applicable
Surface Parking		
<u>909.19 – All Districts</u> A. Off-street parking shall be located to the rear of buildings. When parking must be located in a side yard adjacent to the street, a landscaped buffer shall be provided in accordance with the Design Standards. The street frontage occupied by parking shall not exceed sixty (60) feet per property. B. Side-by-side parking lots creating a parking area frontage longer than sixty (60) feet are prohibited, except where a heavily landscaped buffer of at least twenty (20) feet wide completely separates both lots. C. Side yard parking shall not extend beyond the front yard setback of the primary building on the property. D. Front yard parking is prohibited. E. There shall be no corner parking.	The proposed parking area is located behind the building on the rear of the property.	Yes

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		Comments	Compliance
<u>909.20 – All Districts – Bicycle Parking</u> Commercial developments requiring more than twenty (20) parking spaces shall provide at least four (4) bicycle parking spaces in a convenient, visible, preferably sheltered location.		The 3,500 square foot building requires 10 on-site parking stalls, and 15 are provided in the off-street parking lot.	Not Applicable

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Parking Structures		
<u>909.21.A – All Districts</u> Parking structures shall meet the following standards, along with all other applicable building code standards: 1. The ground floor façade abutting any public street or walkway shall be architecturally compatible with surrounding commercial or office buildings. 2. The parking structure shall be designed in such a way that sloped floors do not dominate the appearance of the façade. 3. Windows or openings shall be similar to those of surrounding buildings. 4. Vines and other significant landscaping shall be used to minimize the visual impact of the parking structure.	The proposed plans do not include a parking structure.	Not Applicable

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	Comments	Compliance
Signs		
<u>909.22.A – All Districts – Compatibility</u> 1. Signs shall be architecturally compatible with the style, composition, materials, colors and details of the building, and with other signs on nearby buildings. Signs shall be an integral part of the building and site design. 2. A sign plan shall be developed for buildings which house more than one (1) business. Signs need not match, but shall be compatible with one another. Franchise or national chains must comply with these Sign Standards to create signs compatible with their context. 3. When illuminated signs are proposed, only the text and/or logo portion of the sign may be illuminated. Illuminated signs must be compatible with the location. Illumination of the sign to highlight architectural details is permitted. Fixtures shall be small, shielded, and directed towards the sign rather than toward the street, so as to minimize glare for pedestrians and adjacent properties. 4. Sign plans must be submitted for review as part of an Applicant for Design Approval. Proposed signs must also conform to the requirements of Chapter 927 of the Wayzata Zoning Ordinance.	The proposed plans include four exterior wall signs, a monument sign, and directional parking and circulation signs. The signs are architecturally compatible with the materials and colors of the building and are consistent with signs on nearby buildings. The proposed building would contain signage for only one tenant.	Yes
<u>909.22.B – All Districts – Sign Location</u> 1. Wall signs on a storefront-type building shall be placed between the first and second floors of a building.	The proposed building is one story in height and roof signs are not proposed.	Not Applicable

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2. Wall or roof signs on buildings that are not storefront type buildings shall be placed where they do not obscure architectural features.			
<u>909.22.C – All Districts – Sign Material</u> 1. The material of which signs are constructed shall be consistent and compatible with the original construction materials and architectural style of the building facade on which the signs are affixed. 2. Material, such as wood and metal, shall be used, as appropriate, for the sign location. 3. Neon signs may only be used for windows.		The materials are consistent with the brick and stone building materials.	Yes
Permitted Signs			
<u>909.23.B - Wayzata Boulevard District</u> Only the following types of signs are permitted in the Wayzata Boulevard District: 1. Wall or awning signs. 2. Free-standing signs. 3. Monument or ground signs. Low-profile ground signs or monument signs are required for highway-oriented commercial uses such as restaurants and gas stations. Sign materials, colors and architectural detailing shall be similar to those of the principal building. External illumination of signs is permitted.		The proposed plans include four wall signs and a low profile monument sign.	Yes

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	Comments	Compliance
Parking Lot and Building Lighting		
<u>909.24 – All Districts</u>		
A. Parking lot lighting shall be designed in such a way as to be in scale with its surroundings, and reduce glare. B. Cutoff fixtures shall be located below the mature height of trees located in parking lot islands so as to minimize ambient glow and light pollution. C. Pedestrian-scale lighting, not exceeding thirteen (13) feet in height, shall be located on walkways and adjacent to store entrances. All sidewalk lighting must be projected downwards. City light standard shall be followed for all public streets. D. Light posts shall be of a dark color. E. Lighting fixtures shall be compatible with the architecture of the building. F. Lights attached to buildings shall be screened by the building's architectural features to eliminate glare to adjacent properties. All façade lighting must be projected downwards. G. All lighting fixtures shall comply with City Code Section 916.06 as it relates to glare.	All lighting fixtures attached to the building and within the parking lot are designed with downcast fixtures, and the illumination levels comply with the standards in City Code Section 916.06.	Yes

Jeff Thomson

From: Gordy Straka [REDACTED]
Sent: Monday, February 18, 2019 11:56 AM
To: Jeff Thomson
Subject: Chase Bank

Wayzata Planning Commission:

I had a chance to review the development application and plans for the proposed Chase Bank to replace the gas station located at 1022 Wayzata Blvd.

The proposed bank will be a good replacement for a building that has reached the end of its useful life but I do have some concerns and questions that should be addressed as the city considers the development application.

1. Orientation and Location of New Bank Building

The plans I reviewed show the new bank building situated on Wayzata Blvd. with parking, ATM access, and drive up banking in the rear, closest to the residential neighborhood. I wonder if it would make more sense to have the building itself be situated further away from Wayzata Blvd as to keep the vehicle activity to the front of the building, away from the residential neighborhoods. This design would be similar to the US Bank located at 1212 Wayzata Blvd.

In conjunction with a fence and landscaping screening, having the bank structure set towards the rear of the lot with the parking in the front closest to Wayzata Blvd. would provide built-in screening of the light and noise, so long as there were no bright perimeter lights on the back of the building.

2. Screening & Landscaping

The plans do not include a wall, fence, or landscape screening of any type on the southern property line closest to the neighborhood. A 6- or 8-foot fence should be a requirement of the development application and every attempt should be made to screen the lot from the adjacent residential lots. A fence is needed to help screen the light generated by the additional LED lights proposed in the development application. A fence will also provide a sound barrier for noise coming off Wayzata boulevard. The landscape screening should be on the neighborhood side of the fence and should include mature arborvitae and/or other evergreens.

3. ATM/ Drive Thru Window

The proposed drive thru structure at the rear of the lot is in the most visible location to the surrounding residential homes. The properties at 130, 138, and 144 Huntington Ave S as well as 117 and 127 Central Ave would have a clear view of the drive thru structure if they are built in the proposed location. We request that the developer explore the possibility of moving the drive thru structure further west and/or north on the lot or incorporating/attaching the drive thru into the design of the main bank building.

The plans show two drive thru lanes and one ATM, so I think clarification is needed as to the number of proposed ATM's and whether the second lane would be for an ATM, or a pneumatic tube system for drive up teller service.

4. Buffer Lot

The 1022 Wayzata Blvd lot is comprised of two lots. The main lot (north) is zoned C-3. The smaller 'buffer lot' (south) is zoned R-3A. The setback for the drive thru lanes is calculated at 34.33 feet from the southern edge of the R-3A lot and not the southern edge of the C-3 zoned lot. This would mean that the proposed drive thru lane and canopied ATM structure would be built with ZERO setback from the residentially zoned lots that surround it.

The upkeep and maintenance of this buffer lot should be required as part of the redevelopment plan. The maintenance and upkeep provision should specifically include the replanting of dead trees or shrubs with like sized replacements.

5. Lights & Signs

Light pollution created by the proposed LED lights that would be installed as part of the redevelopment of this property are a big concern. The plans show two light poles sitting directly on the southern property line. Regardless of how they're screened or aimed lights on poles will certainly be visible from the surrounding residential lots. The lights on the southern 1/3rd of the property should be as low as possible to accomplish their task, and the lights on the property line should be no higher than the 6-8-foot fence.

I also think it would make sense to limit the size and style of any lit signs that don't directly face Wayzata Blvd. We get a nice red glow from the Edina Realty signs on the neighboring building, and I don't think we want more of this.

6. Location of Dumpster

The application does not specifically call out the location of the dumpsters on the property. We'd like to see this as far away from the southern side of the property as we know firsthand how loud the trash trucks are when they collect the trash from the rear Edina Realty building at 3:30 in the morning.

Gordy Straka
130 Huntington Ave
Wayzata, MN. 55391



Sent from [Mail](#) for Windows 10