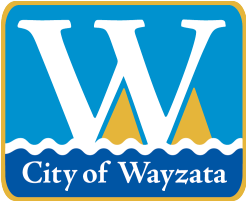


WAYZATA PLANNING COMMISSION

Meeting Agenda

Click [HERE](#) to join the Zoom meeting.

Pursuant to Minnesota Statute Sec. 13D.015, and the Executive Orders and Emergency Declarations related to the COVID19 pandemic, this Planning Commission meeting is being conducted by electronic means using the audio and video conferencing platform, Zoom. Members of the public may watch and listen to the meeting by logging into Zoom, or by calling 312-626-6799 on a phone, and entering **Zoom Meeting ID 938 3303 1282** and **Passcode 373810**. The meeting will also be shown on Channel 8, WCTV, and streamed on the City's website at www.wayzata.org/WCTV.



To speak during the Public Forum and/or Public Hearing portions of the meeting you can use Zoom or a phone. When using Zoom, indicate you'd like to speak by using Zoom's "raise hand" function. When using a phone, press *9. In each case, you will be muted until you have been recognized and invited to speak. The City encourages comments or questions about items on the agenda and, when possible, requests that you submit them in advance by emailing **PublicComment@wayzata.org**, calling City staff at 952-404-5313, or mailing Wayzata City Hall at 600 Rice St E, Wayzata, MN 55391 (Attn: Public Comment).

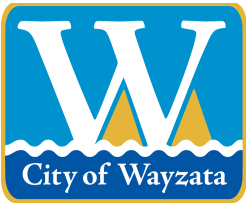
Monday, April 5, 2021
6:30 PM

1. **Call to Order**
2. **Roll Call**
3. **Approval of Agenda**
4. **Consent Agenda**
 - a. Approval of March 15, 2021 Meeting Minutes
 - b. Approval of March 15, 2021 Special Meeting Minutes
5. **Public Hearing Items**
 - a. Consider Zoning Ordinance Amendment to Update Chapter 909 - Design Standards
6. **Other Items**
 - a. Review of Development Activities
 - b. Planning Commissioner Liaison Schedule and City Meeting Calendar
7. **Adjournment**

Upcoming Meetings:

City Council - April 6, 2021
Planning Commission - April 19, 2021

Members of the Planning Commission and some staff members may gather at the Wayzata Bar and Grill immediately after the meeting for a purely social event. All members of the public are welcome.



City of Wayzata Planning Commission Agenda Report

MEETING DATE: April 5, 2021	AGENDA ITEM: 4.a
TITLE: Approval of March 15, 2021 Meeting Minutes	
PREPARED BY: Nick Kieser, Assistant Planner	
REVIEWED BY: Emily Goellner, Community Development Director	
60 DAY DEADLINE: N/A	

BACKGROUND:

N/A

ACTION REQUESTED:

Staff recommends approval of the draft minutes for the March 15, 2021 Planning Commission meeting.

ATTACHMENTS:

1. Draft PC Minutes - March 15

**WAYZATA PLANNING COMMISSION
MEETING MINUTES
MARCH 15, 2021**

AGENDA ITEM 1. Call to Order

Chair Plantan called the meeting to order at 6:30 p.m.

Chair Plantan read a prepared statement:

Pursuant to Minnesota Statute Sec 13D.015 and because of the COVID-19 pandemic, this Planning Commission Meeting is being held remotely by electronic means using the audio and video conferencing platform, Zoom. Members of the Commission, City staff, and others that are a part of the meeting will be participating by video or audio connections where we can all hear each other and see the presentations being made. We have a public forum and public hearing this evening on the agenda. If you'd like to speak during these portions of the meeting you may call 1-(312) 626-6799, enter the Zoom meeting ID 98793501838, and press 9 to speak. Callers will be placed on hold and muted until the appropriate time of the meeting is reached. At that time, each caller will be recognized in turn, and invited to speak. Public comments continue to be welcomed and encouraged and we ask if possible, that comments of future agenda items be submitted in advance by emailing PublicComment@wayzata.org. Please include "public comments" in the subject line, your name and address, and the agenda item that you are speaking to. Comments can also be submitted by calling City staff or mailing comments to Wayzata City Hall at 600 Rice St E, Wayzata, MN 55391 (Attn: Public Comments). The meeting will be shown on Channel 8, WCTV, and streamed on the City's website at www.wayzata.org/wctv.

AGENDA ITEM 2. Roll Call

Chair Plantan asked Director Goellner to take roll call.

Present at roll call were Commissioners: Plantan, Douglas, Parkhill, Stockton, and Bashioum (arrived at 6:37 p.m.). Community Development Director Emily Goellner, Assistant Planner Nick Kieser, and City Attorney David Schelzel were also present.

AGENDA ITEM 3. Approval of Agenda

Chair Plantan asked for a motion to approve the agenda for the meeting.

Commissioner Douglas made a motion, seconded by Commissioner Stockton to approve the March 15, 2021 agenda as presented.

Director Goellner completed a roll call vote on the motion. The motion carried unanimously.

AGENDA ITEM 4. Consent Agenda

a.) Approval of the March 1, 2021 Planning Commission Meeting Minutes

b.) Planning Commission Report and Recommendation for a Preliminary and Final Plat for Harrington Estate at 522 and 530 Harrington Road

Chair Plantan read the items on the consent agenda and asked if any Commissioner wished to pull an item for further discussion.

Chair Plantan asked for a motion to approve the Consent Agenda as presented.

Commissioner Parkhill made a motion, seconded by Commissioner Douglas to approve the Consent Agenda as presented.

Director Goellner completed a roll call vote on the motion. The motion carried unanimously.

AGENDA ITEM 5. Other Items:

a) Review of Development Activities

Assistant Planner, Nick Kieser stated that he believes there will be an update on the Panoway project at the next meeting. He noted that there are no other new development applications that will be on the next agenda.

b) Planning Commission Liaison Schedule and City Meeting Calendar

AGENDA ITEM 6. Adjournment.

There being no further business on the agenda, Chair Plantan asked for a motion to adjourn.

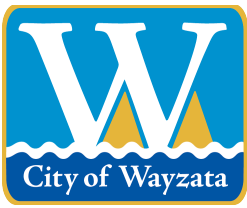
Commissioner Stockton made a motion, seconded by Commissioner Douglas to adjourn the Planning Commission meeting.

Commissioner Bashioum joined the meeting at 6:37 p.m.

Director Goellner completed a roll call vote on the motion. The motion carried unanimously.

The Planning Commission meeting was adjourned at 6:38 p.m.

Respectfully submitted,
Kayla Atkins Rokosz
TimeSaver Off Site Secretarial, Inc.



City of Wayzata Planning Commission Agenda Report

MEETING DATE: April 5, 2021	AGENDA ITEM: 4.b
TITLE: Approval of March 15, 2021 Special Meeting Minutes	
PREPARED BY: Nick Kieser, Assistant Planner	
REVIEWED BY: Emily Goellner, Community Development Director	
60 DAY DEADLINE: N/A	

BACKGROUND:

N/A

ACTION REQUESTED:

Staff recommends approval of the draft minutes for the March 15, 2021 Special Planning Commission meeting.

ATTACHMENTS:

1. Draft Special Meeting Minutes - March 15, 2021

**WAYZATA PLANNING COMMISSION
SPECIAL WORKSHOP MEETING MINUTES
MARCH 15, 2021**

AGENDA ITEM 1. Call to Order

Chair Plantan called the meeting to order at 6:40 p.m.

Chair Plantan read a prepared statement:

Pursuant to Minnesota Statute Sec 13D.015 and because of the COVID-19 pandemic, this Planning Commission Meeting is being held remotely by electronic means using the audio and video conferencing platform, Zoom. Members of the Commission, City staff, and others that are a part of the meeting will be participating by video or audio connections where we can all hear each other and see the presentations being made. If you'd like to speak during these portions of the meeting you may call 1-(312) 626-6799, enter the Zoom meeting ID 98793501838.

AGENDA ITEM 2. Roll Call

Chair Plantan asked Director Goellner to take roll call.

Present at roll call were Commissioners: Plantan, Douglas, Parkhill, Stockton, and Bashioum. Community Development Director Emily Goellner, Assistant Planner Nick Kieser, and City Attorney David Schelzel were also present.

AGENDA ITEM 3. Approval of Agenda

Chair Plantan asked for a motion to approve the agenda for the meeting.

Commissioner Stockton made a motion, seconded by Commissioner Bashioum to approve the March 15, 2021 agenda as presented.

Director Goellner completed a roll call vote on the motion. The motion carried unanimously.

Director Goellner noted that she believed that Commissioner Flannigan was still planning to join the meeting this evening, but noted that Commission Merriam would not but had provided some written comments on the information.

AGENDA ITEM 4. New Business Items

a.) Zoning Study Update and Discussion

Director Goellner stated that after her presentation, she would like to begin by getting all the questions that the Commission may have out in the open. She stated that staff will not attempt to answer all the questions right away, but would like to understand what the questions are before moving forward. She stated that once the questions are out in the open, they can decide whether

1 there are some that can be answered immediately, or if there is a general theme or concern and
2 what the next steps should be. She asked that the Commission discussion not focus on any specific
3 parcels, but instead stay focused on the big picture. She noted that in the packet she included a
4 portion of the 2040 Comprehensive Plan and noted that the Land Use chapter really belongs to the
5 Commission. She gave a brief presentation of the Zoning Study and noted that it outlines a
6 community vision, policy goals, and the land use map. She noted that one of the things that stands
7 out to her on the land use map is the Mixed-Use category. She noted that in her time at the City
8 she has had developers come in and have the assumption that they can do the maximum office
9 density and the maximum residential, so much of their communication is that this is really a mixing
10 of uses that gets you to a maximum density for the whole site. She stated that the development
11 pressure in the City is very strong but there is also a guiding plan that talks a lot of about small-
12 town character and historic charm. She stated that she expects the development pressure will
13 remain and that there will continue to be proposals that will require trade-offs and flexibility. She
14 stated that she has been hearing questions and concerns about how much density is being allowed
15 in the Land Use plan, particularly in the Lake Street and Wayzata Boulevard corridors. She
16 reviewed the 2040 Comprehensive Plan – Land Use Map and the density guidance within this
17 section. She noted that she would like there to be some consideration and discussion of articulating
18 and defining when and why the City would consider up to 30 units/acre and when the City will not
19 consider it. She noted that in Commissioner Merriam's notes, she stated that there should be a bit
20 of a difference in density because you don't think of Wayzata Boulevard as all the same thing from
21 start to finish and there are different sections of the roadway that should be considered differently.
22 She stated that the other district that the Planning Commission will spend time talking about is the
23 Central Business District. She stated that over time there has been controversy surrounding the
24 amount of density that has been approved in these locations and there needs to be discussion about
25 whether the City is comfortable with that.

26
27 Director Goellner stated that the Zoning Study is a multi-year project and suggested that the
28 Planning Commission check out the Strategic Plan. She noted that one of the big things in the
29 Strategic Plan is managing thoughtful development so the Planning Commission is charged with
30 a very key initiative to the Council. One of the ways they thought the City should be managing
31 thoughtful development was by updating the Zoning Code, which will be a fairly extensive project.
32 She stated that the Task Force has begun the initial work and it has been going really well so far.
33 She noted that a public hearing will be held for any code changes. She stated that while she and
34 Planner Kieser continue to manage these projects, when deeper technical experience is required,
35 they will bring in consultants when necessary. She gave the example of design standards where
36 they needed to bring in an architect. She stated that the City has been working on design standards
37 for about 8 months and noted that there will be two public hearings held in April with the Planning
38 Commission and be ready for Council review in May. She shared examples of how the architect
39 has been able to nail down what the City means by small-town charm when it comes to
40 architectural features.

41
42 Director Goellner explained that the Wayzata Boulevard Corridor Study was delayed due to Covid-
43 19 and will be launching later this year. She stated that this project came straight out of the
44 strategic planning process and one of the ideas shared by the Council was to build a vision for the
45 corridor by involving the community, understanding the roadway and redevelopment concepts,
46 and the need for both market and traffic studies.

1
2 Director Goellner reiterated that she would like the Planning Commission to share all of their
3 questions and focus on the big picture at this meeting.
4

5 Chair Plantan stated that she had the same question as Commissioner Merriam had raised about
6 whether the Wayzata Boulevard corridor could be split up into different sections in order to protect
7 the more residential areas.
8

9 Commissioner Douglas stated that she would agree and noted that on the previous task force, they
10 had purposely made Wayzata Boulevard into a boulevard because of the more residential feel to
11 help slow down the traffic and make it a true boulevard. She stated that she thinks these ideas
12 were started in the previous Comprehensive Plan. She stated that her question deals with transition.
13 She stated that when the Boatworks project came up, they were right between transitioning from
14 the old to the new Comprehensive Plan and stated that it is hard as a Planning Commissioner to
15 make decisions because legally the Comprehensive Plan needs to be followed. She stated that she
16 would like more discussion regarding when the old plan should be followed and when the new
17 plan should be followed. She stated that the Commission is under a lot of pressure and there are
18 developers that want to get on the agenda and with the upcoming design standard topic, they are
19 looking at major changes. She stated that she is concerned and asked if the City could put a halt
20 on projects and implement, for example, a 90-day moratorium until the new design standards have
21 been approved.
22

23 Commissioner Stockton stated that this concern was also raised on the Zoning Task Force because
24 there has been a lot of work put into the design standards.
25

26 Commissioner Parkhill asked what is driving the increase in density and questioned why it was
27 needed.
28

29 Commissioner Douglas stated that she would also have that question.
30

31 Commissioner Bashium stated that when the Planning Commission was originally looking at the
32 Comprehensive Plan and it was noted that the Met Council was driving the increase in density.
33 She stated that she thought there was a lot of push back from the Planning Commission about that
34 density because they didn't want this to be dictated by the Met Council. When the Planning
35 Commission finally saw the draft that the Met Council approved, she was surprised that there was
36 still such a push for density included. She stated that her question would be the same as
37 Commissioners Parkhill and Douglas about why there is a push for an increase in density. She
38 asked if the City was at the behest of the Met Council to increase the density or is it somewhat
39 under Planning and ultimately the City Council's decision.
40

41 Commissioner Stockton stated that she had read some of Commissioner Merriam's comments
42 which spurred some thoughts. She stated that there are times when the Commission is looking at,
43 a condominium development versus a townhome development. She noted that because the
44 Comprehensive Plan indicates overwhelmingly that the City would like to have a variety of age
45 groups and people, the result was that condominiums or multi-unit complexes were being used by
46 empty nesters rather than younger families. She stated that this made her think about the dynamics

1 of Wayzata with a bigger picture and what drives the economics of the available residences. She
2 stated that Wayzata is a prime location and it is limited because it is on water with outstanding
3 beauty. She stated that those two factors make price points go up no matter what is built. She
4 asked what the target price point would be and what that would look like aesthetically in order to
5 drive the population growth and demographics that the town is looking for. She stated that she
6 raises this question because she wonders if those two lines don't cross even though the City is
7 trying to get them to meet. She explained that it is more a statement than a question, and reiterated
8 that because of the happenstance circumstances of the way Wayzata is and its containment due to
9 the water, the highway, and beautiful waterfront, she questions what is actually possible with
10 regard to driving down living costs and what that would look like for a developer.

11
12 Commissioner Parkhill stated that those are great points and suggested that the Commission
13 needed to figure out whether there has been research done in this area. He stated that if the City
14 wants to attract young families or people who will live here 12 months out of the year, he would
15 like to know what is their price point and what type of living situation are they looking for. He
16 stated that he would like to see some information that outlines what would draw whomever the
17 City would like to be in the City to the City. He stated that if the City can create a target then it
18 has something to shoot for. He stated that he has heard that the Blake School Highcroft campus is
19 closing and asked if that is a place that should be part of a re-zoning conversation because that will
20 be a large plot of land.

21
22 Commissioner Douglas stated that the long-standing question has been how does the City get
23 younger families. She stated that Wayzata is not a first home type of community and it never will
24 be. She stated that she thinks that the real situation needs to be dealt with and the City is not in
25 the position to subsidize development. She stated that she would like to know if the plan is realistic
26 for what the City is trying to do. She noted that the City has also run into this issue with affordable
27 housing. She stated that the City meets the standard in rental, but will probably never meet it in
28 single-family residential.

29
30 Commissioner Bashium stated that she would like to dovetail along with Commissioner Douglas.
31 She stated that she is not sure it is the Commission's responsibility to try to figure out how the
32 City can be a first home location for families. She noted that land values are high, so if someone
33 is planning to build something, it raises the cost for building. She stated that Wayzata is a coveted
34 location because it is beautiful and has good schools. She gave the example of just because
35 someone may want to live in Beverly Hills does not mean that Beverly Hills has to make it
36 possible. She asked if the City was trying to fit a square peg into a round hole and reiterated that
37 she questions if that is the Commission's responsibility.

38
39 Commissioner Stockton stated that she would agree with the over-arching commentary. She stated
40 that a potential solution that she observed abroad in London is that there is a requirement from
41 developers, when building even the most architecturally significant buildings, that they are
42 required to have a certain a percentage of the development to be dedicated to smaller units. She
43 stated that she is not sure if that would address the desire for new families but noted that one idea
44 is in some of the areas of town that a portion of whatever is being built is not done to the same
45 standard so they are more affordable.

1 Commissioner Douglas stated that before Commissioner Stockton came to the City, when the
2 Promenade was built, Press Homes had to put in a certain amount of money towards an affordable
3 housing unit, but that was a large project. She stated that it would be more difficult with a condo
4 project that only had 20 units. She explained that just north of Walgreens on Wayzata Boulevard,
5 when the bank was being torn down, the people who owned the property wanted to put in
6 townhomes there because it was close to the bus line, was walkable to the grocery store, and would
7 be something that could be affordable for work force workers, however, they could not make it
8 work financially. She stated that she just wanted to share some of the history of this type of thing
9 so when the Commission is traveling down this road the focus can be on the positive things that
10 they do and realize that the City cannot be all things.

11
12 Commissioner Parkhill stated that one of the things to consider is whether somebody would want
13 the 20 units/acre and the discussion has been on how to figure out when that should be allowed.
14 He noted that one of the things could be that if they are willing to do some affordable housing
15 within their units and make them look the same on the outside, with the same architecture, but
16 could perhaps have a different appliance package. He noted that this could be an option for the
17 City to consider if it ever goes to the 20 units/acre density. He stated that they did this in Chicago
18 where they had 7 parking spots, and in order to add an 8th unit, it had to be affordable housing and
19 basically donated it back to the City. He explained that the City then sold it off to people like
20 school teachers, fireman, and police that were then able to stay in the community where they
21 worked. He stated that it can be done in order to allow people who wouldn't normally be able to
22 stay in the community to be able to stay where they work.

23
24 Commissioner Douglas asked if the City has any options or organizations that the City could apply
25 to in order help a builder, especially if they built along Wayzata Boulevard.

26
27 Commissioner Parkhill stated that the best way to help the builder is to give them more units.

28
29 Director Goellner stated that there are options and those could be laid out at a future meeting for
30 the Commission. She noted that what Commissioner Parkhill was describing is called
31 'inclusionary housing' in Minnesota. She stated that she thinks there about 10 cities in the metro
32 area that have a policy related to inclusionary housing and it is driven by sub-local economics.

33
34 Commissioner Bashioum asked what size of communities Director Goellner was referencing when
35 she was talking about inclusionary housing.

36
37 Director Goellner stated that it is a variety but she will do more research on it to bring back for a
38 future discussion.

39
40 Chair Plantan stated that she thinks everyone on the Commission has been troubled by the
41 disconnect between small-town charm and density and how both can co-exist and make economic
42 sense. She stated that she still has questions on how to make that work and stated that she thinks
43 many people consider small-town charm to be less dense. She asked if anything could be done in
44 zoning or with the Land Use map where the City says that density at the maximum will be a certain
45 number instead of starting at 10 and going to 30, and could it be, for example, a maximum of 20.
46 She stated that she would like to know if there is some flexibility with those numbers. She stated

1 that making a premium on when the City does projects, she thinks there also needs to be green
2 space. She expressed her concern with what is happening along Lake Street with building right up
3 to the sidewalks and what could potentially happen on the opposite side of the street which she
4 finds a bit scary. She asked if there would be another way to require more green spaces in the
5 higher density areas.

6
7 Commissioner Bashioum asked if the City could require some sort of rights for pedestrians, with
8 some space, so there isn't one long freight train of a building, so there are little windows where
9 you can see through with fresh air and sunlight. She noted that even where TCF is located, most
10 of the winter, that is all in the shade so the sidewalks are icy and it does not get any sunlight. She
11 stated that if the City chose to continue that solid massing along Lake Street, they would not be
12 getting any sunlight and would lose the fresh air flow and the opportunity to see snippets of the
13 lake or the promenade. She stated that something like this may address more of the small-town
14 charm issue in a more concrete fashion.

15
16 Commissioner Parkhill stated that is one of the things that they have been discussing in the Zoning
17 Task Force. He stated that they have been talking about creating breaks in these buildings because
18 that does give the small-town charm. He stated that the other thing that it appears that the City has
19 been making a huge mistake on in the community is the second and third floor setbacks that
20 actually make the buildings look bigger and takes your eye upward as opposed to having 2 stories
21 and then a setback, which is a wonderful change that they have been considering. He stated that
22 he would also like to consider whether it should be different on the lake side and be 2 stories
23 instead of 3. He stated that there is the TCF building, but that does not mean that the City has to
24 keep doing that and perhaps that should be something the City considers so they don't get the
25 Grand Canyon on the west end of Lake Street.

26
27 Commissioner Douglas stated that what the Zoning Task Force is saying makes a lot of sense and
28 that is why she wished there was a moratorium until the new standards are in place. She stated
29 that she is afraid some decisions will need to be made on various sites that will be based on the old
30 standards. She asked if Commissioner Parkhill had implied that in the block near Cov that they
31 could only have 2 story development.

32
33 Commissioner Parkhill stated that he is not sure if it is factual, but that is what he thought he heard.

34
35 Commissioner Douglas asked Director Goellner if that is factual.

36
37 Director Goellner stated that the height is different in certain districts in the downtown area so on
38 the block that Cov is located and on the TCF block, can only have 2 stories. She suggested that
39 she summarize this at a future meeting so the Commission understands the height limits.

40
41 Commissioner Parkhill noted that he thinks every proposal that has come forward for the TCF
42 property has had 3 stories, so that would be good feedback to give the developers.

43
44 Commissioner Douglas stated that she thought 3 stories were allowed for the TCF property.

1 Director Goellner clarified that a PUD allows for 35 feet, so when people apply for a PUD, which
2 they have done for the TCF property, they want 3 stories.

3
4 Commissioner Stockton stated that if you consider the angle of the sun, keeping a 2-story limit
5 makes a lot of sense. She asked why the City wouldn't be more encouraging for things like roof
6 decks which would add to the ambience and useability of the 3rd floor but not make it something
7 that cannot be seen through. She asked if there was any signage for entry or exit points to the City
8 of Wayzata off of the highways that indicate you are entering the community. She stated that if
9 not, she thinks it may be something to consider when monitoring speed from the Central Avenue
10 access point and the Wayzata Boulevard access point is whether or not the town may want to
11 consider a passthrough of some sort.

12
13 Commissioner Bashioum stated that she liked that idea and suggested that something like an arbor
14 could be used. She stated that she would also mention lighting because when you get off the
15 freeway and before you reach Lund's it is very dark.

16
17 Commissioner Stockton stated that in taking it the direction that leans towards charm and having
18 to pass through something would be a visual indicator that would add beauty and charm and show
19 that they are entering the City. She stated that it could be modeled off of the Lake Street look.
20 She noted that as the City is developing Wayzata Boulevard and Central Avenue areas over time,
21 it would be nice to bring the 'jewelry' type charm if it can't be the density type charm. She gave
22 examples of lighting or planters and accentuate that on scale so it is noticeable and the current
23 entry point near Holiday is not a very nice entry point. She stated that some of these changes could
24 easily bring a quaintness to the City.

25
26 Commissioner Douglas stated that she was on a sign task force for the City a few years ago. She
27 stated that they spent a lot of time talking about monument signs so that people know when they
28 are arriving someplace. She agrees that there should be a sign that says 'Welcome to Wayzata –
29 the Gateway to Lake Minnetonka' or something that is warm and fuzzy that sets the tone or the
30 jewels as Commissioner Stockton referred to it.

31
32 Commissioner Parkhill stated that he wishes that franchise architecture was something that they
33 did not have in the City at all. He stated that he means when a McDonald's looks like a
34 McDonald's. He stated that he wonders if now would not be the time to encourage these types of
35 establishments to use a more monumental type sign instead of their big yellow "M". He asked if
36 this was something the City could undertake while they are working on the Zoning Codes and put
37 some rules into place for that type of situation. He stated that he would like to see less obtrusive
38 architecture and signage for some of those businesses. He referenced Chipotle which he feels has
39 been tastefully done.

40
41 Commissioner Stockton stated that she would wholeheartedly agree with that and feels the City
42 should definitely not have that type of franchise architecture. She stated that the City cannot
43 change their branding but can put sizing restraints on them. She stated that she agrees with
44 Commissioner Douglas' point about finding a way to welcome people to the City. She stated that
45 she doesn't even think it needs to be anything complicated or something that may get dated. She

1 noted that something as simple as planting 3 large pine trees at various entry points around the
2 City along with a flagpole that has Wayzata's flag on it.

3
4 Commissioner Bashioum stated that she would like to revisit the suggestion from Commissioner
5 Douglas on having a moratorium. She asked if there was a consensus among the Commission
6 about that being a good idea. She stated that she doesn't want to miss the opportunity to address
7 some of the issues that are being discussed tonight, because those projects cannot be undone. She
8 stated that she fears that the City will be shooting themselves in the foot if they don't attempt to
9 put the brakes on while the Zoning Code is being finished. She stated that if this is something the
10 Commission feels strong about, they may want to recommend that be passed along to the Council.

11
12 Chair Plantan stated that she is in favor of a moratorium even if it is just 90 days until some of
13 these issues are more clearly defined.

14
15 Commissioner Parkhill asked if it was legal to do something like that and asked if there were
16 precedents where this type of thing had been done.

17
18 Director Goellner stated that there are precedents around the Twin Cities and noted that the State
19 statute allows for a moratorium. She explained that the requirements is that a City Council would
20 need to pass an ordinance or a resolution adopting it for a specific amount of time and it has to
21 include a study, so the City is already within that criteria because the City is working on its design
22 standards.

23
24 City Attorney Schelzel stated that there is a historical precedent for moratoriums and they have
25 been done and believes the City has had 1 or 2 during his tenure with the City. He agreed that it
26 would need to be tied to a study which is exactly what the City has already undertaken and the
27 need to freeze things before further development takes place without further study. He confirmed
28 that a moratorium is legal and just needs to be done the correct way by the Council adopting and
29 ordinance.

30
31 Commissioner Parkhill stated that may be a good direction to go in and suggested that the City
32 also speed up the Zoning Task Force and accomplish more than it is on pace to accomplish in the
33 next 90 days. He stated that if things will be stopped it may make sense to speed up the progress
34 of the Zoning Task Force.

35
36 Commissioner Stockton stated that she agreed with that idea and feels this is also a good time to
37 do it because it is before the summer months. She stated that she thinks there is the need to gather
38 up and formalize some of these really good ideas so they can be utilized in real time.

39
40 Commissioner Bashioum asked if 90 days was a reasonable expectation or should it be a bit longer.
41 She asked if City Attorney Schelzel remembered how long the other moratoriums lasted.

42
43 City Attorney Schelzel stated that he does not recall, but is pretty sure they were longer than 90
44 days.

45
46 Director Goellner stated that she believes that many she has seen are for a duration of 6 months.

1
2 City Attorney Schelzel stated that once the City has a better understanding of what it wants to put
3 on pause while the study is conducted that is reasonable and the amount of time will be tied to that
4 reasonableness standard.

5
6 Commissioner Stockton asked if that could be specific to certain types of buildings versus homes.
7 She stated that she doesn't think the City would want to hold up a single-family home construction.

8
9 City Attorney Schelzel stated that it could be specific to certain types of projects and noted that he
10 would prefer that it be targeted on a specific type rather than all development throughout the City.

11
12 Commissioner Stockton stated that she feels a moratorium would be of benefit to everyone because
13 if the City is not completed squared away on some of these issues then developers are having to
14 come back to the table with more drawings.

15
16 Commissioner Bashioum stated that she agreed that there are specific categories where it would
17 make sense for a moratorium and not just a blanket one for the whole City. She stated that if it
18 lasts for 6 months then perhaps that would be enough time for the Zoning Task Force to figure out
19 their recommendations without having to rush through it.

20
21 Commissioner Douglas noted that when she threw out the original idea for a moratorium, she just
22 said 90 days. She stated that it will need to be adopted by the Council before it is officially in
23 place and asked Director Goellner if she felt the design standards would be ready and approved in
24 90 days or if that would be rushing it too much.

25
26 Director Goellner stated that she thinks it is possible to have the design standards done within 90
27 days from now, most likely by June. She stated that her question for the Commission is whether
28 they believe it is only design standards that need to be studied.

29
30 There was strong verbal consensus of the Commission that it is not just design standards that need
31 to be studied.

32
33 Director Goellner stated that she would like some more thoughts on which pieces of code or issues
34 the Commission would like to have studied in order to feel comfortable with the moratorium being
35 lifted.

36
37 Commissioner Stockton stated that Commissioner Merriam had the idea of looking at the code
38 from Superior Boulevard west in terms of protecting the residences. She stated that Wayzata
39 Boulevard in that area has a lot of residences and the walkability should be protected, but the City
40 also has the larger dominant buildings such as Wells Fargo. She stated that she questions the
41 management of that if it is going to be used for commercial purposes, if the City does not set some
42 sort of guidelines specific to that area that feel more residential in their structure. She gave the
43 example of the Wayzata laundromat, the floral shop, and the wood working shop that used to have
44 a wizard out front, that have a sort of charm about it as opposed to something big and massive.
45 She stated that it felt more boutique-ish and she would like to encourage that in those areas as
46 opposed to things that look like the Wells Fargo building.

1
2 Chair Plantan asked if the next step may be to designate certain areas of the Land Use Map and
3 clarify which areas they would like to have as part of the 6-month moratorium while these issues
4 are studied.

5
6 Director Goellner stated that she likes the idea of attaching a map of some kind if there is a
7 geography that is important.

8
9 Chair Plantan suggested the Mixed Use, Commercial-Residential, Central Core Residential, and
10 Central Business District.

11
12 Commissioner Bashioum suggested that it also apply to areas along Lake Street from Ferndale to
13 Broadway.

14
15 Director Goellner stated that if they wanted to go all the way, they could go to Circle A. She noted
16 that it would be the Central Business District and the Mixed Use – Commercial Residential.

17
18 Commissioner Bashioum asked if it would include PUDs and variances based on density.

19
20 Director Goellner stated that there are all kinds of ways that it could be written. She stated that
21 they would discuss it with the Council but one possibility would be to tie it to the 2040
22 Comprehensive Plan which would simplify it.

23
24 Commissioner Douglas asked if Director Goellner had heard anymore on Wells Fargo.

25
26 Director Goellner stated that they are still talking to them and noted that it is very preliminary and
27 would characterize the discussion as encompassing the development economics that were
28 discussed earlier.

29
30 Commissioner Douglas asked if they had a time frame in mind.

31
32 Director Goellner stated that they do not and thinks that the Wells Fargo that is in place has a lease
33 that goes for another 2 years or so. She stated that they are not in a rush and are not planning to
34 submit anything to the City in the next few months. She stated that the discussions and the
35 questions being asked tonight will be extremely valuable to them in the way that they shape their
36 ideas about their site.

37
38 Commissioner Douglas stated that she thinks it would be the same for the Blake campus. She
39 stated that it is a few years out, but that is currently zoned as Institutional and asked if it could be
40 changed to Single-Family Residential zoning.

41
42 Director Goellner stated that it would not be part of a 6-month moratorium because the school is
43 still 2 years from closure, but she is right to question whether the City may end up re-guiding that
44 property. She stated that she feels that is separate from the core issue currently being discussed.

1 Commissioner Stockton stated that she would like the City to consider that property in terms of
2 green space which would be missed if the property all got developed.
3

4 Director Goellner stated that they will be having neighborhood meetings and will not move too
5 quickly. She stated that what she is hearing from the Commission is that the study during a
6 potential moratorium would be connected to not just design standards and also why the City would
7 allow up to 30 units/acre and when the City would do that. She stated that she thinks they need a
8 clear answer on whether the City must allow 30 units/acre on every project and that deserves to be
9 studied as well. She stated that what she likes about the Commission's ideas is that they are
10 encompassing a large enough area and are asking questions that are important to a large group of
11 parcels so it is not singling someone out.
12

13 Commissioner Douglas asked Director Goellner to communicate to the Council that the
14 Commission is all in agreement that once you make a decision on a property, it will last 30-40
15 years and while there will always be some people that aren't happy with some of the decisions,
16 they are trying to think about what will be the best for Wayzata long-term. She stated that she is
17 also glad the discussion is for a more broad-based moratorium.
18

19 City Attorney Schelzel stated that a moratorium can be applied City-wide or just to a portion of
20 the City or for certain uses.
21

22 Director Goellner stated that it could be clarified that people could still do basic remodeling
23 projects in these areas and there may be other types of projects that are irrelevant to what is being
24 discussed.
25

26 Chair Plantan asked if the Commission was considering a moratorium for the Downtown Mixed
27 Use or just Central Business District and Mixed Use – Commercial Residential.
28

29 Director Goellner stated that the only other one she may add would be the existing apartment
30 buildings. She stated that the Commission did have some questions about inclusionary housing
31 and housing types but noted that these are existing buildings which would mean that something
32 intense would have to be planned on these sites to replace them and asked if the Commission felt
33 that this would be of any urgency. She noted that she has had an inquiry for Meridian Manor
34 because it has recently closed and has been sold.
35

36 Commissioner Bashioum stated that she feels the Commission should add the high-density
37 residential areas to the moratorium.
38

39 Commissioner Stockton noted that she would agree.
40

41 Commissioner Douglas asked if Meridian was high density or if it was institutional because it was
42 senior housing.
43

44 Director Goellner stated that it could be done either way, but the code has their parcel as high
45 density.
46

1 There was consensus to include high density residential to the possible moratorium.

2
3 Director Goellner asked for confirmation that she was hearing consensus around the idea of
4 pitching the idea of a moratorium to the City Council.

5
6 There was consensus of the Commission to present the idea of a moratorium to the City Council.

7
8 Director Goellner stated that based on previous discussions, she suspects that Commissioner
9 Merriam would support a moratorium, but is unsure about Commissioner Flannigan so she will
10 have to fill him in on tonight's discussion. She noted that she feels there is enough of a majority
11 with the Commissioners that are present.

12
13 Chair Plantan asked if an official vote or roll call opinion would be necessary.

14
15 City Attorney Schelzel stated that it was not needed and Director Goellner can take this up with
16 Council and convey their sentiments regarding a moratorium.

17
18 Commissioner Bashioum asked what would be the most expeditious way to forward their
19 consensus on a moratorium to have the Council consider acting on that.

20
21 City Attorney Schelzel stated that the most expeditious way to communicate it will be through
22 Director Goellner when she gives Council an update. He noted that the quickest way to adopt it
23 would be through an emergency ordinance which does not require two readings but noted that is a
24 bit more complicated because it requires a unanimous vote. He stated that staff can discuss this in
25 greater detail and decide what may be the best option in this situation.

26
27 Commissioner Bashioum stated that she does feel there is a pressing need to do it sooner rather
28 than later.

29
30 Director Goellner stated that she will talk to City Manager Dahl in the morning and see if he may
31 be open to bringing it up to the City Council as early as their meeting the next evening on March
32 16, 2021. She noted that he also meets with them one on one to prepare for the Council meetings,
33 so he may also use that time to bring it up. She stated that she will update the Commission in her
34 Friday e-mail regarding what she knows. She stated that if the Council wants to talk about this
35 more, she would assume the discussion would take place on April 6, 2021 and will make sure that
36 it is communicated that the Commission feels this will be most useful when done quickly.

37
38 Commissioner Douglas stated that she loved the terminology that Commissioner Stockton used
39 earlier tonight about 'jewelry for the City'. She stated that when she was on the signage task force,
40 they started the beautiful signs that are on Lake Street that are black wrought iron and they say
41 beach this way. She stated that she hopes the City continues on with that, if there is money for
42 that type of thing. She stated that she also served on the bike task force a few years ago and they
43 started the beautiful bike racks with the Ws which are very charming. She stated that she thinks
44 those little charming things, like jewelry, really add to the character and help keep the City stay
45 charming.

1 Commissioner Stockton stated that the other day she was driving through town and there were 15-
2 20 kids on bikes and they all stopped and parked their bikes in the bike rack. She stated that this
3 is what the City wants to promote with walkability and safety and it would be wonderful if, over
4 time, that could be encouraged as you travel up Wayzata Boulevard and towards Colonial Square.
5 She stated that as developers come into the City and they are adding density, she asked if there
6 was a reasonability in adding a dedication back to the community. She asked if there was a
7 precedent for larger developers to give back to public space in some manner, such as signage that
8 was just referenced, or the potential for a passthrough or physical designation when people enter
9 town off of the highway.

10
11 Director Goellner stated that there are different ways that can be done and noted that sometimes it
12 is pooled under the larger policy of public art and you bring that with wayfinding signage and
13 lighting. She stated that there are a few different options.

14
15 Chair Plantan stated that she would be in favor of taking a look at this and joked that it may be
16 time to get Commissioner Douglas on some more task forces.

17
18 Commissioner Bashioum asked if there was any reason for the Commission to ask the Council to
19 consider the emergency moratorium.

20
21 Director Goellner stated that the key reason would be that the next Council meeting is in 3 weeks.

22
23 City Attorney Schelzel stated that staff will discuss it and take a look at the calendar and noted that
24 if it is not an emergency moratorium it will require two readings which will take more time.

25
26 **AGENDA ITEM 5. Adjournment.**

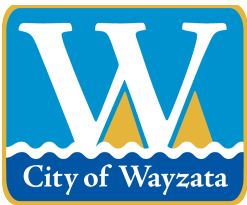
27
28 There being no further business on the agenda, Chair Plantan asked for a motion to adjourn.

29
30 Commissioner Douglas made a motion, seconded by Commissioner Parkhill to adjourn the
31 Planning Commission meeting.

32
33 Director Goellner completed a roll call vote on the motion. The motion carried unanimously.

34
35 The Planning Commission meeting was adjourned at 8:10 p.m.

36
37 Respectfully submitted,
38 Kayla Atkins Rokosz
39 *TimeSaver Off Site Secretarial, Inc.*
40



City of Wayzata Planning Commission Agenda Report

MEETING DATE: April 5, 2021	AGENDA ITEM: 5.a
TITLE: Consider Zoning Ordinance Amendment to Update Chapter 909 - Design Standards	
PREPARED BY: Emily Goellner, Community Development Director	
REVIEWED BY:	
60 DAY DEADLINE: N/A	

BACKGROUND:

The Van Meter Williams Pollack (VMWP) team is pleased to provide a first draft of revisions to the Wayzata Design Standards. Though the draft may initially seem like an abrupt departure from the existing standards, it is founded on the generous and thoughtful feedback of the Zoning Task Force and, through the Visual Preference Survey, a substantial proportion of the Wayzata community. VMWP has identified three significant issues that have resulted in development perceived as being incompatible with the charm of Wayzata.

The first issue is the conflict between large building floorplates and the small-scale fabric of a small town. To address this challenge, VMWP has proposed a coordinated system of building breaks and building recesses in combination with a refinement of existing setback requirements to break up the scale of large projects.

The second issue is the unmitigated horizontality of newer development that has occurred as an unintended consequence of the existing "wedding cake" setback requirements. It is the consultant's belief that this horizontality is contributing to the public perception of massive development that looks commercial in nature. By refocusing the setback requirement on the uppermost floor level and coordinating related standards and guidance to emphasize vertical rhythms at the first two floors, the consultant hopes to create a finer grain of streetfront character that better complements the existing charm of Wayzata.

The draft report that VMWP has provided for review is organized to guide the applicant from large scale issues such as site design down to the level of architectural detail and materiality. The document is structured to provide an understandable explanation for the standards, clear diagrams to visually explain important standards, and rewritten quantifiable standards to lessen the burden of enforcement. VMWP has also provided a copy of the presentation that will be featured for the public hearing. It is a more visual representation of the proposed changes, so some readers may prefer that to the full report. Since this is a set of amendments to existing text in the Zoning Chapter of the Wayzata Code of Ordinances, underlined/overstruck language is also provided for utmost transparency.

Staff requests that the public hearing scheduled for April 5, 2021 be continued and left "open" for the April 19, 2021 Planning Commission meetings to allow for more public comments to be received on the proposed changes.

This process was launched in September 2020 when the City released a Request for Proposals for this work. Candidates were scored and interviewed by members of staff, Council Members, and Zoning Task Force Members. VMWP began work in October and met with the Task Force five times between November 2020 and March 2021. VMWP received 380 responses to the Visual Preference Survey to inform this work.

ACTION REQUESTED:

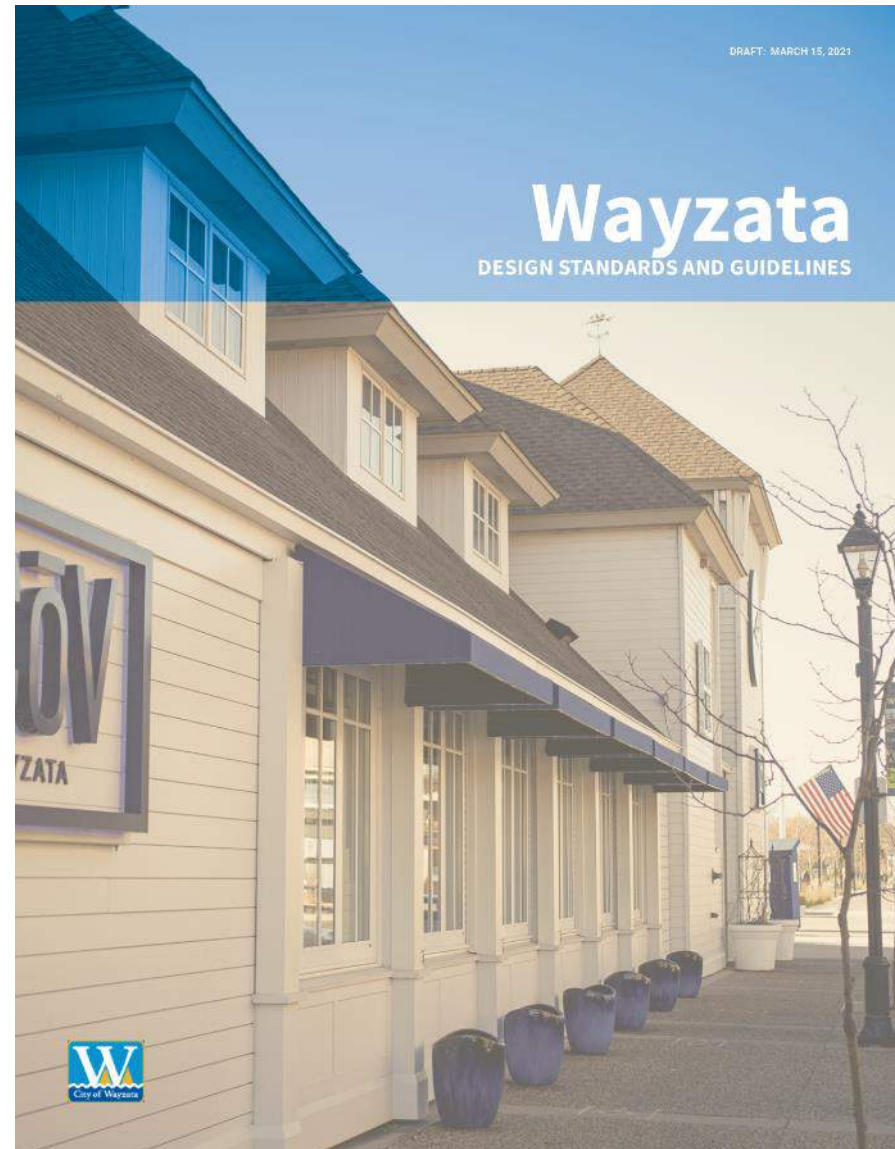
Staff requests that the Planning Commission open the public hearing to receive comments on the proposed changes. Staff also requests that the public hearing be left open for the April 19 Planning Commission as well to offer more time for public comments to be received.

At the April 19 Commission meeting, once the Commission has reviewed all materials and the public hearing is closed that evening, the Planning Commission should direct staff to prepare a Planning Commission Report and Recommendation, with appropriate findings, reflecting a recommendation on the proposed Zoning Ordinance Amendment.

ATTACHMENTS:

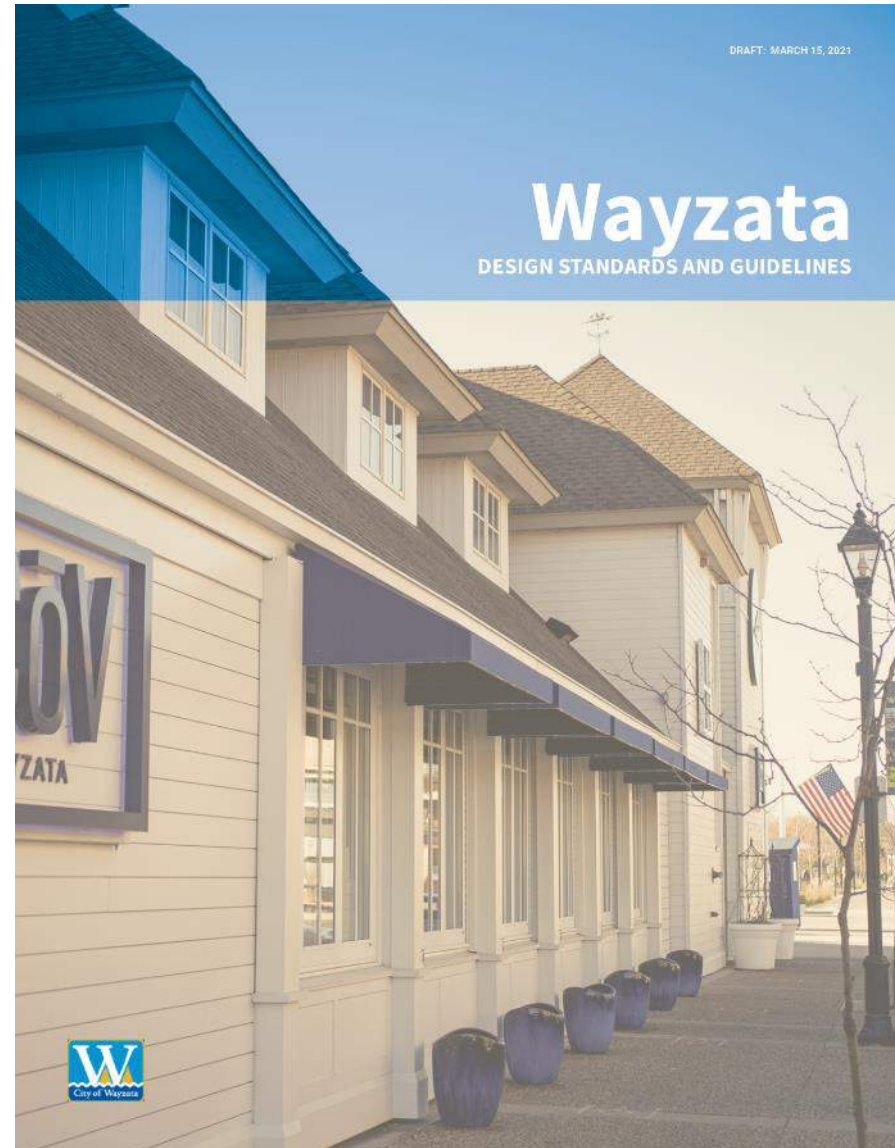
1. Design Standards Presentation for Public Hearing - Van Meter Williams Pollack
2. Draft Wayzata Design Standards and Guidelines - Van Meter Williams Pollack
3. Proposed Overstruck Code Language - Chapter 909

- **Introduction**
- Visual Preference Survey Results
- Consultant Findings
 - Building Size
 - Ground Floor Design
 - Building Rhythm and Articulation
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 - Usable Open Space quality
 - Large sites and Wayzata Boulevard



Wayzata Design Standards Update

- Design Standards are being refined in parallel with Zoning Update for the Wayzata 2040 plan
- The Design Standards consultant team has been providing feedback to the Zoning Task Force and the Planning Department to inform the Zoning refinements.
- Visual Preference survey solicited initial feedback from Wayzata residents and city stakeholders for both the Design Standards and Zoning processes
- The Zoning Task Force has met 5 times over the past 5 months to review Design Standards progress and inform changes.
- Changes proposed to the Design Standards are a direct response to community concerns filtered through the consultant team's professional expertise.

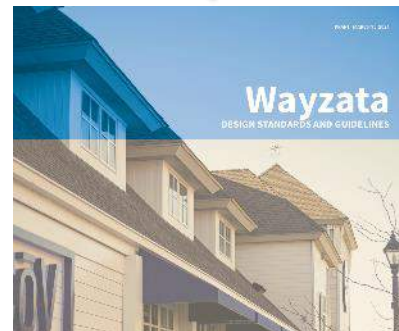
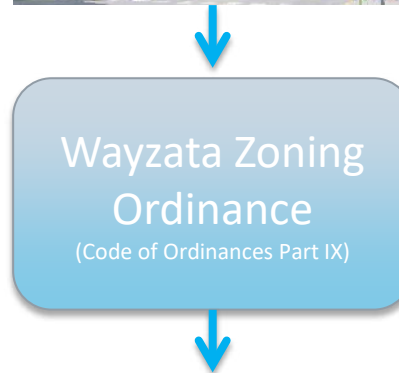


What are Design Standards?

- The goal of Design Standards is to regulate development to improve functional and aesthetic quality of development while ensuring development character is compatible with the vision Wayzata established in the 2040 Comprehensive Plan
- Design Standards establish threshold requirements necessary for City approval of proposed new development
- The Design Standards are a subset of the City Zoning Ordinance providing development requirements, but do not change zoning.
- The Design Standards document provides additional discretionary Guidance to help improve project design and help projects

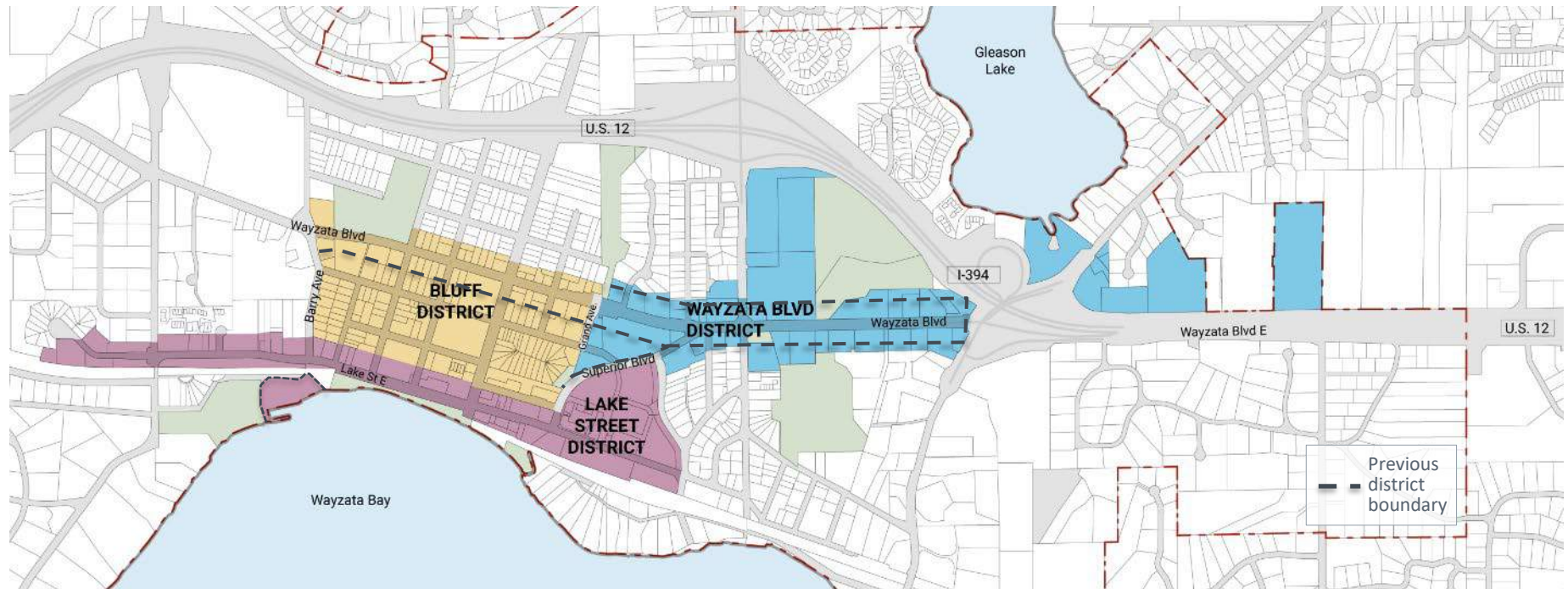


City of Wayzata 2040 Comprehensive Plan
May 2020



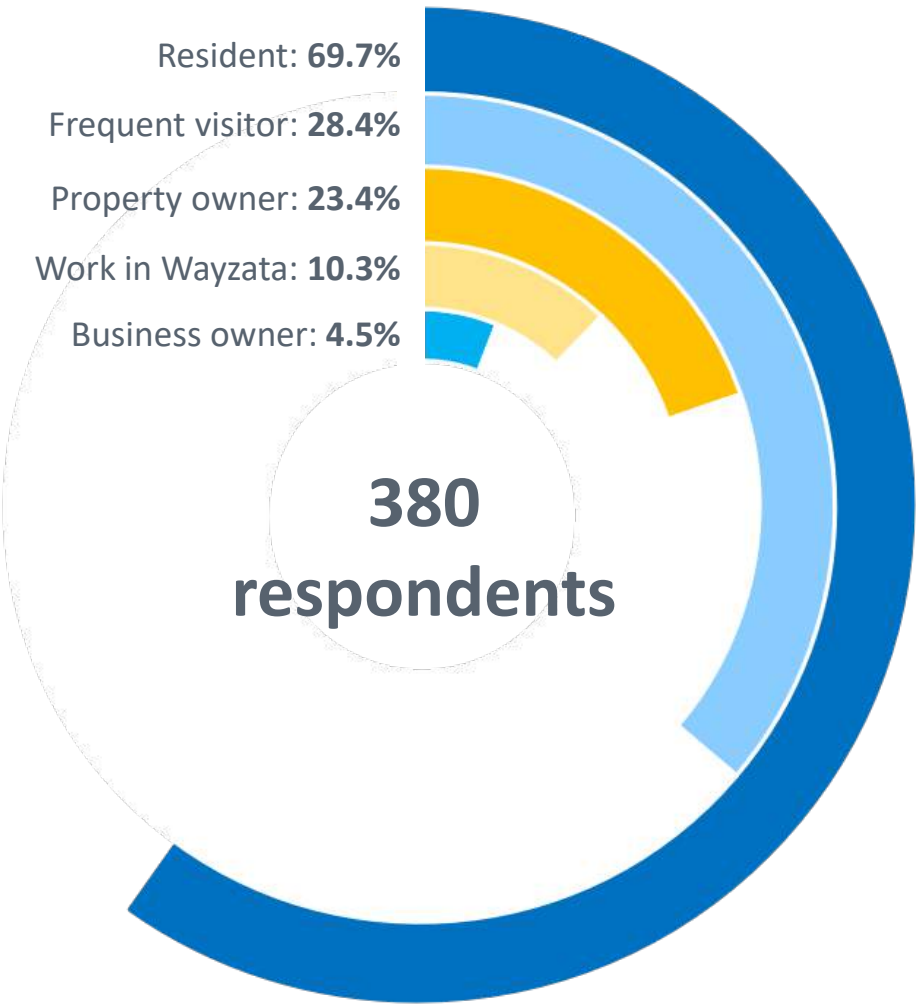
- Long-range community vision
- Land Use
- Policy Guidance
- Building height
- Lot coverage
- Allowed Uses
- Site layout
- Building massing
- Architectural character

- The Design Standards apply differently to previously defined Design Districts.
- The boundaries of the districts have been refined to incorporate resident concerns.



Design District Refinements

Summary of Respondents



Neighborhood Vision- Lake Street

Vibrant Historic
Commercial Quaint
Contemporary
Relaxing Informal
Active
Charming Modest
Luxurious Residential

Other notable
responses:

Walkable

Welcoming to all

Place to gather

Neighborhood Vision- **Bluff District**

Quaint
Active Commercial
Residential
Luxurious Vibrant
Charming
Historic Modest
Relaxing Contemporary
Informal

Timeless

Affordable

Walkable

Other notable
responses:

Neighborhood Vision- **Wayzata Boulevard**

Quaint
Charming
Contemporary
Commercial
Historic
Active
Modest
Relaxing
Luxurious
Vibrant
Residential
Informal

Other notable
responses:

Safe

Lake Street Existing Compatibility



Fits

Does not fit



Fits

Does not fit

Future Vision



67.1%



53.1%



21.7%



5.8%

None of the
above: 4.3%

Bluff District Existing Compatibility



Fits

Does not fit



Fits

Does not fit

Future Vision



A

33.3%



B

53.1%



C

34.1%



D

32.6%

None of the
above: 5.8%

Wayzata Boulevard Existing Compatibility



Fits

Does
not fit



Fits

Does
not fit

Future Vision



21.3%



46.5%



13.2%



45.3%

None of the above: 17.1%

Building Design & Details: Height and Massing

MASSING RESTRICTIONS FOR HYPOTHETICAL 4 STORY BUILDINGS



A. Top floor stepback



B. Top floor + Corner



C. 2 Stepbacks

D. No 4th Floor acceptable

Lake Street

A-C:
46%



24%

13%

55%

Bluff District

A-C:
55%



28%

16%

45%

Wayzata Blvd

A-C:
66%

20%

28%

18%

34%

Learning from the Additional Comments: Charm

- *"Wayzata used to be a little village on the lake. Most of the historic nature of the city has been removed."*
- *"The idea that Wayzata has charm has been lost many years ago."*
- *"Please keep the quaint village feel! Wayzata is on the edge of overdevelopment."*
- *"Wayzata is filling up (mostly has filled) with big brick buildings. Newcomers think this is charming. I don't, because it is not Wayzata - nothing left of the historic, sometimes quaint and often tacky little town on the lake."*



Lake Street circa late-1970s

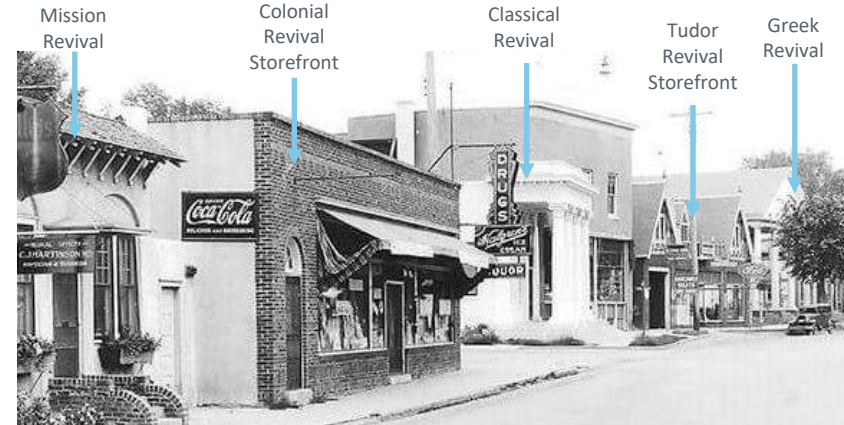


Lake Street today is characterized by much longer buildings without relief on the ground floor.

larger

Learning from the Additional Comments: Consistency

- *"Using adjectives like charming and quaint are so abstract. **The real question is what makes something charming** - what are the specific regional design strategies that create a collective character defined as charming."*
- *"**There needs to be some consistency** in architectural design!! Downtown Wayzata is such a mishmash of modern, nautical and historic!"*
- *"Think of the towns you like to visit and why. **They are usually a mix of different styles and the buildings are pedestrian in nature.**"*
- *"I am disappointed in the choices and bias reflected in the questions. Wayzata has a habit of comparing itself to odd selections, e.g. Pigeon Forge and Ft Myers Beach, which bear no relation to Wayzata."*
- *"Think about towns like Stillwater, White Bear, Galena or Lake Forest"*



Old Wayzata drew consistency from small scale buildings, not a specific material or style



Stillwater draws some consistency from extensive pre-war development and brick material, distilled in a wide variety of building sizes, heights and scales.

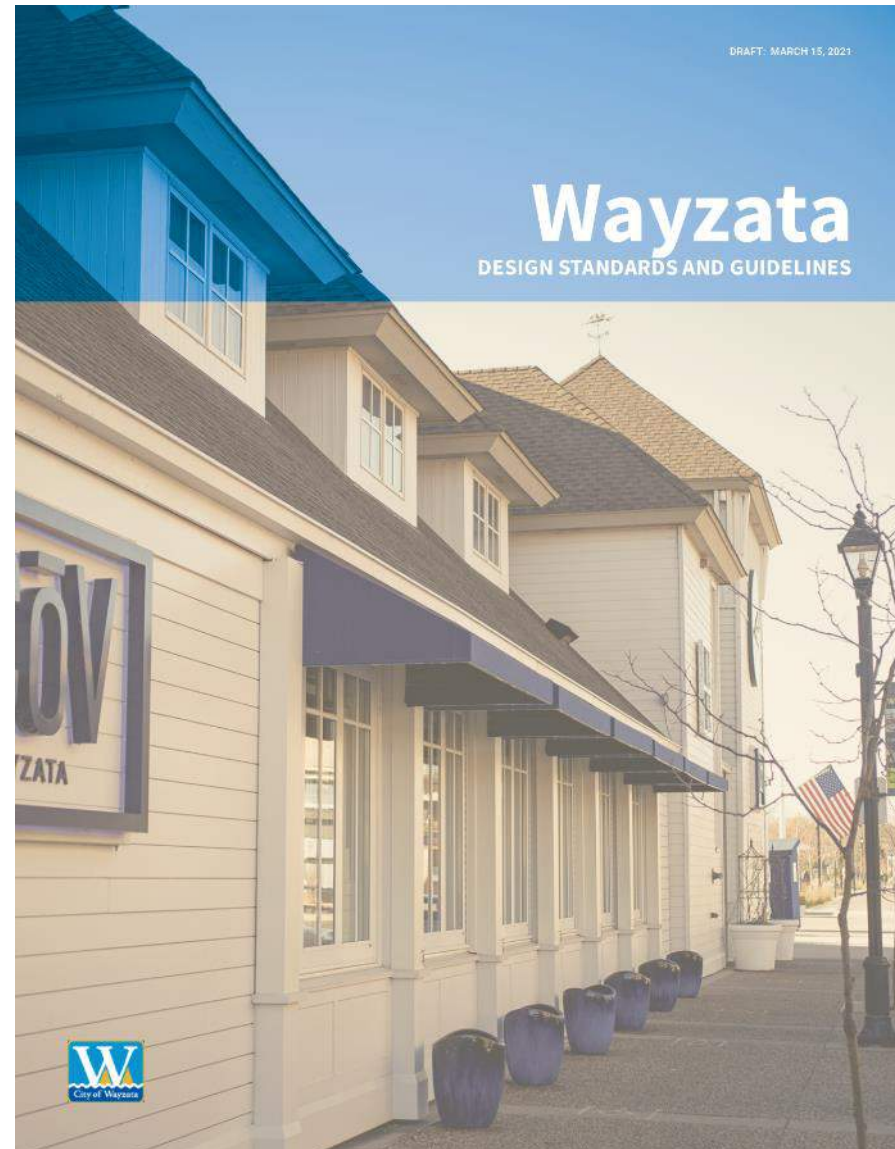
Identifying the issues: Bigness and Material

- *"[The] Taj Mahal [is] one material and one color meanwhile Myer Place 10, 20 materials, who knows - just an overly complicated pallet of multiple colors, odd forms and far too many materials"*
- *"It seems we are trying to make Wayzata look like downtown Minneapolis... I don't think we need any more big brick buildings or any more people."*
- *"Wayzata has turned from a quaint, smaller town into a more commercial place with many buildings that are too big considering Wayzata's size."*
- *"Artificially low height restrictions reduce the abilities of a developer to create interesting structures and still come out with a profit. With land costs so high in Wayzata, we need to consider allowing buildings that are higher than what we envisioned in 1950."*



Meyer Place (above) and 681 Lake Street are both extremely long buildings that use different strategies to attempt to hide their bulk.

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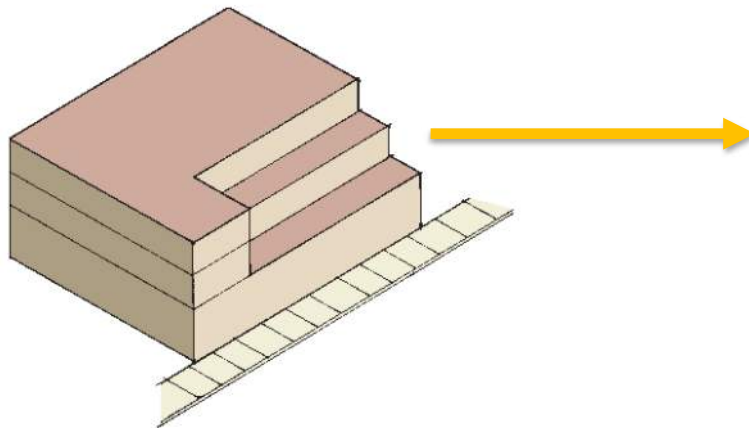


What is driving bigness (horizontality)?

6.2 New Buildings - All Districts

Building height will vary by zoning district. Where three story buildings are permitted, the third story must be recessed at least 10 feet from all public facades of the second floor footprint fronting on public rights of way.

The facade fronting on public rights-of-way of every two and three story building, longer than 60', must have a recessed second story of approximately 25% of its length, setting back a minimum of six feet from the face of the first floor facade. The required third floor 10 foot setback must also follow these second story recesses.



The frequent use of both second and third story stepbacks has eroded the streetwall and reduced building articulation.

The proportions created by current stepback regulation have led some applicants to try to camouflage the lack of articulation with a *'mishmash'* (greater complexity) of forms and materials.



What is driving bigness (horizontality)?

In general upgraded materials are cheap
and leasable area is expensive

If the root problem is building mass, **no amount of material complexity will successfully resolve the issue.**



*It is the consultant team's view that the most important role of the Design Standards **should be to break up large building massing into smaller forms.***



“Main Street Charm” demands strong ground floor design



This building is a good example of stepping back in order to reduce the massing. There are however, a few issues: The lighter brick color and beige banding tend to attract unnecessary attention and lengthen the facade. The railing becomes a dominate feature. The metal roofing is too bright. The eye keeps wandering to the upper levels. The emphasis should be on the ground floor.

The existing stepback requirement reduces streetwall to the first floor and creates a long horizontal proportion. This articulation inadvertently emphasizes building length. As a result, the pedestrian-level character suffers, and building length seems disproportionate for a small town.



701 Lake succeeds by *breaking* the standards and providing a single stepback *at the third floor*.

Modulation and articulation of two story elements create a more successful streetfront.

Get the rhythm right



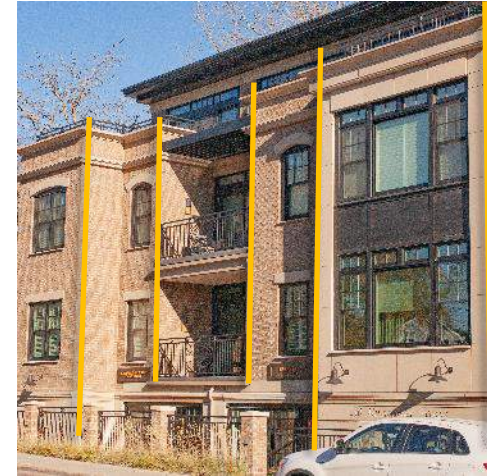
Downtown Stillwater, MN;



Mackinac Island, MI



*Boise-Eliot neighborhood,
Portland OR*



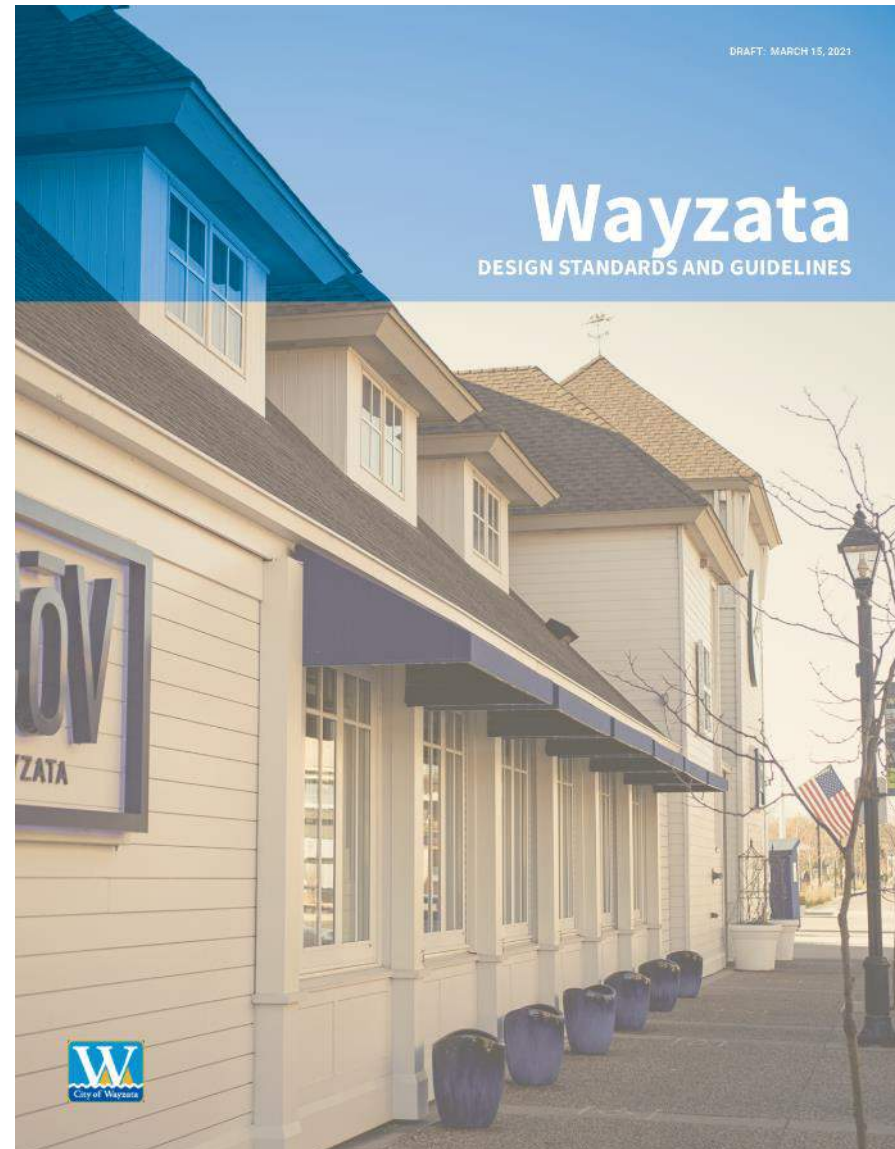
Bluff District, Wayzata

Places commonly considered ‘charming’ typically have a *vertical* articulation resulting from 2-3 story heights built on traditionally narrow 20-40 foot wide single lots or 40-80 foot double lots.

If lots have been merged over time into wider parcels, design standards can still deliver vertical articulation by requiring massing reductions and façade articulation elements at a maximum spacing.

*The existing Standards have **no prescriptive requirements** for façade articulation.*

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Proposed Massing and Articulation Standards

Suggested revisions consists of 3 big moves:

Massing Breaks

Require long buildings to be broken into smaller pieces to maintain views and connectivity

Upper Floor Stepbacks

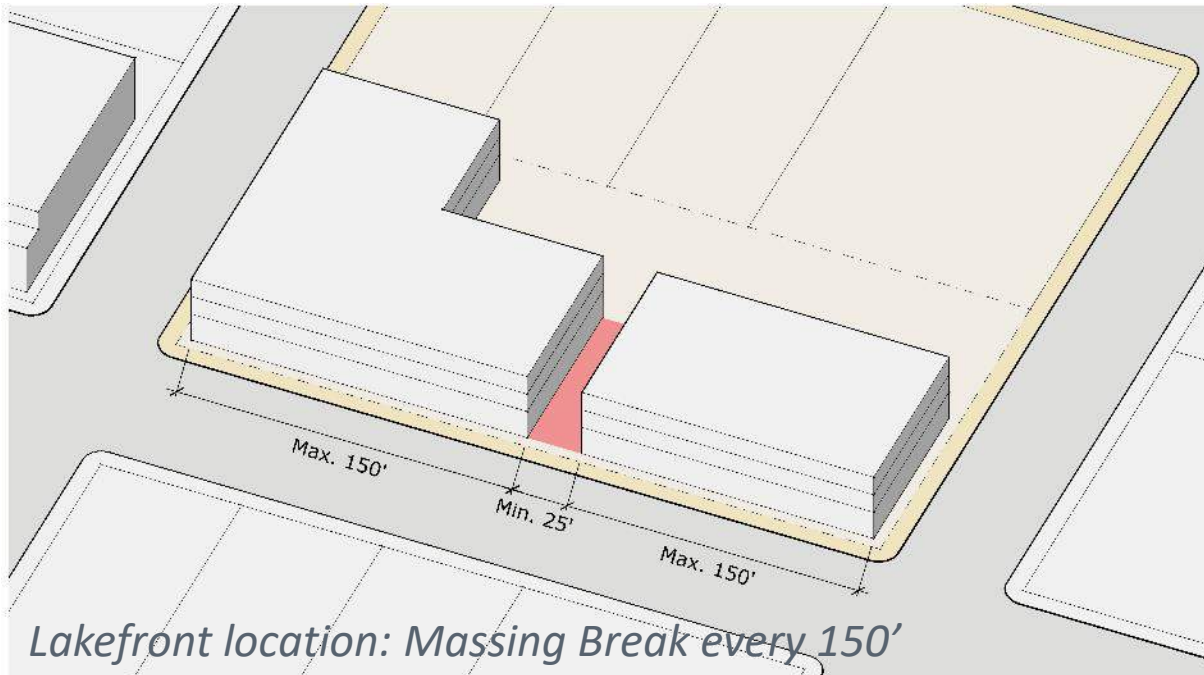
Increase stepback depth *at the third floor* (and above, if applicable) to break down horizontal buildings through vertical proportions

Building Recesses

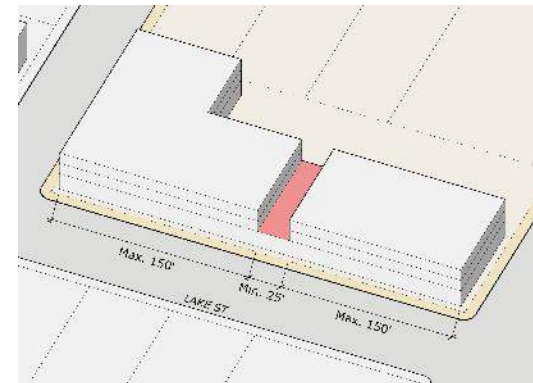
Use small recesses to periodically break up longer façades, provide amenities, and enrich sidewalk experience

Massing Breaks

Massing Breaks are proposed to subdivide building length to **no more than ½ the length of a traditional Wayzata block**. The requirements for the Break can be tailored differently for lakeshore and inland locations to preserve views.

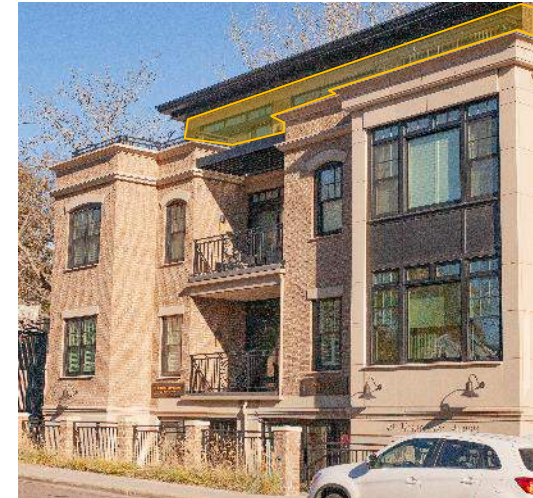
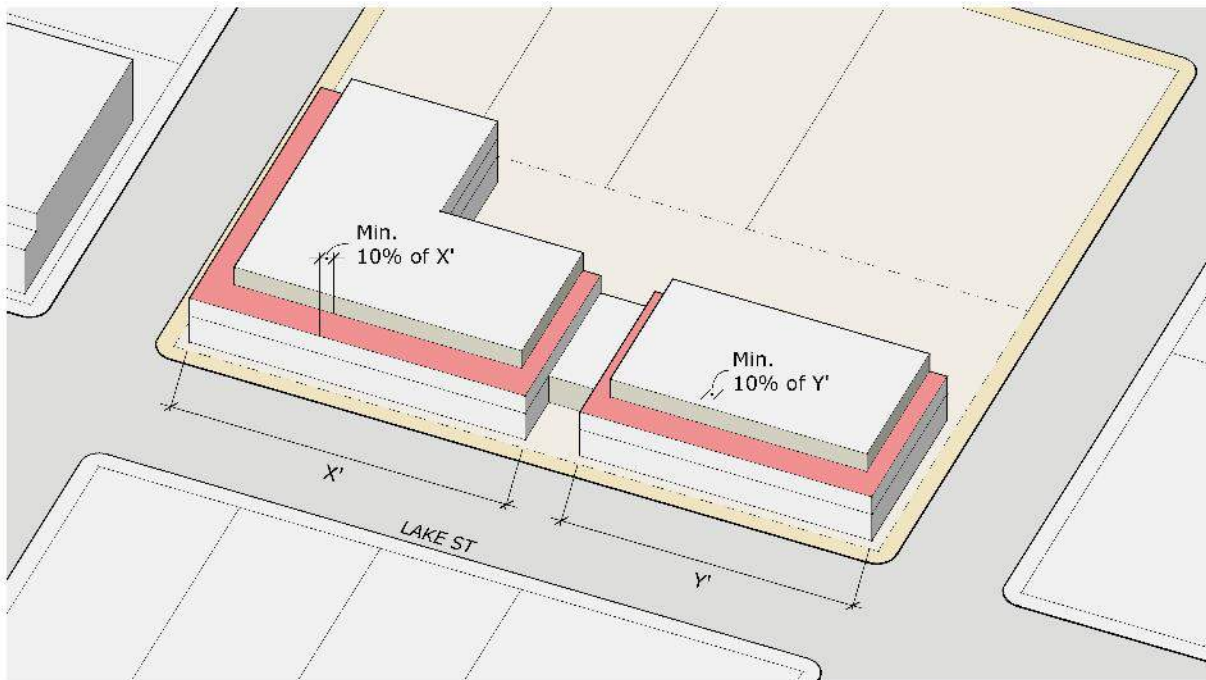


*Inland location:
The break requirement
applies above the first
floor*



Upper Floor Stepbacks

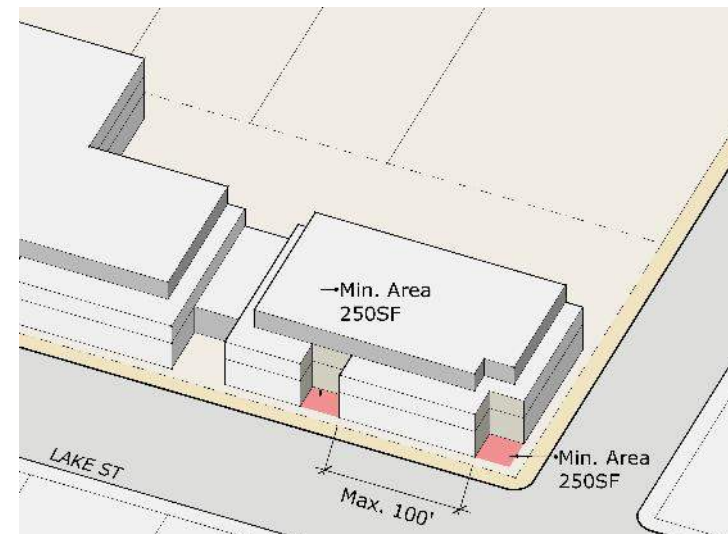
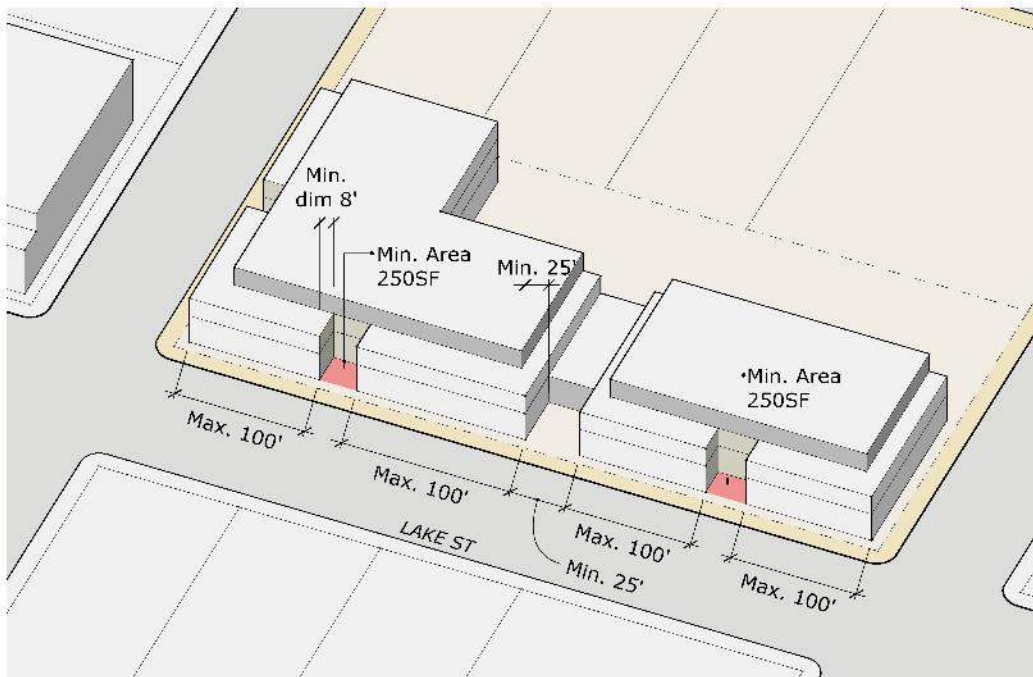
Upper floor stepbacks are refined to reinforce the building streetwall, reduce the perceived height of taller buildings, and **allow for increased vertical rhythm** along the first two stories of the façade.



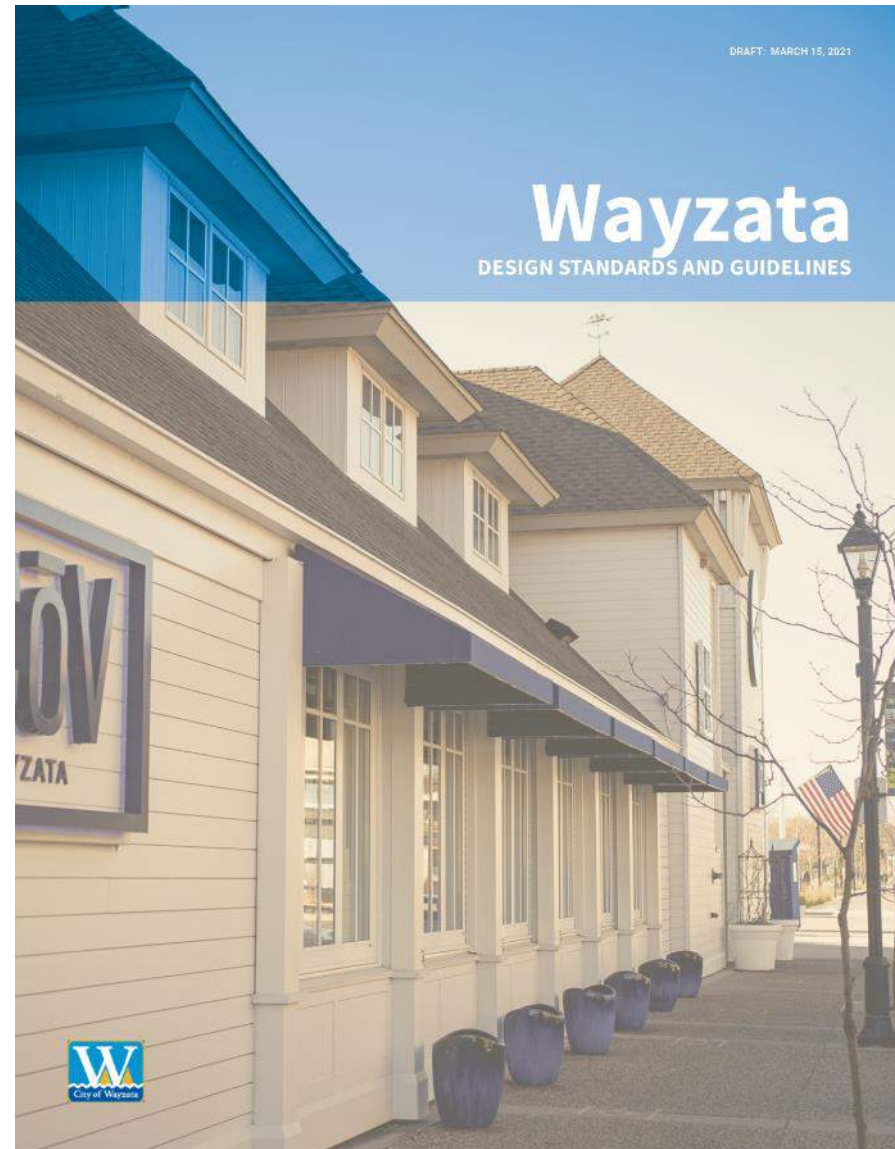
Significant Changes: Massing and Articulation

Building Recesses

The concept of Small Recesses is expanded from the current Standards into a **250 square foot façade recess** to allow for increased outdoor dining, seating, landscaping, and other ground-level amenities **without encroaching on the public sidewalk.**



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- **Building Design Standards**
 - Roof Design
 - Façade Design
 - Building Material Application
 - Building Materials
- Additional Site Standards
 - Usable Open Space quality
 - Large sites and Wayzata Boulevard



Proposed Building Design Standards

Suggested revisions coordinate with Massing revisions

Roof Design

Encourage sloped roofs at visible locations; roof forms need to reinforce building forms

Façade design

Provide a comprehensible façade rhythm expressed through repeating elements and proportions

Material Application

Use materials logically and consistently at specified locations

Material Character

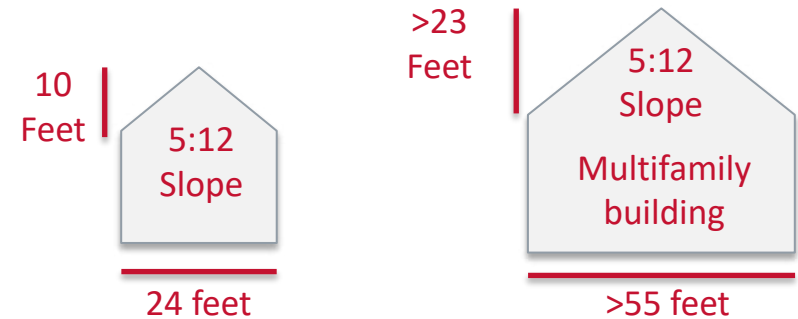
Provide materials and detailing consistent with the character of each identified type of material

Sloped Roofs on deep buildings

- Design Standards can encourage sloped roofs where visible from the perimeter.
- Perimeter roofs will avoid issues of height and blocked views at building with deeper floorplates.
- Roof elements should relate to building massing and articulation.



Roof articulation is used to break up the roof on this larger supportive housing building



Increased building depth needed for corridor-type multifamily buildings results in significant taller roof height given the same roof pitch.



CoV uses sloped roofs at the visible perimeter these roofs are able to remain lower than a roof covering the entire building footprint.

Roof Design

Varied roof forms are desirable to reflect the character of a small town.

A visible sloped roof provided at the same level as the Upper Story Stepback shall be allowed to fully encroach in the Stepback up to a maximum width equal to 40% of the façade length.

Encroachment will incentivize the inclusion of visible sloped roofs.



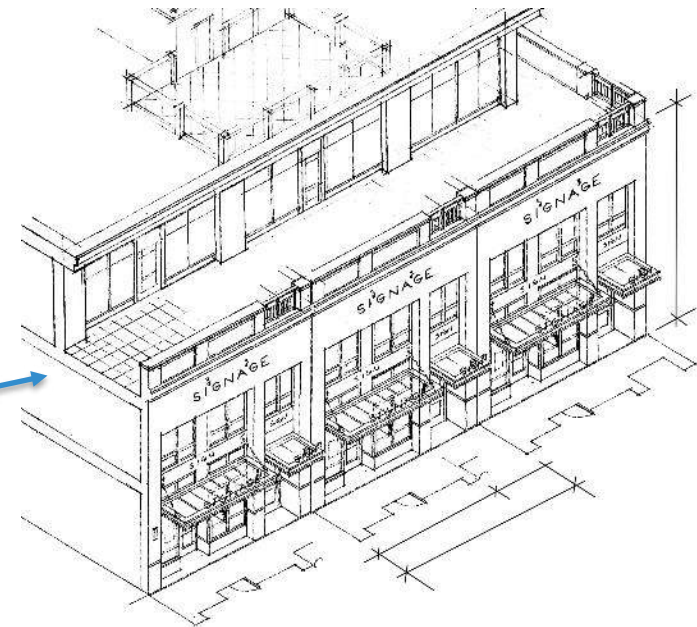
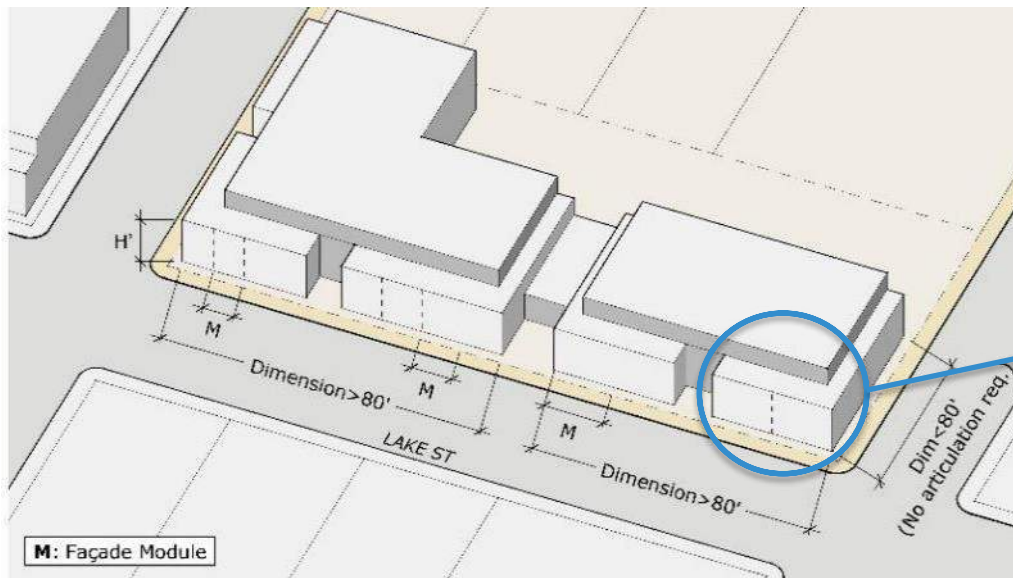
$$A + B + C... \leq 40 \% \text{ façade length}$$

Façade Design

Minimum articulation requirements ensure façades are modulated to provide a vertical rhythm at a similar scale to traditional development. ***Building articulation elements shall be provided at a maximum average spacing of 40 feet.***

Articulation can consist of

- a projecting bay, entry vestibule, or recess extending from the ground level to the second floor
- a ground-level Building Recess
- a change in rhythm of both windows and awnings at the first two stories.



Best Practices: Materials and Colors

- Controlling specific materials necessitates constant updates to the design standards as new materials come to market
- It is more important to ensure materials **are used appropriately and are well detailed.**
- Recent projects in Wayzata attempt to use materials to create variety and articulation for large buildings. **Massing problems should not be solved by materials.**
- The use of too many materials and colors **frequently makes buildings overly complex and confusing**



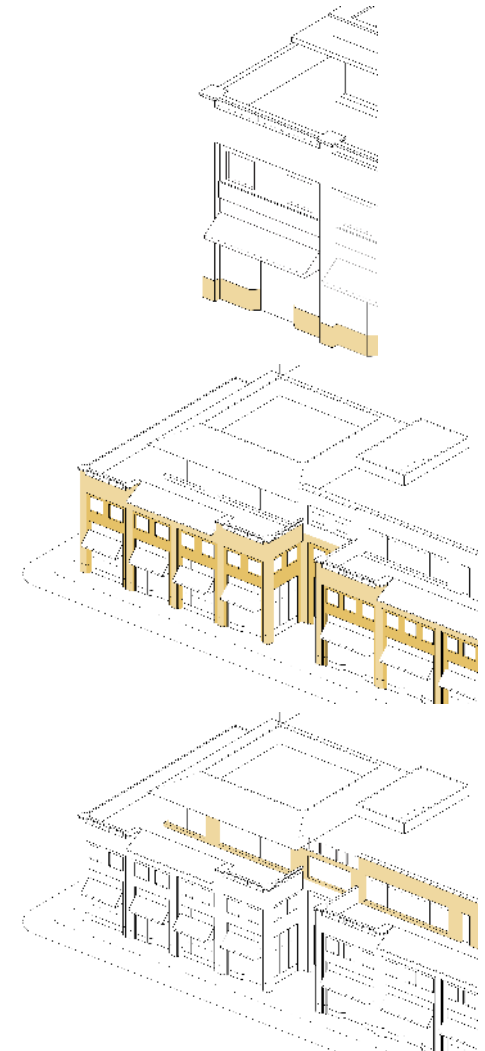
Stucco creates a lighter top but an odd transition



The process of design review is leading applicants to use many materials and colors to emphasize variety.

Material Placement

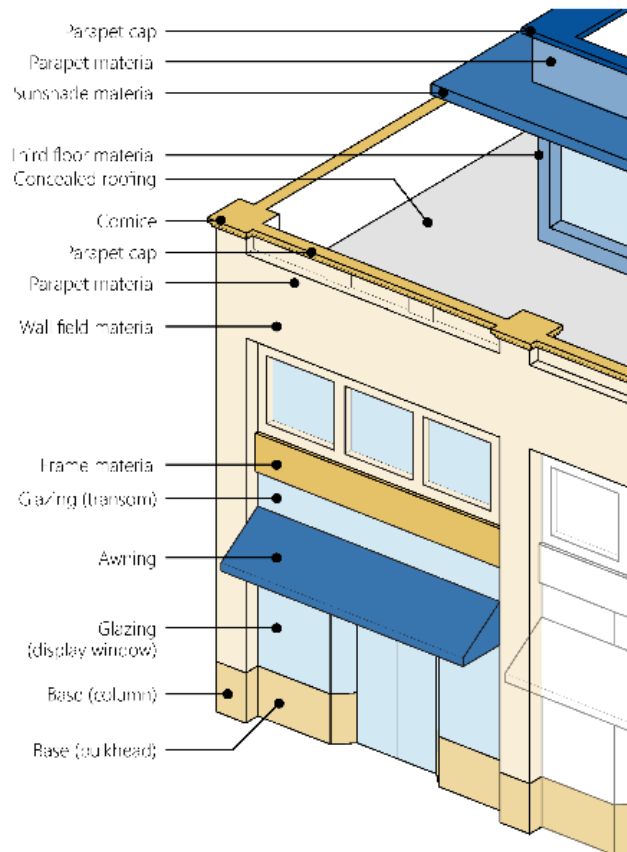
- Colors or material articulation **should relate the building both to the human scale and the sky**
- Traditional articulation clearly provides **a base, middle, and top**. This articulation is used to structure the Material Placement Standards.
- Care should be taken to **avoid placing heavy materials** such as masonry **above lighter materials** or “floating” it in space



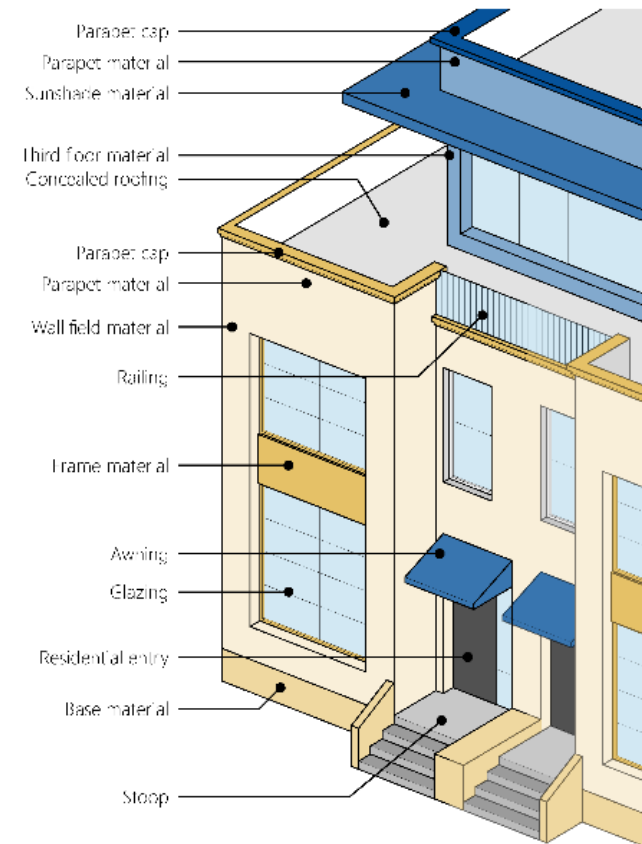
Changes in material and color should reinforce the base, middle, and top of the building.

Encourage Materials to Articulate Building Elements

- **Building material palettes** shall be used logically and consistently to emphasize different parts of the building
- The proposed Standards apply material palettes differently in each district to reinforce identity.



Components of a Commercial facade



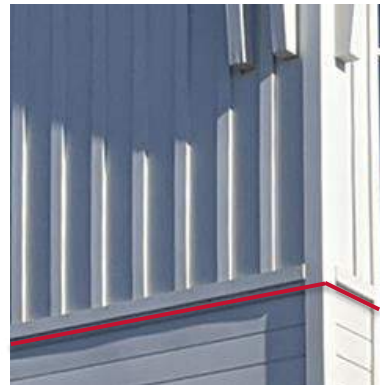
Components of a Residential facade

Color and Material Transitions

- **Colors and material transitions** should reinforce building volumes and façade articulation
- **Colors and materials should not change in the same plane.** If different colors or materials are in the same plane, they should be separated by trim deep enough to cast a clear shadow
- **Colors and materials should transition at *inside corners*** to visually reinforce building volumes



Material Change should be at the inside Corner for an appearance of solid material



Well-defined material and trim transitions

Material Palette Overview



Board Siding Materials



Masonry Materials



Roofing Materials

Roofing materials are categorized on whether they are visible roofing or concealed flat membrane roofs.

Limited Materials:



Panel Systems Materials

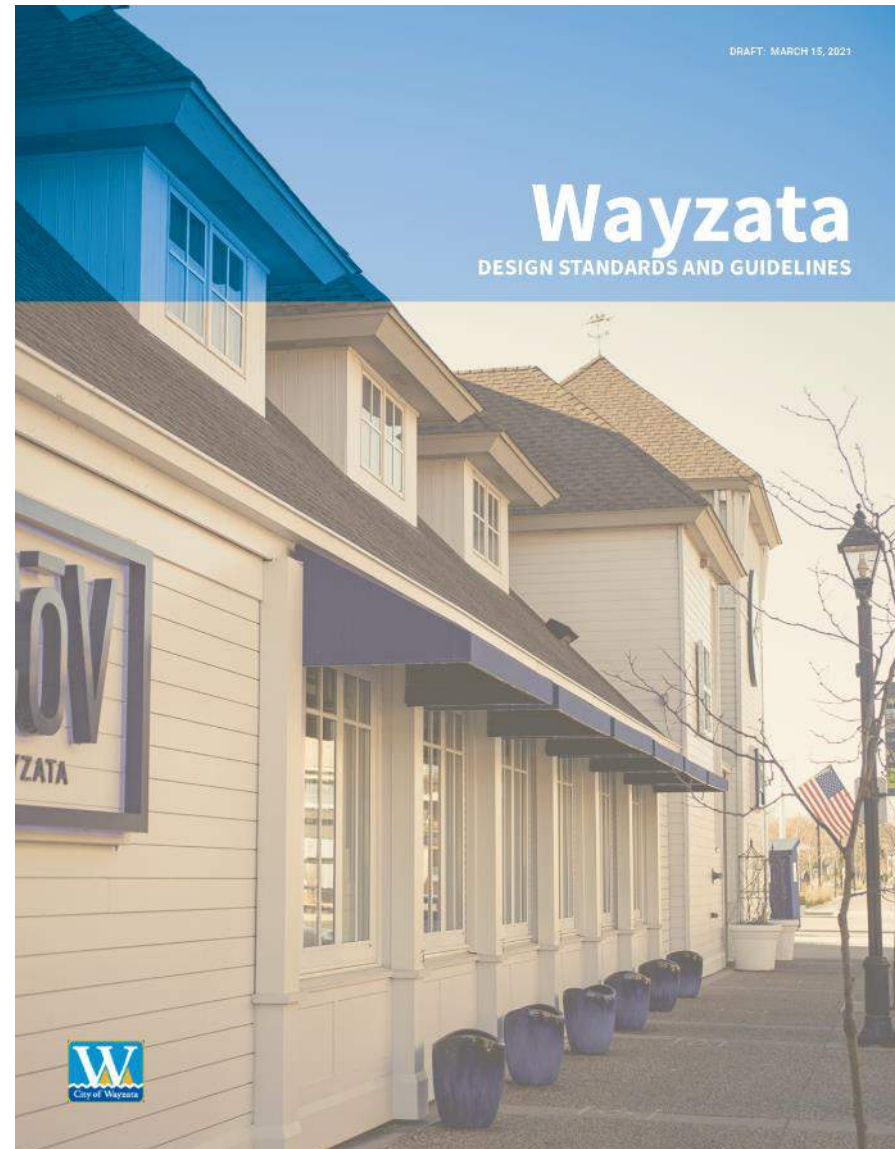
Limited to 3rd floor stepback and accent use at Lake and Bluff Districts, and 60% of façade at Wayzata Boulevard.



Stucco/EIFS Materials

Limited to rear/concealed facades at Lake St and Bluff Districts. Limited to 40% of area at Wayzata Boulevard

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Usable Open Space Design

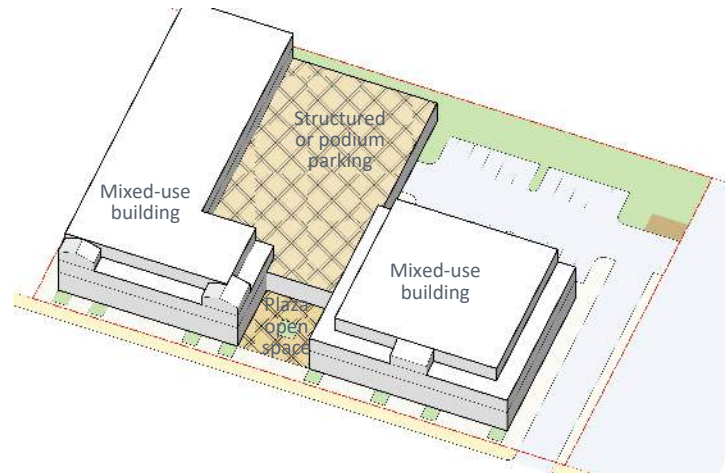
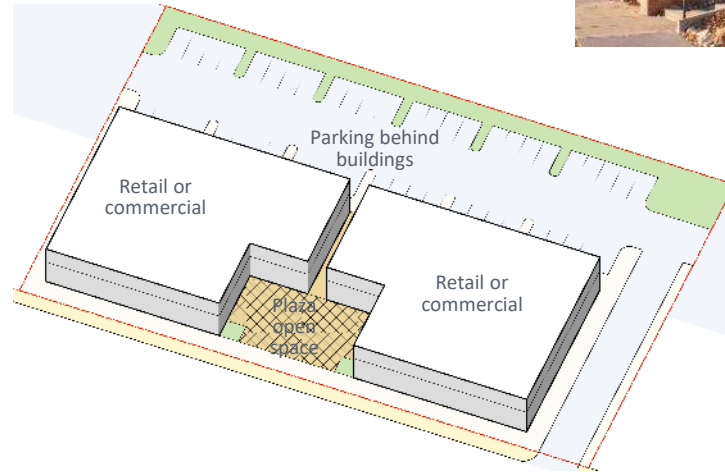
Zoning (919.08) requires 500sf Usable Open Space per unit, but does not provide minimum standards for quality. The

- Usable Open Space should be sloped less than 6.25% or terraced
- Open Space for private use shall be accessible from a dwelling unit and have a minimum 5 foot dimension to qualify as Usable
- Open Space for shared use by building residents shall have a minimum area of 250 square feet to qualify as Usable



Wayzata Boulevard: Short/Long Term

- Two potential focii for Standards
 - Short-term:
 - More sidewalk oriented main-street style commercial pad development on out-lots of strip retail and on small lots.
 - Require commercial development to provide an entrance door on Wayzata Boulevard and to provide additional sidewalk width on property.
 - Encourage new development and redevelopment to provide patios, small plazas, and other landscaped amenities.
 - Longer-term:
 - As single-use retail continues to decline, use zoning and design standards to channel investment into the creation of mixed-use neighborhoods in place of large single-use commercial development
 - Encourage shared use of parking facilities between adjacent properties
 - Work with Hennepin County to improve county-owned frontages on Wayzata Boulevard and Central Ave N.





DRAFT: MARCH 30, 2021

Wayzata

DESIGN STANDARDS AND GUIDELINES



Acknowledgments

The process of revising the Wayzata Design Standards would not have been possible without the collaboration of a large group of stakeholders, staff and representatives. We are grateful for the tireless work and passion of the following individuals and the community of Wayzata without which this document would not be possible. The depth of your commitment and conscientiousness has shaped this document as it will shape Wayzata in the years to come.

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Emily Goellner, Director of Community Development
Nick Kieser, Assistant Planner
Eric Zweber, Planning Consultant

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DRAFT

2 Introduction

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2.A INTRODUCTION

Founded in 1854, Wayzata was first known as a recreational destination on the shores of beautiful Lake Minnetonka. By the early twentieth century improved transportation allowed a balanced year-round community with a greater diversity of residents and commerce. The core of Wayzata's identity is founded on this generally modest community of engaged residents and business owners who built and sustained its strong small-town Midwest character and values for the past 120 years. These ideals are embodied in the vision of a "charming small town" -- a phrase frequently used by Wayzatans to describe their goals for community fabric and culture.

Recently, this shared conception of charm has come into conflict with some of the strongest development pressures in the Twin Cities region; in reaction citizens have demanded stricter oversight and applicants are experiencing significant difficulty obtaining approvals. Cognizant that change is inevitable and no place can be frozen in time, these Design Standards seek to guide applicants to successful development proposals that will fit comfortably within the community and enhance the built environment of Wayzata for generations to come.

These standards are crafted to fit within the vision of the Wayzata 2040 plan and focus on site and building design. It is essential to clarify that these guidelines do not presuppose a specific architectural style. Rather, these guidelines establish regulations and guidance on how proposed buildings can minimize the impact of their scale, relate to and reference existing context, incorporate quality materials, and provide the level of detail necessary to support the walkable main-street culture of a vibrant small town.



Purpose

The following Design Standards have been developed to shape the City's physical form and to improve the quality, character, and compatibility of new development or extensive renovations.

The Standards have three primary functions:

- To guide applicants wishing to significantly expand, renovate existing structures, or construct new buildings or parking within the commercial districts of the City;
- To assist the City and the public in reviewing development proposals;
- To improve the City's public realm -- its streets, sidewalks, walkways, and its streetscape and landscape treatments

The Standards also address issues of scale and topography that are especially critical to preserving and enhancing Wayzata's character.

Vision

The 2040 Comprehensive Plan sets forth guiding principles to increase walkability, provide more vibrant open spaces, improve access to enable greater physical activity and health for a multi-generational community, pursue a new focus on sustainability, while maintaining the charm that has characterized Wayzata for generations.

The Standards seek to implement the principles of the 2040 Plan by preserving a high quality "small town" environment while accommodating the inevitability of change. In order to provide compatibility with the scale and heritage of Wayzata the Standards encourage the reduction of building mass, the simple use of quality materials, and enhancement of building facades through articulation and well-designed detailing. These standards also will contribute to the improvement of the public realm and increased walkability and access through design.

Character

The character of Wayzata is defined by its natural setting. The location of the downtown business district along the shoreline of Lake Minnetonka, combined with the bluff that rises behind it, bestows an unusually scenic and picturesque quality. Elsewhere, the City is characterized by a wooded character and small lakes and ponds. Successful projects will be designed to reinforce their surrounding context and to minimize their impact on views and natural ecosystems.



Wayzata exists because of Wayzata Bay. Maintaining visual and physical connections to the lake is extremely important.

2.B APPLICABILITY

The Design Standards apply to all development in the City that has a nonresidential and/or multifamily component and that involves any of the activities listed in Code of Ordinances Section 909.04.B. Standards that fall under the heading "All Districts" or similar shall apply in all Design Districts. Standards specified for a particular District or Districts shall apply in those specified District or Districts.

The following activities **shall trigger compliance** with these Design Standards:

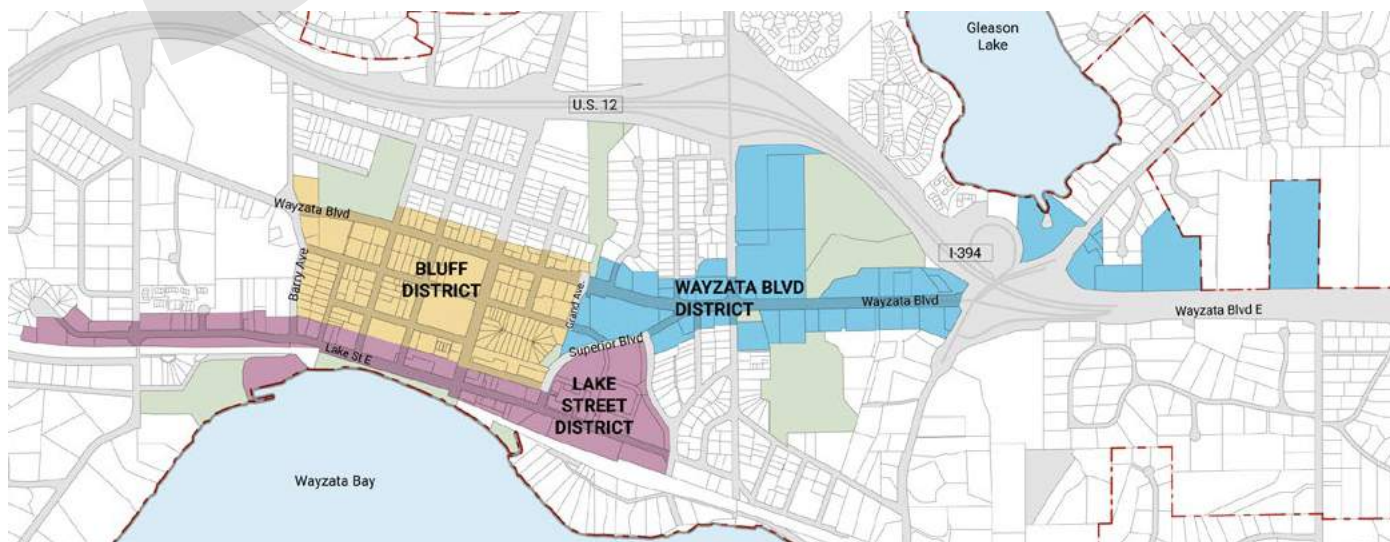
- Modification involving 50 percent or more of an existing building's exterior facade.
- New building construction.
- Addition which adds an additional story to an existing building.
- Addition which increases the existing building's square footage by 50 percent or more.
- Alteration of the roof massing and roof height of an existing building.
- Site alteration that changes 50 percent or more of the existing site.

The Design Standards **shall not apply** to the following activities:

- Replacement, repair, or modification of windows or doors.
- Replacement, repair, or modification of roofs with the same or similar materials.
- Exterior painting.
- Interior renovations.
- Site alterations which only repave or repair the existing site.

Design Districts

- The Lake Street District, extends along both sides of Lake Street from Circle Drive to the Wayzata Bay Townhomes at 201 W. Lake Street. Lake Street is the "Main Street" of Wayzata and the section between Circle and Ferndale should reinforce the existing character of buildings meeting the sidewalk, with a vertical rhythm evoking narrow storefronts, and distinct and diverse uses. Buildings proposed for Lake Street should support a vibrant and active street frontage and enhance visual and physical access to Wayzata Bay.
- The Bluff District, includes all the land atop the natural bluff above Lake Street generally bounded by Barry Avenue, the line of Grand/Superior Avenue and extending from a half block north of Lake Street to a half block north of Wayzata Boulevard. The Bluff District is characterized by a fabric of small-scale retail and office buildings, houses converted into offices, single-family, attached and multifamily housing, and anchor institutions such as City Hall, the Library, and St Bartholomew. Development here should respect the finer scale of its surroundings through careful massing and attention to fine grained materiality.
- The Wayzata Boulevard District extends east from the ravine below the Bluff District at Grand/Superior Avenue to the large commercial parcels on the north frontage of I-394, including frontage parcels on both sides of Wayzata Boulevard and the east side of Central Avenue. This area is currently characterized as a typical "commercial strip," but incremental change is anticipated that will gradually result in more mixed-use development in accordance with the 2040 Plan.



The Design Standards apply to the three specified Design Districts and elsewhere as defined by the City.

Land Uses in the Design Districts

Land Use is controlled by the underlying zoning within the district as enumerated in the Wayzata Code of Ordinances Part IX.

Housing uses are encouraged for all proposed projects located with commercially zoned areas in the Lake Street, Bluff, and Wayzata Boulevard Districts and in areas identified for Mixed-Use Commercial/Residential in the Wayzata 2040 Plan. Mixed-use development provides a residential consumer base for commercial uses, contributes to the 2040 goal of greater housing diversity, and evokes the traditional small-town arrangement of "living above the store".

Standards Outside the Design Districts

In areas outside of the three Design Districts, Standards shall apply based on the Land Use identified within the Wayzata 2040 Plan:

Project Location	2040 Comprehensive Plan Land Use	Applicable Design Standards
Lake Street District	All Land Uses	Lake Street District Standards
Bluff District	All Land Uses	Bluff District Standards
Wayzata Boulevard District	All Land Uses	Wayzata Boulevard District Standards
Commercial, Multi-family Residential, and Mixed Use Developments located outside the designated Design Districts	Estate Single Family	n/a
	One Acre Single Family	n/a
	Low Density Residential	Bluff District Standards
	Central Core Residential	Bluff District Standards
	Medium Density Residential	Bluff District Standards
	High Density Residential	Bluff District Standards
	Mixed-use Commercial/Residential	Wayzata Boulevard District Standards
	Institutional/Public	Bluff District Standards
	Semi-public/Private	Bluff District Standards
	Vacant	Bluff District Standards

2.C FRANCHISE ARCHITECTURE

Franchise Architecture is a standardized architectural building style or other elements such as signage or other building elements used as part of a standardized program to promote brand identity through visual recognition.

Applicants shall modify their standardized exterior designs as necessary to comply with these Design Standards, including but not limited to sections on Building Placement, Building Materials, Signage, and Lighting. Franchise Architecture shall:

- Locate the parking behind the building and shall provide an entrance at the sidewalk on the public right of way frontage
- Screen surface parking from the back of the sidewalk by a combination of planting strip, a wall less than 4 feet in height,
- Compose building facades and architectural elements such as awnings, trims, and roofing of materials drawn from the included Materials palettes; high intensity and florescent colors shall be prohibited for use.
- Franchise signage shall be integrated into the building architecture, complement and enhance proposed building materials, and comply with the following Standards. All new, altered and/or proposed signage for buildings must be submitted for review under Section 909.22 by the Planning Commission at the time of Design Standards Review application.



This gas station design subordinates the signage and branding elements to the building architecture while locating the pumps behind the building.



This small retail building uses detailing and additional height to enhance a one story franchise building

2.D HOW TO USE THIS DOCUMENT

DOCUMENT STRUCTURE

The Wayzata Design Standards document is organized into 3 Chapters and an Appendix:

1.0 Introduction

Explains why the Design Standards and Guidelines have been created, their intended function, where they apply, and how to successfully implement them.

2.0 Site Development Standards

Provides Design Standards and Guidelines for configuring sites to support the City's goals for high quality patterns of residential, commercial, and mixed-use development.

3.0 Building Design Standards

Establishes Design Standards and Guidelines for the architectural detailing of buildings, including massing, façade rhythm, creating visual interest through materials, and communicating building functionality and hierarchy through design

A.0 Appendices

The appendices provide reference information to support the content of the Design Standards.

3.C.3 Roof Design

The strategic use of flat and sloped roof forms can help break up the scale of larger buildings.

INTENT

Maximize small-scale architectural articulation and create a sense of scale and depth. The scale of buildings has grown due to new technologies and economic exigencies, and roof forms relating to massing can be effectively used to break down the scale of larger buildings.

APPLICABILITY

Every proposed multifamily and commercial facade exceeding 60 feet long and forming a public right of way shall comply with the following Roof Articulation Standards:

STANDARDS

- A maximum of 20% of the building facade facing each public right of way or all facades shall provide a sloped roof element. These roof elements can be provided at the upper story, setback or at the upper roof.
- A wide sloped roof is provided at the same level as the Upper Story Setback requirement in Section 3.C.2 shall be allowed to encroach into the setback by up to 50%, but shall not reduce the setback to less than 4 feet.
- Sloped roof forms shall provide decorative eaves and ridges, "guttering" over, and rainwater shall be permitted.

GUIDANCE

- Where provided, roof forms shall be designed and located to coordinate and enhance building massing, including Massing Breaks, Small Roofs, and Facade Articulation.
- Perimeter sloped roofs should provide a minimum slope of 6:12.

RELATED SUBSECTIONS

- 3.A.1 Public Frontages
- 3.C.1 Material Use and Articulation

Fig. 3.29 Wide sloped roofs are allowed to encroach into the required Upper Story Setback, but shall not reduce the setback to less than 4 feet.

Fig. 3.30 Roof overhangs at the third floor level.

Fig. 3.31 Illustration of flat roof forms reinforcing building massing.

Fig. 3.32 Broad overhangs also known as "guttering" eaves are prohibited.

Fig. 3.33 The roof area is shown as a form that is in character with the building wall relation.

3.C.4 Rooftop Equipment

One line blurb about subsection-friendly, similar to original document.

INTENT

Mechanics of equipment is a necessary roof element in providing a well-proportioned and well-organized building. Applicants must make every effort to conceal large and bulky equipment from public view.

APPLICABILITY

These standards apply to all commercial, multifamily residential, and related use developments.

STANDARDS

- Rooftop equipment less than 2 feet tall and 4 square feet in area shall be concealed by parapets or screens where the only view of the equipment will be from the roof.
- Rooftop equipment greater than 2 feet tall and 4 square feet in area shall be located within the Upper Story Setback and screened with all three horizontal elements extending to the level of the roof.
- Where photovoltaic panels shall be allowed on roofs, at the following locations:
 - Located directly on the slope or flat roof, surrounded by parapets of least 3 feet in height.
 - Installed on racks not exceeding 2 feet in height on flat or low slope roofs, surrounded by parapets of least 3 feet in height.
 - Installed on top of decorative bellows or affixed to the roof of the upper story setback, providing the decorative bellows structure extends at least 12 inches beyond the edge of the setback.

GUIDANCE

- To the maximum extent feasible, rooftop equipment shall be located in the least visually obstructed roof locations.

RELATED SUBSECTIONS

- Section 3.B.3 Upper Story Setback

Fig. 3.34 Rooftop equipment setback at main street.

Fig. 3.35 Rooftop equipment setback at side street.

Intent

Explains the rationale for the Standards

Standards

Enforceable and objective requirements for design and development

Images

Provide real-world demonstrations of the implementation of Standards and guidance.

Diagrams

Diagrams are provided to illustrate important and numerical Standards for development

Guidance

Where provided, additional Guidance helps to explain how standards can be met successfully.

Related Subsections

References to other related sections in the Design Standards

2.E SUBMITTAL REQUIREMENTS

Scope

In addition to the other requirements of the Zoning Ordinance, applicants seeking design approval under the Standards shall provide the following design information to the City with an application:

Site Documentation

1. Aerial image of subject property including identifying north, graphic scale, adjacent buildings, and public right of ways
2. Eye level perspective images of the site from all publicly accessible frontages adjacent of the site with adjacent buildings labeled
3. Colored Illustrative Site Plan of the proposed project including the following:
 - 3.1 Graphic scale, north arrow, and vicinity map inset
 - 3.2 Dimensioned property boundaries and underlying lot lines, easements, and labeled and dimensioned adjacent Rights of Way
 - 3.3 Dimensioned proposed building footprints; buildings and building openings located on adjacent properties
 - 3.4 Exterior paving
 - 3.5 Dimensioned setbacks from all property lines
 - 3.6 Dimensions for any surface parking or structured parking entrances.
 - 3.7 Location of any proposed at-grade refuse enclosures or mechanical equipment (eg. A/C condensers, backflow preventers, cooling towers, pump houses, electrical transformers)
 - 3.8 Site topography and drainage plan depicting any creeks, ponds, bogs, lakes, or other waterways within 50 feet of the project site with "top of bank" line and elevation indicated
4. Illustrated Landscape Plan of the proposed project including the following:
 - 4.1 Location of any Significant Trees onsite as designated by the City of Wayzata Tree Preservation Ordinance
 - 4.2 Extent of Landscaping and Tree Canopy depicted at five years' growth.
 - 4.3 Proposed hardscape location, dimensions, and area.

Design Documentation

5. Accurately colored and detailed three-dimensional perspective images from at least two vantage points that clearly show all aspects of the project. For small projects where the design changes mainly focus on a street facade, the perspective images may be waived.
6. Colored building elevations of all facades (one-eighth inch scale min.) including the following:
 - 6.1 Any structures or landscaping adjacent to the property line
 - 6.2 Height dimensions to the top of wall plate, 1/2 of the height of sloped roofs, and total height to the highest roof ridge or parapet
 - 6.3 Location and dimensioned clear width of any Massing Breaks and Building Recesses
 - 6.4 Incorporation and identification of material and finish of all windows, trims, eaves, awnings, trellises, doors, storefronts, chimneys, downspouts, vents, proposed roof equipment and screening, rooftop decks, elevator and stair enclosures, and other exterior building elements.
 - 6.5 Location and appearance of proposed fences, walls, and exterior mechanical equipment
7. Diagrams of each building facade providing:
 - 7.1 Calculations of glazing percentage and solid wall surfaces for all exterior facades
 - 7.2 Dimensioned length of each facade frontage, inclusive of any Building Recesses

8. Floor Plans of each floor including:
 - 8.1 Exterior entrances and glazing
 - 8.2 Dimensions for required Massing Breaks, Upper-level Stepbacks, and Building Recesses
 - 8.3 Residential common amenity areas and residential units
 - 8.4 Elevators, stairs, and building circulation
9. Roof Plan including:
 - 9.1 Conceptual location of any proposed rooftop mechanical details and dimensions of such equipment
 - 9.2 Equipment screening location and details
 - 9.3 Conceptual location and configuration of trellises, canopies, and photovoltaic solar arrays.
10. Conceptual Building Sections to depict the following:
 - 10.1 Relationship of building and parapet heights to adjacent buildings
 - 10.2 Section diagram showing concealment of any proposed rooftop equipment from eye-level view at adjacent public rights of way
 - 10.3 Any sites located on or directly adjacent to slopes greater than 10% shall provide longitudinal and cross sections through adjacent properties to illustrate how the proposed building fits within the surrounding topography
11. Presentations before the City Planning Commission and the City Council
 - 11.1 Presentation file in pdf or Powerpoint format providing a project overview, highlighting design features, and other information and material reasonably requested by City staff.

Material Documentation

12. Physical samples of all exterior materials used in connection with the project mounted on one 24x36" board with a proposed rendering of the project. Materials shall include (but not be limited to):
 - 12.1 Window frame corner and glazing samples.
 - 12.2 Window frame material and color
 - 12.3 Wall materials and color proposed for frontages on public right of ways
 - 12.4 If masonry is proposed, Masonry mortar color sample shall be provided
 - 12.5 Color chips for accent materials, trims, awnings, and architectural metalwork
 - 12.6 Samples of visible roofing
13. Cut sheets for proposed exterior lighting fixtures including
 - 13.1 Fixture material and finish
 - 13.2 Conceptual light output level (lumens), Backlight/Uplight/Glare (BUG) rating, and Color Rendering Index (CRI)

Physical Model

14. The City Planning Department may require an applicant for design approval to prepare an accurate three dimensional massing model, built to at least a 1"= 30' scale, that depicts the proposed development; any existing buildings on the site that will remain following the proposed development; any adjacent structures; and topography on the site with a contour interval of not less than two feet. A physical massing model is required for all projects involving properties of six acres or larger in lot area.
15. The City Planning Department may require a physical massing model for other projects requiring Design Review:
 - 15.1 The project is a complex development with structures or architectural features.
 - 15.2 The project is determined by the Planning Department to be of great public significance or highly visible
 - 15.3 The project negotiates conditions of unique topography, sensitive natural features, sensitive manmade features, or is highly visible.

2 Site Design

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2.A SITE DESIGN STANDARDS

Careful site design is a prerequisite for quality development. The configuration of development sites should use design strategies appropriate to the land area in order to relate to and better reflect the existing context to create cohesive neighborhoods.

Good site design helps buildings connect to and integrate better with the overall city fabric and provides amenities for a livable community. The single most important design strategy is prioritize people over automobiles by locate buildings adjacent to public streets and walks and by placing parking behind buildings.

The Standards and guidance provided in this chapter apply to projects at different scales with the understanding that site design and amenities becomes more important as development area grows larger.



Infill projects should continue the vibrant, walkable character of Wayzata and projects on larger sites should k to extend this character to fill in existing gaps.

2.A.1 Design Standards for Medium-Scale Sites

Site design for medium sized sites is more focused on the site than at small, infill sites.

INTENT

Site design determines the relationship between buildings and their surroundings. Medium-scale sites present more opportunities for landscaping and placemaking than small infill sites do. These sites are large enough to comfortably fit two or three buildings and additional site amenities. Medium-Scale sites should fill in gaps in the built fabric and sidewalk network of Wayzata.

APPLICABILITY

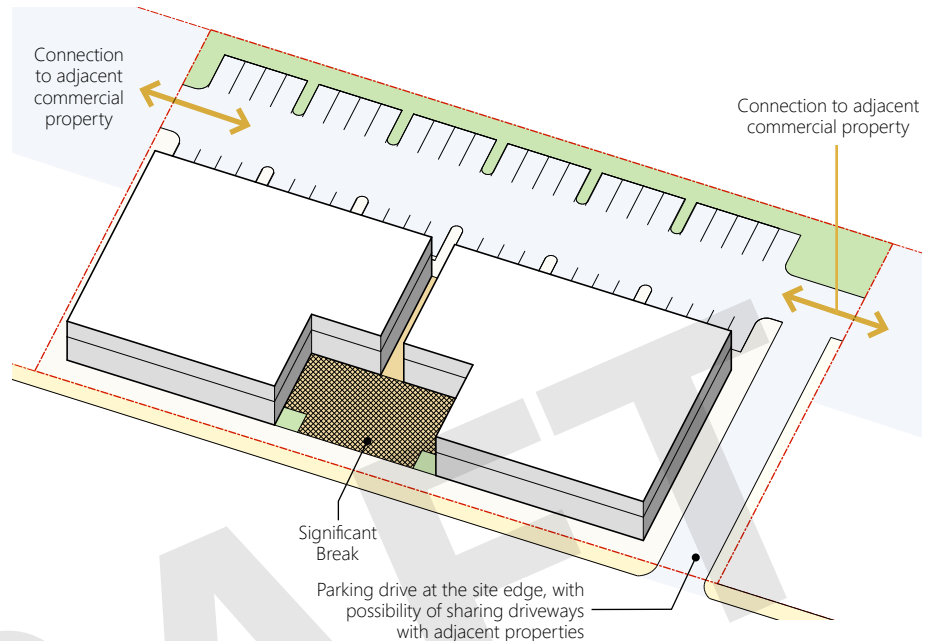
Medium-scale sites are defined as follows:

- A proposed total area from 1-3 Acres, either as a single parcel or multiple contiguous parcels in the same development application.

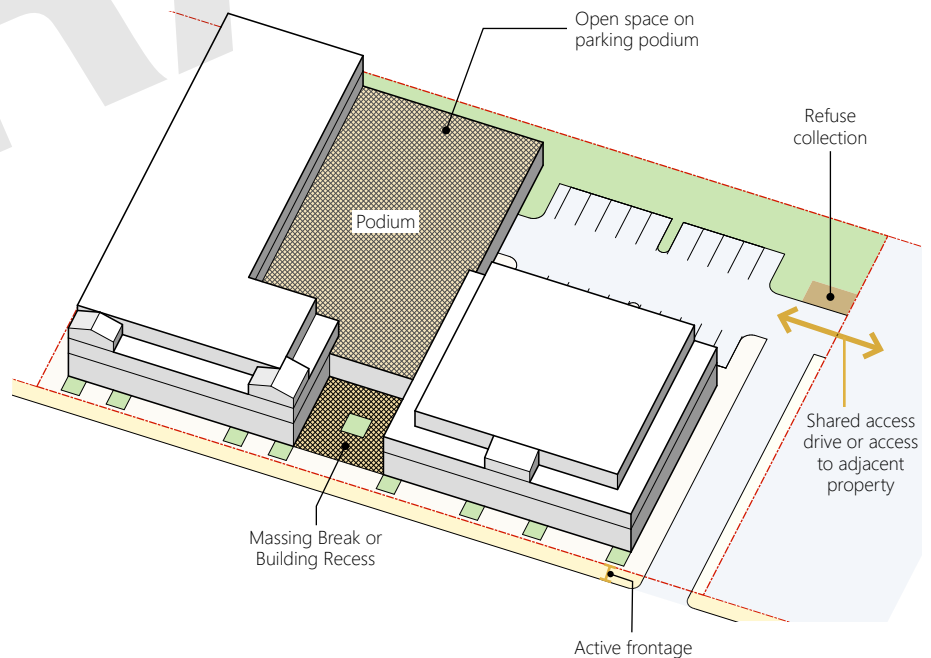
Medium-scale sites shall comply with underlying zoning.

STANDARDS

- S1. Proposed buildings shall be located along public rights of way and parking shall be located behind the building
- S2. Proposed buildings located on Hennepin county rights of way shall construct a sidewalk extension with a minimum 2 foot width on the proposed parcel.
- S3. Service areas such as refuse bins and trash rooms shall be located behind inside the building and away from any proposed Usable Open Space



LOW INTENSITY DEVELOPMENT OF A MEDIUM SCALE SITE



HIGH INTENSITY DEVELOPMENT OF A MEDIUM SCALE SITE

Fig. 2.1 Analyze and understand the importance of a development site within the surrounding context. Consider the location of uses and connections to the surrounding area when designing a new development.



Fig. 2.2 Retail development centered on a pedestrian walkway connecting store entrances to a rear parking lot.



Fig. 2.3 Corner plaza attached to ground floor retail.



Fig. 2.4 Active frontage at the ground level created using retail, restaurants and outdoor seating.

GUIDANCE

- G1. Proposed commercial buildings should provide a setback between the sidewalk and building sufficient to accommodate outdoor dining and seating areas.
- G2. Proposed residential buildings should provide a setback between the sidewalk and building sufficient to accommodate enhance landscaping, stoops, or terraces as required by subsequent site standards.
- G3. When required by [Section 2.B.1](#), retail and mixed-use site design should be centered around pedestrian walkways and plazas.
- G4. Site circulation elements should anticipate future connection to adjacent parcels where street or pedestrian connections are feasible, but not currently extant.
- G5. Residential and mixed-use projects should be sited to maximize opportunities for creating usable, attractive, well-integrated open space.
- G6. The design and location of a building and its massing on the site should enhance solar exposure for the project and minimize shadow impacts on adjacent structures and public areas.

RELATED SUBSECTIONS

[Section 2.B.1 Walkways and Pedestrian Amenities](#)

2.A.2 Site Design Standards for Large-Scale Sites

Development for larger scale sites should focus as much on the site as on the buildings

INTENT

Site design determines the relationship between buildings and their surroundings. Large-scale sites present the most opportunities for landscaping and placemaking. These sites are large enough to comfortably fit four or more buildings and additional site amenities. Since these sites are much larger than their surrounding context, proposed site design must provide internal circulation and appropriately-scaled amenities to sensitively fit into the surrounding town fabric.



Fig. 2.5 Multiple buildings developed on a large site, with internal circulation, appropriately-scaled open spaces and active frontages along the public streets.



APPLICABILITY

The following standards and guidance apply to all development sites that meet the following conditions:

- A proposed total area exceeding 3 Acres, either as a single parcel or multiple contiguous parcels proposed in the same application.

Large-scale sites shall comply with underlying zoning.

STANDARDS

- S1. In areas with identifiable street patterns, internal circulation (such as drives, driveway aisles, alleys, and private streets) shall align with the surrounding street network.
- S2. Proposed buildings shall be located at the edges of the site on public rights of way and parking shall be located behind the building or in the center of the site.
- S3. Proposed buildings located on Hennepin county rights of way shall construct a sidewalk extension with a minimum 2 foot width on the proposed parcel.

GUIDANCE

- G1. Proposed commercial buildings should provide a setback between the sidewalk and building sufficient to accommodate outdoor dining and seating areas.



Fig. 2.6 Commercial centers with active frontages towards the street and corner open spaces.

- G2. Proposed residential buildings should provide a setback between the sidewalk and building sufficient to accommodate enhance landscaping, stoops, or terraces as required by Section 3.C.2
- G3. Site circulation elements should anticipate future connection to adjacent parcels where street or pedestrian connections are not currently feasible.
- G4. The design of a building and its massing on the site should enhance solar exposure for the project and minimize shadow impacts on adjacent structures and public areas.
- G5. Residential projects should be sited to maximize opportunities for creating usable, attractive, well-integrated open space.
- G6. Proposed open spaces shall not be occupied by driveways, service areas, or any other vehicular use, temporary or otherwise.
- G7. Proposed open spaces should be oriented appropriately for solar exposure when possible to create a more comfortable micro-climate.

RELATED SUBSECTIONS

Section 3.C.2 Ground Floor Design

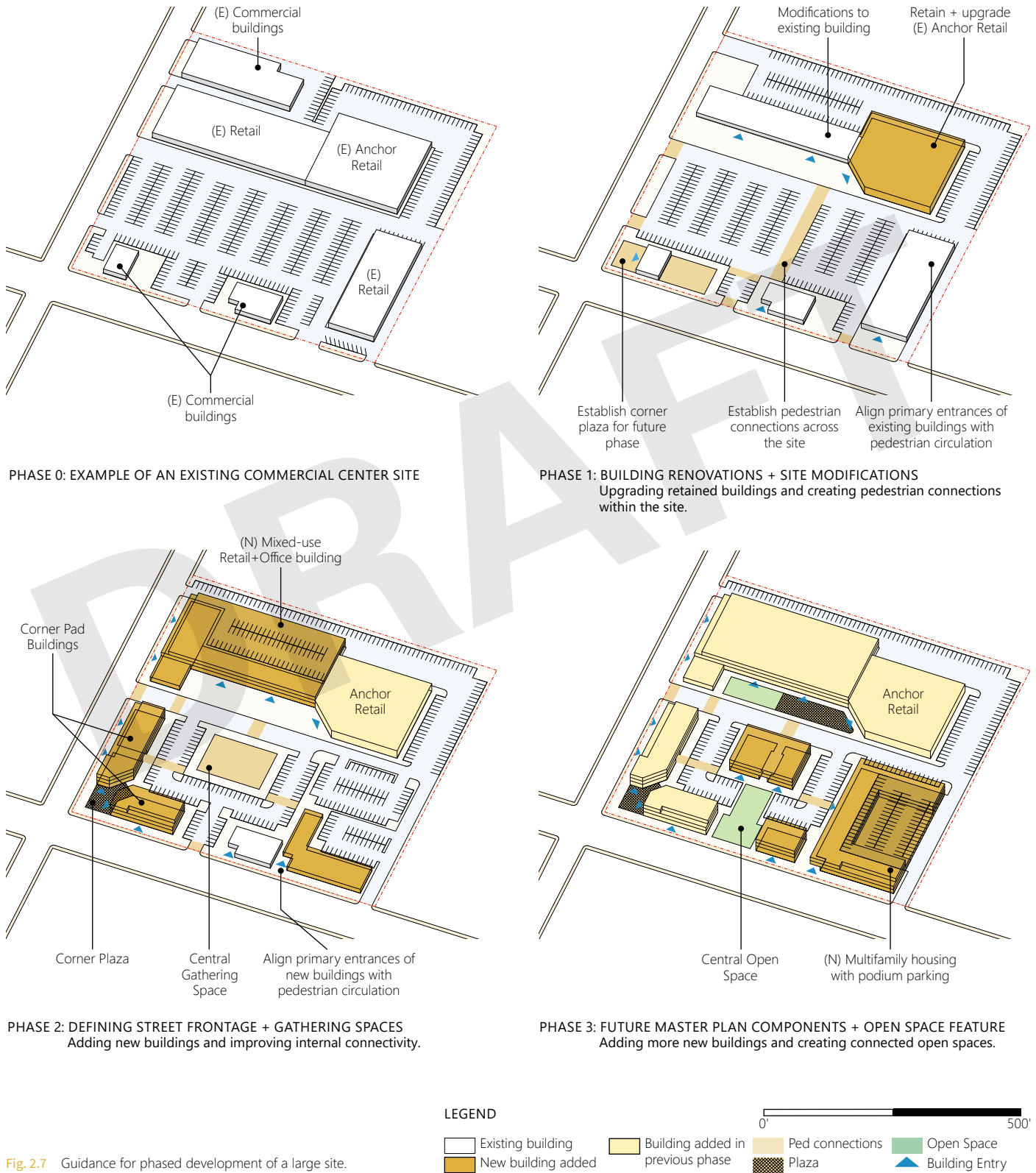


Fig. 2.7 Guidance for phased development of a large site.

2.A.3 Design Standards for Usable Open Space

Usable Open Space isn't a burden in a town like Wayzata, it's an amenity

INTENT

Open Spaces must be more than just the space between buildings. They provide desirable amenities to development residents and improve the perception of development quality while contributing to a unique sense of place.

APPLICABILITY

Usable Open Space for is required to be provided for residents of multifamily development, including multifamily mixed-use development, in accordance with Wayzata Code of Ordinances section 919.08: Usable Open Space. The following Design Standards establish the usability of Open Space where required by underlying zoning.

STANDARDS

- S1. Proposed Usable Open Spaces shall not be occupied by driveways, service areas, or any other vehicular use, temporary or otherwise.
- S2. Site area designated as Usable Open Space shall be sloped at less than 6.25% (3/4 inch per foot) or be terraced to achieve this slope.
- S3. Usable Open Space intended for private use by an individual dwelling shall meet the following:
 - Private open space shall be directly accessible from and adjacent to the associated dwelling unit
 - Private open space shall provide a minimum dimension of 5 feet
- S4. Usable Open Space intended for shared use by residents in a proposed building or development shall meet the following:
 - Buildings, streets, or walkways shall face onto shared use open spaces
 - Shared use open spaces shall provide a minimum area of 250 square feet
 - Shared use open spaces shall provide lighting, walkways, benches or tables, and landscaping.



Fig. 2.8 Roof terraces provide the opportunity for open space to be shared among building residents.



Fig. 2.9 Front terraces provide sociable, private open space.



Fig. 2.10 Stoops allow for a balance of privacy and interaction



Fig. 2.11 'Podium' levels on top of structured parking provide an opportunity for shared open space and resident amenities.



Fig. 2.12 Open Space requirements are an opportunity to create usable amenities for residents

GUIDANCE

- G1. Proposed open spaces should be oriented appropriately for solar exposure when possible to create a more comfortable micro-climate.
- G2. Open spaces should be the fundamental organizing element of the site plan for sites larger than 3 acres
- G3. Open spaces should provide good quality landscaping and amenities.
- G4. Residential developments on large scale sites should consider the inclusion of pet exercise areas.
- G5. If provided, play equipment should be located in areas demonstrated to be convenient and highly visible for a majority of residents.

RELATED SUBSECTIONS

Section 2.A.2 Site Design Standards for Large-Scale Sites



Fig. 2.13 A pet exercise area is a useful open space amenity for residential development on large sites.

2.B STANDARDS FOR SITE ELEMENTS

The following standards exist to ensure that the quality of site design extends from the overall concept to its constituent parts. This section focuses on the most important considerations to support good site design: the establishment of an active pedestrian realm through walkways and landscaping and the reduction of parking impact through sensitive parking design and location.



The layout of site elements should reinforce, not detract from, the overall design concept.

2.B.1 Walkways and Pedestrian Amenities

Encouraging walkability makes for good neighbors

INTENT

As both a small town established generations before the invention of the automobile and as a community blessed with a beautiful natural setting and phenomenal recreational opportunities, Wayzata should not be just another car-centric suburb. New development should strive to provide comfortable pedestrian access and to fill in existing gaps in the pedestrian network.

APPLICABILITY

The following standards apply to walkways interior to development sites and to public sidewalks. At public frontages, sidewalks shall also comply with relevant engineering standards of the City of Wayzata or of Hennepin County, as applicable.



Fig. 2.15 Walkways need to provide attractive lighting and landscaping

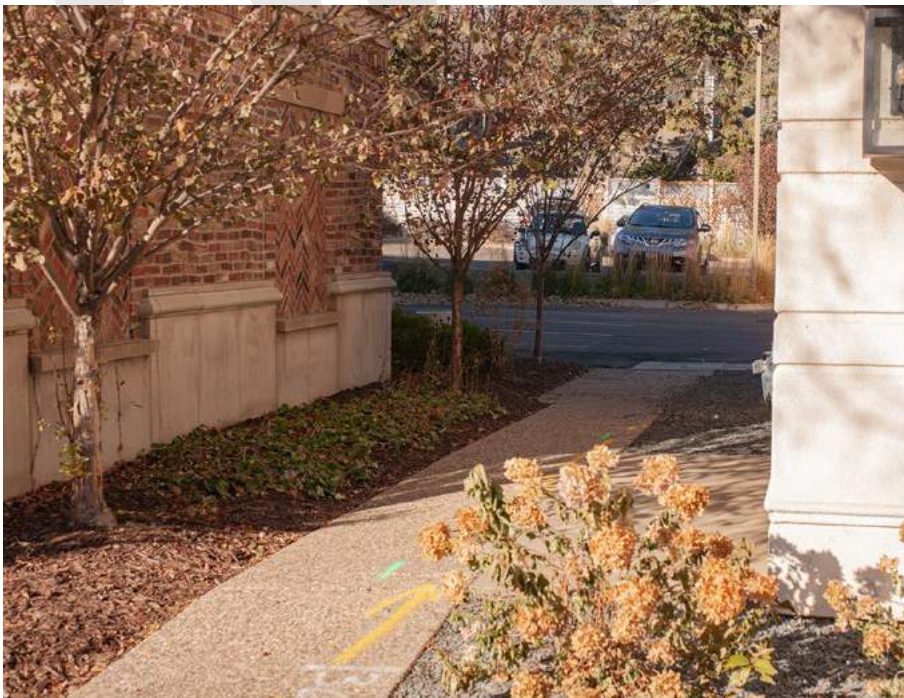


Fig. 2.14 A landscaped pedestrian walkway connects rear parking with the public sidewalk

STANDARDS

All Districts

- S1.** Continuous sidewalks shall be provided along all public street frontages to the following dimension:
- Lake Street District: 12 feet, inclusive of 6 foot planting zone
 - Bluff District: 5 feet
 - Wayzata Boulevard: sidewalk width inclusive of Hennepin County sidewalk and private improvement shall be no less than 7 feet in width.
- S2.** Where the street grid is interrupted by steep slopes or other topographic impediments, walkways, ramps, or stairways shall be provided to maintain pedestrian continuity.

Lake Street and Wayzata Boulevard

- S3.** Internal walkways shall extend from building entrances to rear or side parking areas. These walkways shall provide:
- Pedestrian-scale lighting
 - 5 foot minimum sidewalk width
 - 6 foot wide landscape strip at any adjacent building wall
- S4.** Sidewalk surfaces at public street frontages shall provide exposed aggregate/brick sidewalks matching those on Lake Street.

GUIDANCE

- G1.** Where parking lot or vehicular connections are infeasible between adjacent properties, walkway connections should be provided.

2.B.2 Surface Parking and Bicycle Parking

One line blurb about subsection- friendly, similar to original document.

INTENT

Parking is necessary for convenience and access, but it should not be allowed to overwhelm the friendly, walkable character of a small town. The following standards have been developed to respect the character of Wayzata.

APPLICABILITY

These Standards apply to all districts.

STANDARDS

All Districts

- S1. Off street parking shall be located behind buildings, or in side yards if a rear location is proven to be infeasible. Front yard and corner parking locations are prohibited.
- S2. Side yard parking lot width shall be limited to 60 feet and shall be separated from the sidewalk by a landscape buffer (See [Section 2.B.5 Parking Lot Landscaping](#)).
- S3. Side yard parking shall not extend beyond the front yard setback of the primary building on the property.
- S4. Side yard parking lots on adjacent properties shall be separated by a landscaped buffer with a minimum dimension of 20 feet.
- S5. Bicycle parking shall be provided as follows:
 - Commercial development providing more than 20 spaces shall provide a minimum of 4 secure bicycle parking spaces
 - Mixed-use development with a retail or commercial component shall provide a minimum of 4 secure bicycle parking spaces
 - Bicycle parking spaces shall be located within 100 feet of the main building entrance in a visible and convenient location.
 - Bicycle racks shall allow two points of locking and shall conform to applicable City standards.



Fig. 2.17 Visible and convenient bicycle parking serving commercial functions and located close to the main entrance

GUIDANCE

- G1. Surface parking should be located in the rear yard to the maximum extent feasible.
- G2. Bicycle parking should be weather protected by roofs or interior locations where feasible.

RELATED SUBSECTIONS

[Section 2.B.5 Parking Lot Landscaping](#)



Fig. 2.16 Bicycle parking shall be located convenient to main entrances.

2.B.3 Parking Structures

Parking structures must be integrated carefully into a small town context.



Fig. 2.18 A parking facade that achieves compatibility with the materials and rhythm of surrounding buildings

INTENT

Parking structures can be used to minimize surface parking, but are visually intrusive. The following Standards reduce the visual impact of parking structures to fit them into the small town context of Wayzata.

APPLICABILITY

These Standards apply to all above-ground parking structures. Private garages serving individual units shall be exempt from these Standards.

STANDARDS

All Districts

- S1.** Parking structures shall comply with all Design Standards for nonresidential buildings.
- S2.** Parking structure facades fronting any public street or walkway shall be

compatible with the materials and architectural rhythm of surrounding commercial buildings.

- S3.** Sloped floors or ramps shall not be expressed on exterior parking structure facades.
- S4.** Parking structure windows or openings shall be similar in scale and proportion to those of surrounding buildings.
- S5.** Trellised vines and other significant landscaping shall be used to minimize the visual impact of parking structure walls.

Lake Street District

- S6.** If any part of a parking structure abuts Lake Street, that entire portion of the ground floor facade shall be occupied by at least 80 percent retail usage, extending to a depth of at least 30 feet.
- S7.** Parking structures shall be located a minimum of 40 feet from the Lake Street right of way at the ground level.
- S8.** The top decks of parking structures visible from adjacent properties shall be designed with trellises and landscaping sufficient to screen at least 50 percent of the visible area.

GUIDANCE

- G1.** Parking structures should be located behind buildings to the maximum extent feasible.
- G2.** Where feasible, parking structures may be built partially subgrade or built into slopes to reduce their perceived mass.



Fig. 2.19 This parking structure is sited behind buildings and built into a slope to reduce visual intrusiveness.

2.B.4 Landscaping

Landscaping is the setting that will help make architecture shine.

INTENT

Lush and attractive landscaping helps to reinforce the charm of a small town like Wayzata and to mark the progression of the seasons. Development projects are responsible for providing both perennial site landscaping and for maintaining seasonally-appropriate displays of flowers.

APPLICABILITY

These Standards apply to all Design Districts.

STANDARDS

- S1. Street trees shall be planted at all public frontages to comply with the following:
 - Minimum size of three caliper inches
 - Maximum spacing of 26 feet
 - Located within a landscaped boulevard or tree well 6 feet in width
 - Street trees at Hennepin County right of way frontages shall be planted between the building and sidewalk.
- S2. Window boxes, hanging baskets and planters with seasonally appropriate plantings shall be provided at entries to buildings and public frontages at a rhythm corresponding to architectural features.
- S3. Development sites with street frontage exceeding 50 feet in length shall provide a minimum of one bench using a City-approved design for each 150 feet of frontage length.
- S4. Trellised vines shall be used to cover walls with more than 100 square feet of uninterrupted surface area.

GUIDANCE

- G1. To the maximum extent feasible, ornamental garden areas and trees shall be used at the street level.
- G2. Where feasible, attractively designed and finished bicycle racks and refuse cans should be provided.



Fig. 2.20 Landscaping contributes to an attractive building frontage and helps to buffer outdoor dining from the public sidewalk.

- G3. Landscape plans should demonstrate incorporation of seasonal variety and diverse color and texture to the maximum extent feasible
- G4. Perennial plants should be selected to include Minnesota native species, species attractive to pollinators, and low-maintenance species to reduce use of pesticides and water.
- G5. Perennial Landscape design should account for the growth of species over time and be designed for species growth 10 years after installation.



Fig. 2.21 Planters provided at entries add variety when perennials are out of season.



Fig. 2.22 Benches provide opportunities for socialization.

2.B.5 Parking Lot Landscaping

The goal of parking lot landscaping is to minimize the impact of parking lots.



Fig. 2.23 Surface parking lots shall provide Planting Strips parallel or perpendicular to parking aisles.

INTENT

When surface parking is proposed adjacent to public rights of way landscaping must be used to screen the view of parking.

APPLICABILITY

The following Standards apply to surface parking lots in all Design Districts.

STANDARDS

- S1.** A landscaped buffer strip shall be provided between surface parking areas and all sidewalks or public streets. Landscape buffers shall provide the following:
- 6 foot minimum planting width
 - Shade trees planted at 26 foot maximum spacing or a continuous, dense hedge
 - A decorative solid masonry wall between 3-4 feet in height

S2. Parking Planting Strips shall be provided at surface lots with more than one aisle. Such parking strips shall be either parallel or perpendicular to parking lot aisles to comply with the following:

- Parking Planting Strips shall be a minimum of 6 feet deep
- Parking Planting Strips oriented perpendicular to parking aisles shall be provided at a maximum average spacing of 40 feet on center.
- Parking Planting Strips oriented parallel to parking aisles shall be provided at a maximum average spacing of 65 feet on center.
- Shade trees shall be planted in Parking Planting Strips at 30 foot maximum spacing in parking planting strips and shall be 15 gallon minimum size.

GUIDANCE

- G1.** Developments proposing parking lots with multiple aisles should consider providing a pedestrian path through the parking area to the building entrance.
- G2.** Trees planted in the landscaped buffer strip should be aligned parallel to boulevard tree planting to the maximum extent feasible.

RELATED SUBSECTIONS

[Section 2.B.2 Surface Parking and Bicycle Parking](#)

[Section 2.B.6 Parking Lot Lighting](#)

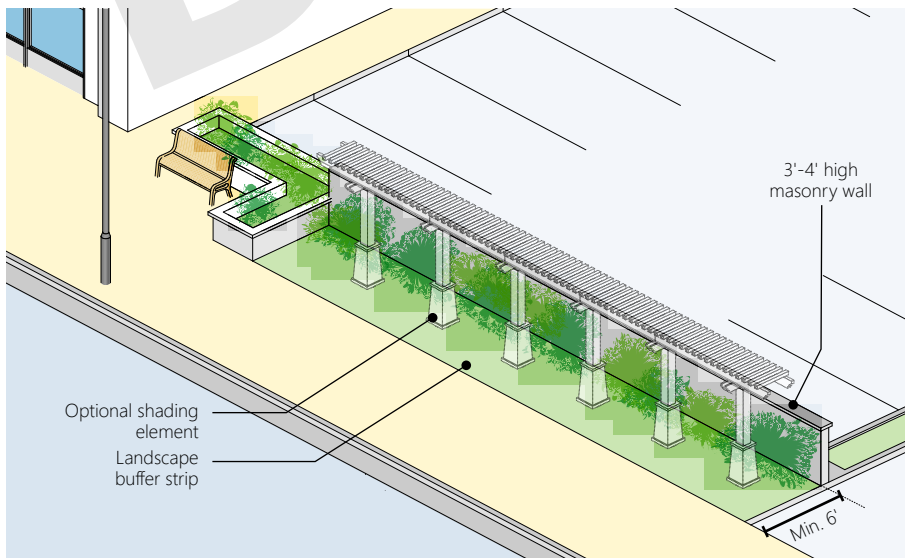


Fig. 2.24 Surface parking areas shall be screened from sidewalks and public streets using a landscape buffer strip.

2.B.6 Parking Lot Lighting

Site lighting should stay on the site.

INTENT

Uniform lighting is important to ensure safety and security, however the over-lighting of parking lots is a significant contributor to light pollution and impacts migratory species. These Standards ensure safety while protecting environmental quality.

APPLICABILITY

The following Standards apply to all surface parking lots used for commercial, multifamily, and mixed-use development in all Design Districts.

STANDARDS

- S1. Parking lot lighting shall be scaled in proportion with its surroundings. Fixture mounting height shall not exceed 24 feet.
- S2. Pedestrian-scaled lighting shall be provided at walkways and shall not exceed 13 feet in height.
- S3. Lighting fixtures shall minimize glare and light pollution through all of the following means:
 - Specified fixtures shall demonstrate a maximum Backlight/Uplight/Glare (BUG) rating of B2 U2 G0
 - Fixtures located less than 48 feet from property lines or residential windows shall be shielded to prevent light trespass.
 - Fixtures shall be located below the mature height of trees located in parking lot islands so as to minimize ambient glow and light pollution.
- S4. All lighting fixtures shall comply with City Code Section 916.06 as it relates to glare.
- S5. Where used at site lighting LED (Light Emitting Diode) luminaires shall be demonstrated to comply with the following:
 - Minimum Color Rendering Index (CRI) of 90
 - Correlated Color Temperature (CCT) between 2700-3500K.



Fig. 2.25 Pedestrian-scale and parking lot site lighting contributes to reducing light pollution by using fixtures with minimal backlight, uplight, and glow.

- S6. Light posts shall be a dark color selected to compliment proposed architectural materials.

GUIDANCE

- G1. Smart and networked technologies such as timers, motion, occupancy, and daylight sensors should be integrated to the maximum extent feasible to limit excess lighting and conserve energy.

3 Building Design

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3.A INTRODUCTION

Wayzata was once an ordinary small town in an extraordinary location on Lake Minnetonka. As the Twin Cities region has prospered, Wayzata has struggled with the inevitable growth pressures of suburbanization. It is the goal of residents, city staff, and elected representatives that new development make a concerted effort to respect the character of Wayzata and to prioritize comfortable small-town charm over statement buildings that stand out from their context.

However, It is not the intent of these Design Standards to require a singular design solution or architectural style for new development. The following Building Design Standards attempt to develop a common vocabulary of massing, materiality, and design elements that work together to develop a place-based character that reinforces a vibrant small-town lifestyle.

The following Standards will guide applicants to successfully break down the scale of their buildings, to develop façade patterns reflecting the traditions of the past while reinforcing human-scale, to propose simple cohesive material palettes that are applied logically to building massing, and to enhance building character through tasteful lighting and signage.



3.B MASSING

Building scale has been a contentious issue recently in Wayzata. Desires for economic efficiency have led to larger and larger projects that have been grossly out of scale with Wayzata's small-town character. Projects that have been perceived as out of scale have frequently run into issues gaining approvals, but guidance has not been clear for applicants.

The goal of these Massing Standards is to guide applicants to craft buildings that strategically reduce their bulk to respect the fine grain of Wayzata, respect views, and enrich the public life of our small town.

The following Massing Standards require applicants to break long buildings into smaller buildings, provide façade relief through recesses, and to substantially step back the upper floor to reinforce a two-story streetfront character.



3.B.1 Significant Massing Break

Long buildings must be subdivided to respect the small-town scale of Wayzata

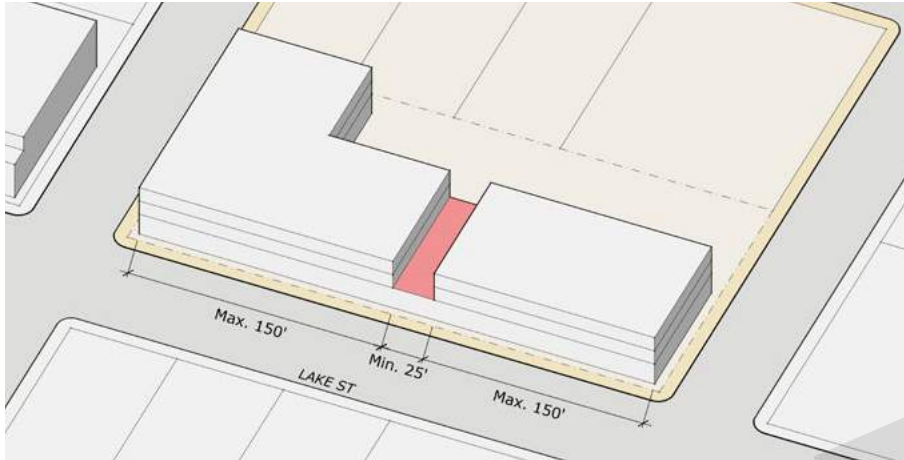


Fig. 3.27 Provide a significant massing break for every 150' of façade.

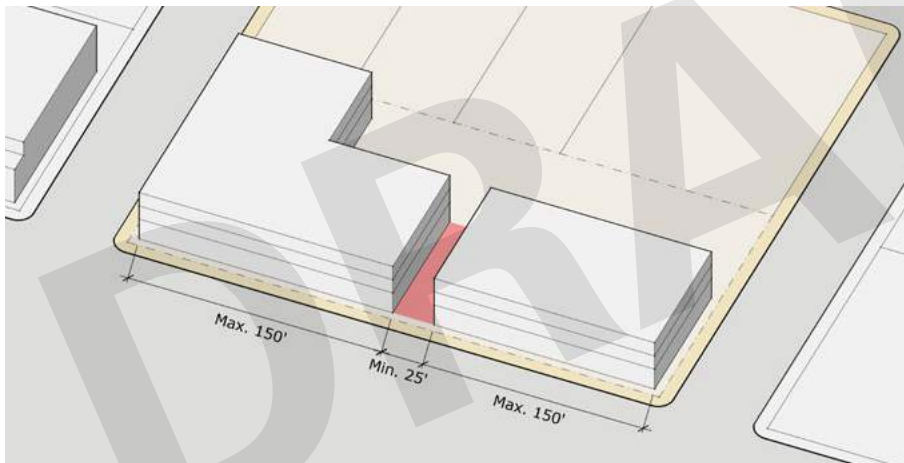


Fig. 3.28 For development located between Lake Street and the shoreline, provide mid-block connections for every 150' of façade to ensure views and access to the Lake when feasible.



Fig. 3.29 A significant massing break can help break down the scale of new development.

INTENT

The traditional town form of Wayzata is based on multiple buildings fitting within an average block length of 350 feet. These standards ensure that building mass are perceived to be smaller than a half block in length. In addition, significant massing breaks will preserve views of Lake Minnetonka.

APPLICABILITY

Significant massing breaks shall be provided at each façade longer than 150 feet on public rights of way.

STANDARDS

- S1. Buildings exceeding 150 feet of length on public rights of way shall provide one significant massing break for every 150 feet of façade to respond to the small-scale character of Wayzata. Significant massing breaks shall be defined as:
 - A massing void providing a minimum width of 25 feet and extending through the depth of the building for a minimum of two stories. (see Fig. 3.27)
 - A publicly accessible midblock pedestrian connection or street through the building with a minimum clear width of 25 feet. (see Fig. 3.28)
- S2. Proposed development located between Lake Street and the shoreline of Wayzata Bay shall provide any required significant massing breaks as midblock connections to provide views of Lake Minnetonka and allow for potential future access to the lake. (see Fig. 3.28)

3.B.2 Building Recess

Building recesses are required to provide relief for long façades and to create unique street fronting amenities.

INTENT

Along with significant breaks, smaller recesses can help reduce the severity of longer buildings. These regular façade breaks provide opportunities for increased outdoor dining, seating, landscaping, and other ground-level amenities.

APPLICABILITY

Building Recesses shall be provided at each façade longer than 100 feet on public rights of way.

STANDARDS

- S1. Building Recesses shall be provided to relieve the impact of long façades and to provide space for outdoor dining, seating, or landscaping. Significant massing breaks located at the ground level shall be allowed to qualify as a Building Recess.
- S2. Building Recesses shall provide a minimum dimension of 8 feet, a minimum area of 250 square feet, and shall be open to the sky above the ground floor. (see Fig. 3.30)
- S3. Building Recesses shall be provided to comply with the following:
 - a. **Lake Street:** one Building Recess shall be provided for every 100 feet of building frontage length on public right of ways
 - b. **Bluff District:** One Building Recess shall be provided for every 50 feet of building frontage length on public right of ways
 - c. **Wayzata Boulevard:** One Building Recess shall be provided for every 100 feet of building frontage length.

RELATED SUBSECTIONS

2.A.5 Landscape Design

3.B.1 Significant Break

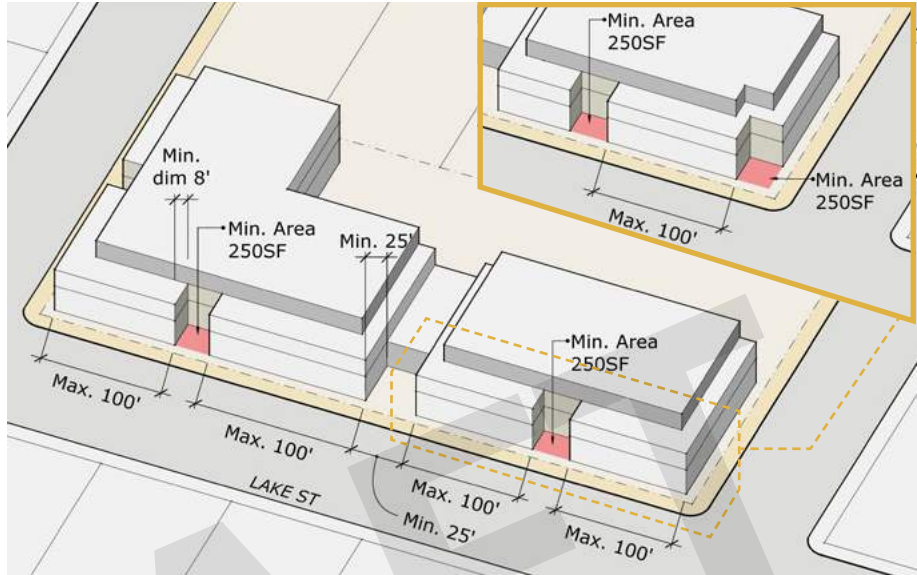


Fig. 3.30 Provide building recesses along façades longer than 100' in length. These may also be located on the corners, with appropriate spacing.



Fig. 3.31 A building recess provides a gracious entry to a restaurant



Fig. 3.32 Landscaping and seating provisions can impart a sense of privacy to these spaces, which can be restful locations in the city.



Fig. 3.33 A charming recessed space with lighting and landscaping, used for outdoor dining.

3.B.3 Upper Story Building Stepbacks

Stepbacks at the upper story reinforce the streetwall while reducing the perception of height.



Fig. 3.35 Upper story stepback in a mixed-use building.



Fig. 3.34 Upper story stepback in a residential building.

INTENT

Wayzata embodies the character of a small town by the lake. Buildings must prioritize small-scale massing to fit in. The following stepback standards ensure that the visual bulk of the third story elements is subordinated to two story massing. The third story design should be distinguished from the lower stories to visually recede from the small scale street frontage.

APPLICABILITY

Every proposed multifamily and commercial façade exceeding 60 feet long and fronting a public right of way shall provide an upper story stepback at the highest occupied story.

STANDARDS

- S1. Where required, a building Stepback shall be provided above the second floor to reduce the perceived bulk and height of new development.
- S2. Required stepbacks shall recess upper floors a minimum of 10% of the frontage length inclusive of the width of any provided Small Recesses (see Fig. 3.36).
- S3. The required stepback shall be allowed to be reduced where visible roof forms are located at the level of the stepback. Refer to [Section 3.C.3](#)

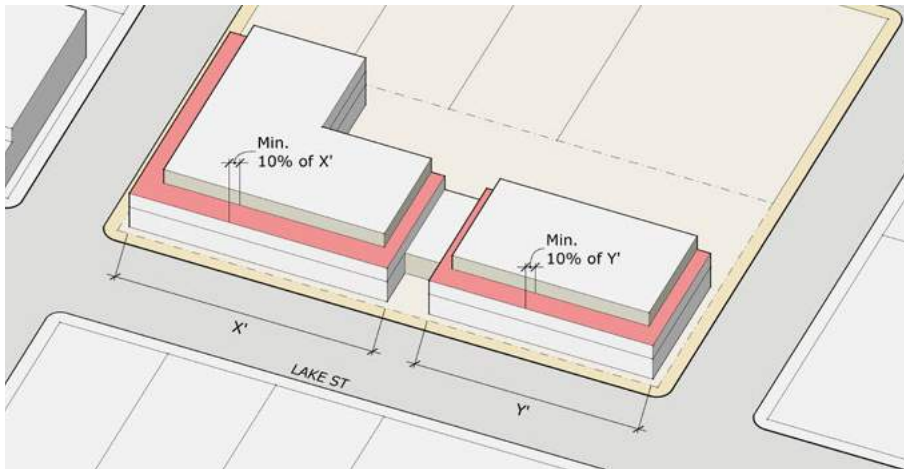


Fig. 3.36 Provide a stepback at the upper story of developments to reinforce the building streetwall and allow for increased vertical rhythm along the façade.

- S4. The following design elements shall be allowed to encroach within the stepback area:

- Awnings
- Permanently installed trellises or pergolas
- Sunshades
- Solid parapets and railings up to 42 inches in height
- Container plantings
- Visible sloped roofs as limited by [Section 3.C.3](#)

- S5. The following design elements shall be allowed to encroach in upper story stepbacks to a maximum width equal to 30% of frontage length:

- Decorative tower elements
- Screened porches
- Solariums
- Raised parapets exceeding 42" in height
- Glass windscreens exceeding 42" in height.

- S6. The defined stepback shall apply to each district as follows:

- a. **Lake Street District and Bluff District:** the defined Upper Story Stepback shall apply to the third floor.
- b. **Wayzata Boulevard District:** the defined Upper Story Stepback shall apply to the uppermost floor (see Fig. 3.36).

GUIDANCE

- G1. Wintertime sun orientation, solar access, and views of Lake Minnetonka are significant issues within the Design Districts. Building height should not negatively and significantly impact neighboring properties.

RELATED SUBSECTIONS

[Section 3.C.1 Facade Design](#)

[Section 3.C.3 Roof Design](#)

3.C ELEMENTS OF BUILDING DESIGN

Well-designed buildings throughout time and place have a few fundamental characteristics in common that transcend style. This section is provided to guide applicants toward design approaches that will fit comfortably in the fabric of Wayzata and will stand the test of time.

This section is structured around a tripartite division of building facades into a base, a middle, and a top. This horizontal articulation helps to anchor buildings solidly to the ground and relate them to human scale, while using the roofline to delineate them against the sky.

An additional design consideration embedded in this section is vertical rhythm. The traditional fabric of towns and cities from Wayzata to Warsaw was characterized by multi-story buildings on narrow lots; these created a complex vertical rhythm along the streetfront.

In the current era, economic imperatives favor the largest possible building to spread land and labor costs across the greatest rentable area. In order to fit in a traditional small-town context like Wayzata, buildings must articulate themselves with horizontal divisions and create a small-scale vertical rhythm.



Vertical bays and recessed balconies provide small-scale articulation to this larger building

3.C.1 Facade Design

The articulation of building façades adds to the visual richness of development and the character to neighborhoods.

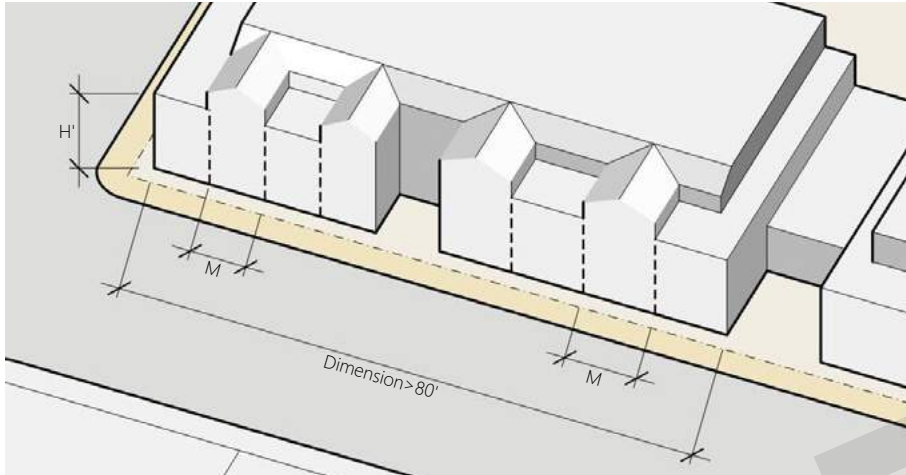


Fig. 3.37 Residential buildings - Design façades with base, middle, and top, and articulate them with bays, plane changes, decks, and balconies.

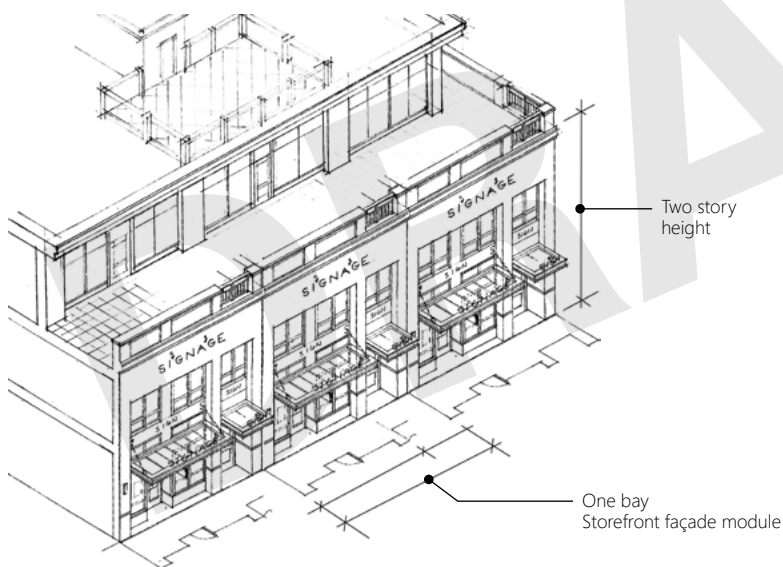


Fig. 3.38 Generation of human-scale streetscape by creating rhythm with façade articulation that emphasizes the first two stories of the building.



Fig. 3.39 Two story façade module



Fig. 3.40 Human-scale storefront façade with and shutters & awnings

INTENT

Most buildings in Wayzata were originally built on small lots, resulting in fine grained development. These Standards ensure that façades provide a vertical rhythm at a scale comparable to traditional development.

Attentive building design can provide transitions between different elements and reinforce visual hierarchies. Elements such as bay windows, awnings, balconies, changes in wall plane and parapet height, or the differentiation of materials and colors impart a human-scale and quality to larger building volumes.

APPLICABILITY

The following guidance applies across all districts, to buildings with individual facades that exceed 80 feet in length and front public rights of way.

STANDARDS

- S1.** Building articulation elements shall be provided at a maximum average spacing of 40 feet. (See Fig. 3.37)

GUIDANCE

- G1.** Facade articulation should be provided through any or a combination of the following:
- A projecting bay, entry vestibule, or recess extending from the ground level to the second floor
 - A ground-level Building Recess (refer to Building Recesses)
 - A change in the rhythm of both windows and awnings at the ground level and second floor.

RELATED SUBSECTIONS

Section 3.D Building Materials:
PLACEMENT

3.C.2 Ground Floor Design

Good buildings are a frame for the canvas of small town life

INTENT

The charm of Wayzata, like small towns everywhere comes from a lively streetscape that creates opportunities for window shopping, sociability, and spaces for people. Appropriate ground floor design for buildings is crucial to respect the charm of Wayzata and it is desirable to provide extensive transparency at ground floor glazing to reinforce the liveliness of commercial area.

APPLICABILITY

The following Standards apply to all commercial, multifamily, and mixed-use development.

STANDARDS

- S1.** Ground level commercial and mixed-use facades, defined as those located between two and twelve feet above ground level, shall meet the following standards:
- Lake Street and Wayzata Boulevard Districts: A minimum of 50% of the ground level facade fronting Lake Street and 25% of the ground level facade facing other public right of ways, or parking area or open space shall be glazed.
 - Bluff District: A minimum of 35% of ground level facades facing public right of ways shall be glazed.
- S2.** Facade transparency is essential for good Ground Floor Design. The applicant shall provide facade diagrams with calculations of glass and solid surfaces. Glazing required by this section shall comply with the following:
- Glazing shall be clear glass with a visible light transmittance of at least 80%.
 - Glazing shall not be obstructed with opaque films or signage
 - The minimum unobstructed depth from the required glazing to the closest parallel interior wall shall be 10 feet.



Fig. 3.41 Ground level commercial façade in a mixed-use building with residential above.



Fig. 3.43 Storefront with expansive glazing

- S3.** Main entry doors shall be primarily glass. If, for security reasons, a glazed entry door is not possible or practical, a main entry door shall be well detailed with decorative panels. Wood doors consistent with this standard may be utilized for retail and office buildings.



Fig. 3.42 A fabric awning provides protection and character at a traditional storefront



Fig. 3.44 A storefront and awnings accentuate a corner



Fig. 3.45 Stoop entry with low fence



Fig. 3.46 Stoop entry with landscaping

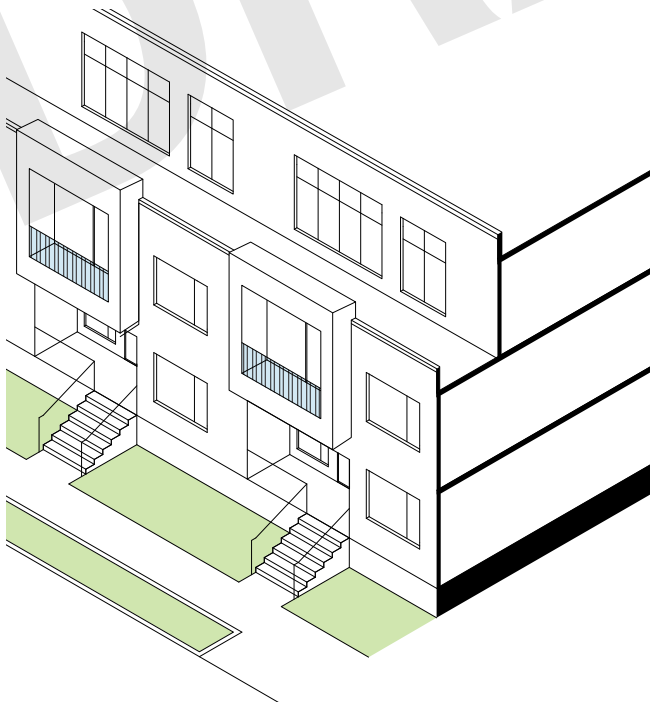


Fig. 3.47 Secondary exterior entry provided in the form of a stoop.

S4. Awnings shall be limited to the following:

- Fabric awnings composed of heavy canvas in colors complimenting the proposed color palette.
- Well-detailed aluminum or steel awnings complimenting the proposed color palette.
- Glass awnings using frosted or clear glazing
- Backlight, waterfall, and box awnings shall be prohibited,

S5. Ground floor residential units shall comply with the following standards:

- Lake Street District and Wayzata Boulevard: Residential units located within 4 feet of ground level at public right of way or open spaces shall provide a secondary exterior entry to the unit as a private terrace or stoop.
- Bluff District: Residential units located within 4 feet of ground level at any public right of way shall provide a secondary exterior entry to the unit as a residential stoop.
- Where site constraints prevent units from being raised above grade, entries and private terraces may be located less than 2 feet above grade if provided the unit entry door is set back a minimum of 8 feet from property line.

GUIDANCE

- G1. Residential units located at the ground floor are strongly encouraged to meet the preceding facade transparency standard Section 3.C.2 S2
- G2. Multifamily buildings are encouraged to locate resident amenity rooms, leasing offices, and resident lobbies at locations fronting on public right of ways and to provide storefront design at these locations.

3.C.3 Roof Design

The strategic use of flat and sloped roof forms can help break up the scale of larger buildings.

INTENT

Vernacular small-scale architecture in cold climates was characterized by steeply sloped roofs to shed snow and rain. While the scale of buildings has grown due to new technology and economic imperatives, small visible roof forms relating to massing can be effectively used to break down the scale of larger buildings.

APPLICABILITY

Every proposed multifamily and commercial façade exceeding 60 feet long and fronting a public right of way shall comply with the following Roof Articulation Standards

STANDARDS

- S1. A visible sloped roof provided at the same level as the Upper Story Stepback required in [Section 3.B.3](#) shall be allowed to fully encroach in the stepback up to a maximum width equal to 40% of the façade length.
- S2. Sloped roof forms shall provide decorative eaves and rakes; 'porkchop' eave and rake returns shall be prohibited.

GUIDANCE

- G1. Visible sloped roofs should be located to accentuate building massing and significant architectural features.
- G2. Where provided, roof forms shall be



Fig. 3.48 A combination of Upper Story Stepbacks and visible sloped roofs can provide rooftop variety and reinforce building massing.

designed and located to coordinate and reinforce building massing including Massing Breaks, Small Recesses, and Façade Articulation.

- G3. Visible sloped roofs should provide a minimum roof pitch of 9:12.

RELATED SUBSECTIONS

[Section 3.B.3 Upper Story Building Stepbacks](#)



Fig. 3.49 'Porkchop' eave returns are prohibited.

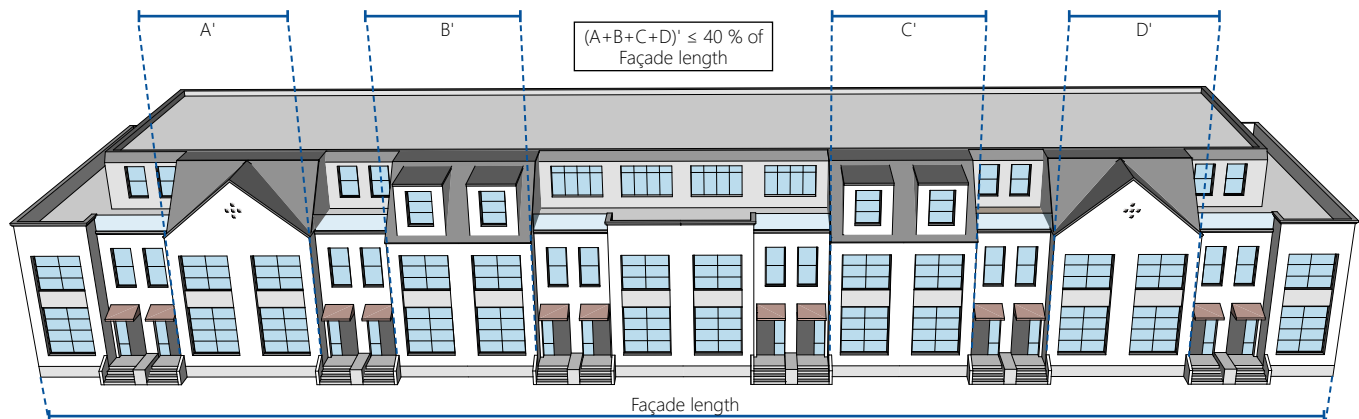


Fig. 3.50 Visible sloped roofs are allowed to encroach into the required Upper Floor Stepback, up to a maximum width of 40% of the façade length.

3.C.4 Rooftop Equipment Location and Screening

Necessary equipment should be located where it won't detract from the architecture



Fig. 3.51 Aerial view and street view of concealed rooftop equipment at the second floor / stepback level.

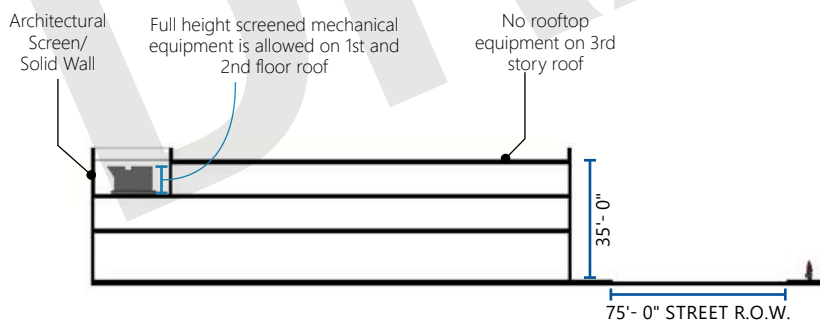


Fig. 3.52 Rooftop equipment setback for development in the Lake Street District.

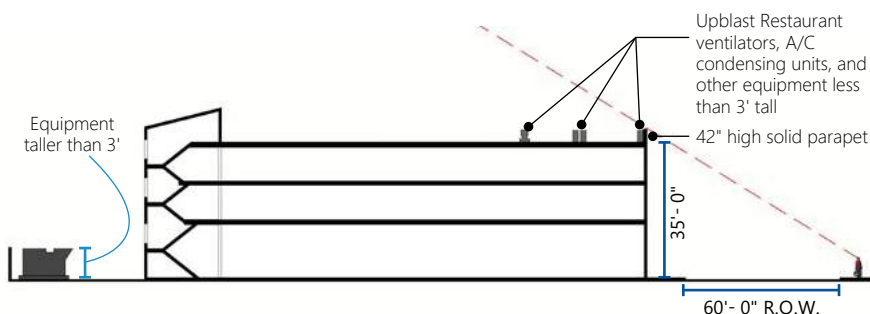


Fig. 3.53 Mechanical equipment placement for development in the Bluff and Wayzata Boulevard Districts.

INTENT

Mechanical equipment is a necessary evil. While it is governed by overlapping codes and regulations, applicants must make every effort to conceal large and bulky equipment from public view.

APPLICABILITY

These standards apply to all commercial, multifamily residential, and mixed-use development.

STANDARDS

S1. Rooftop equipment shall meet the following standards:

- Lake Street District: No mechanical equipment shall be allowed to be located on the uppermost roof. Mechanical equipment shall be located on roofs above first or second floors at rear or interior side parcel locations and shall be screened with compatible architectural elements at least one story in height.

- Bluff District and Wayzata Boulevard: Mechanical equipment less than 3 feet tall and 9 square feet in area shall be fully concealed by 42" parapets or compatible architectural elements and located in a visually unobtrusive location. Mechanical equipment exceeding this standard shall be located at grade in the rear or side yard and concealed from view.

S2. Solar photovoltaic (PV) panel installations shall meet the following standards:

- Lake Street District: PV panels shall be prohibited at sloped roofs and prohibited from flat or low-slope roofs with a surface visible from any property within 500 feet.
- Bluff District: PV panels shall be allowed to be installed on flat or low-slope roofs or on decorative trellises and arbors.

S3. Where allowed solar photovoltaic (PV) panels installed on flat or low-slope roofs shall be installed on racks not exceeding 2 feet in height and surrounded by parapets at least 3 feet in height

S4. Where allowed solar photovoltaic (PV) panels installed on decorative trellises or arbors shall be recessed at least 12 inches from the edge of the structure

GUIDANCE

G1. To the maximum extent feasible, rooftop equipment should be clustered in the least visually obtrusive roof top locations.

RELATED SUBSECTIONS

[Section 3.B.3 Upper Story Building Stepbacks](#)

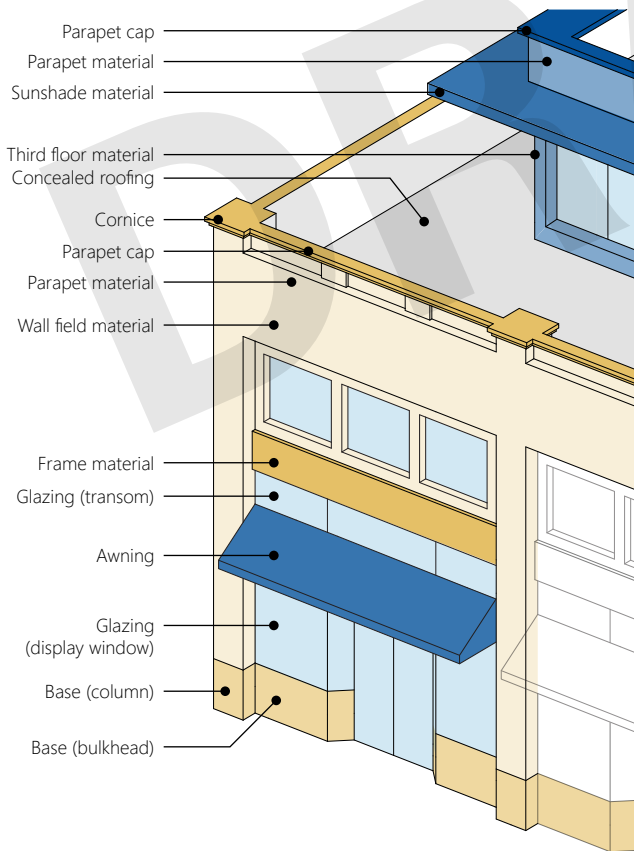
3.D Building Materials: PLACEMENT

The successful expression of materiality is inherently connected to tactility, tectonics, and tradition.

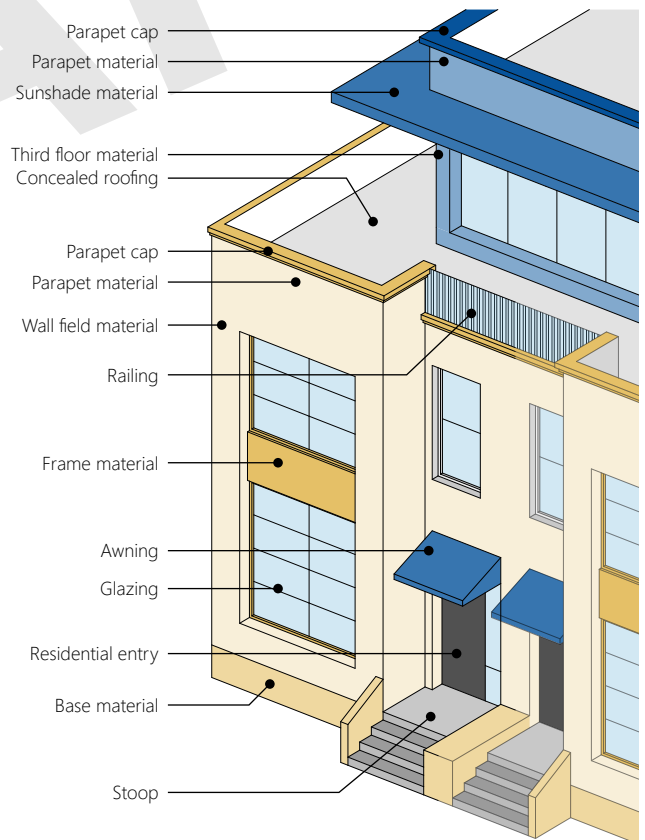
It is unfortunate that even the right material can be easily used in the wrong location or in the wrong application.

The following section establishes the materiality of building elements by providing standards for the application of materials, defining types of materials, and identifying complementary materials to connect proposed architecture with the character of Wayzata and the heritage of small-town Minnesota.





Components of a Commercial façade



Components of a Residential façade

3.D.1 General Standards for Materials Placement

Materials need to be used in a restrained and purposeful manner

INTENT

As a small town, individual projects have a big impact in Wayzata. Recent development has departed from the traditional material palette of wood and masonry, and issues of identity have become increasingly important. While these guidelines seek to allow some degree of flexibility in design, it is essential for projects to use high quality materials in conventional and expected applications.

APPLICABILITY

These General Standards apply to all multifamily and commercial development in Wayzata.

STANDARDS

- S1.** The materials used shall be consistent with the Material Application Standards identified in Section 3.D.2 through Section 3.D.7 and with the Standards for Materials and Detailing identified in Section provided in Section 3.E.1 through Section 3.E.6.

GUIDANCE

- G1.** Higher quality and more human-scaled materials should be focused at ground level on public rights of way and at building entrances.
- G2.** The number of materials used will depend on the size of the project, but buildings should attempt to limit themselves to no more than 4 wall materials:
- Base material
 - Primary wall material
 - Second or Accent wall material
 - Wall material at the upper story stepback
- G3.** Materials should not be used to camouflage overly complex massing or inappropriate building scale

RELATED SUBSECTIONS

Section 3.D.2 Building Base Materials Application

Section 3.D.3 Public-facing Walls Materials Application

Section 3.D.4 Concealed Rear or Parcel Interior Walls Materials Application

Section 3.D.5 Upper Story Stepback Materials Application

Section 3.D.6 Balconies and Soffit Materials Application

Section 3.D.7 Roof and Parapet Materials Application



Fig. 3.54 Materials and color can be used to create the appearance of multiple buildings



Fig. 3.55 Changes in materials shall be used to emphasize building masking

3.D.2 Building Base Materials Application

The Building Base should evoke solidity



Fig. 3.56 Use of a strong building base anchors a mixed-use building to the site



Fig. 3.57 Masonry buildings in the Bluff District do not require a separate masonry base

INTENT

The building base should be designed to provide a robust transition between the building and the ground. Well defined building bases provide a readable sense of continuity to buildings and anchor buildings to their sites.

APPLICABILITY

The following guidance applies across all districts to all multifamily and commercial buildings.

PERMITTED MATERIALS

- Masonry Materials as defined in [Section 3.E.3](#)

STANDARDS

Lake Street District

- S1.** Buildings shall provide a defined base above ground level between 2-3 feet in height for the entire length of the Facade inclusive of storefronts.

- S2.** The Building Base shall be composed of *Masonry Materials*; projecting trims and moldings shall also be composed of complementary *Masonry Materials*

Bluff District

- S3.** Buildings proposing masonry facades shall not be required to provide an additional masonry base.
- S4.** Where required, the defined Building Base shall extend to 2-3 feet in height above ground level.
- S5.** The Building Base shall be composed of *Masonry Materials*; projecting trims and moldings shall be composed of either complementary *Masonry Materials* or dimensional *Board Siding Materials*

Wayzata Boulevard District

- S1.** Buildings shall provide a defined base above ground level between 2-3 feet in height for the entire length of the Facade inclusive of storefronts.
- S2.** The Building Base shall be composed of *Masonry Materials* as described in [Section 3.E.3](#); projecting trims and moldings shall also be composed of complementary *Masonry Materials*.
- S3.** Polished face CMU in hues similar to allowed *Masonry Materials* shall be allowed as an additional Building Base material within the Wayzata Boulevard District

RELATED SUBSECTIONS

[Section 3.E.3 Masonry Materials and Detailing](#)

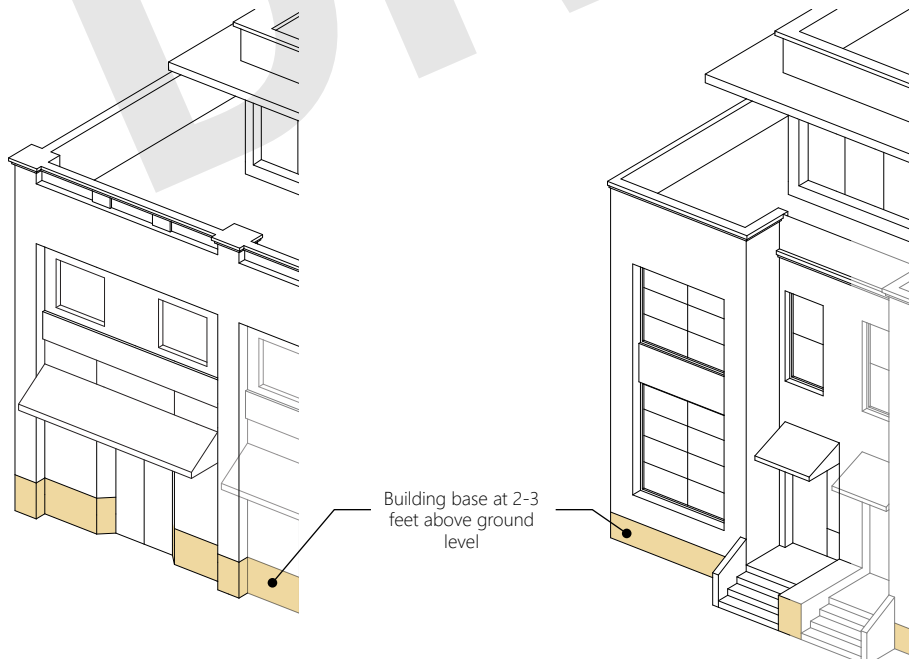


Fig. 3.58 Masonry Base location at mixed-use building (left) and multi-family building (right)

3.D.3 Public-facing Walls Materials Application

Wall materials should emphasize proportions of two story massing

INTENT

Facades fronting on public right of ways should carefully choose materials to present a cohesive appearance characterized by high quality materials and detailing at lower levels.

APPLICABILITY

The following standards apply to all materials used on facades fronting on public right of ways.

PERMITTED MATERIALS

The following materials may be used on public-facing walls as a primary and/or accent material:

- Masonry Materials as defined in [Section 3.E.3](#)
- Board Siding Materials as defined in [Section 3.E.2](#)

The following materials may be used on public-facing walls as an accent material only:

- Architectural Panel System Materials as defined in [Section 3.E.4](#)
- Stucco/EIFS Materials (limited to the Wayzata Boulevard District) as defined in [Section 3.E.5](#)

STANDARDS

Lake Street District

[Board Siding Materials](#)

- S1.** Digitally printed extruded aluminum siding shall be prohibited as a primary wall material.

[Architectural Panel System Materials](#)

- S2.** The use of Architectural Panel Systems Materials shall be limited to use at facade recesses, inset wall panels, projecting bays, awnings, and entrance canopies; where used Architectural Panel Systems Materials shall be limited 20% of the facade area per frontage.



Fig. 3.59 Walls may use one material or use an accent or field material within a frame

Bluff District

[Masonry Materials](#)

- S3.** Masonry Materials proposed for wall applications in the Bluff District shall be limited to dimensional brick, natural stone, cast stone, or adhered stone in combination with mortar. Preassembled masonry panels shall be prohibited.

[Board Siding Materials](#)

- S4.** Same as S1, 3.D.3.

[Architectural Panel System Materials](#)

- S5.** Same as S2, 3.D.3.



Fig. 3.60 A simple and elegant façade color scheme may be created using contrasting frame and field materials, with a strong base.



Fig. 3.61 Board siding material used on levels above masonry material on primary walls.



Fig. 3.62 One material and color unifies this two story element

Wayzata Boulevard District

Masonry Materials

- S6.** Preassembled masonry panels shall be allowed in the Wayzata Boulevard District.

Board Siding Materials

- S7.** Digitally printed extruded aluminum siding shall be prohibited as a primary wall material.

Architectural Panel System Materials

- S8.** The use of Architectural Panel Systems Materials shall be limited to use at facade recesses, inset wall panels, projecting bays, awnings, and entrance canopies. The combined use of Architectural Panel Systems Materials as primary and accent wall material at public-facing facades shall be limited to 60% of the facade area per frontage.

Stucco/EIFS Materials

- S9.** The use of Stucco/EIFS Materials as a wall accent material at public-facing facades shall be limited to 40% of the facade area per frontage.

GUIDANCE

All Districts

Board Siding Materials

- G1.** Board Siding Materials should not be used below Masonry Materials for primary/accent walls.

RELATED SUBSECTIONS

Section 3.E.1 General Standards for Materials and Detailing

Section 3.E.2 Board Siding Materials and Detailing

Section 3.E.3 Masonry Materials and Detailing

Section 3.E.4 Panel Systems Materials and Detailing

Section 3.E.5 Stucco and EIFS Materials and Detailing

Fig. 3.63 Two materials and complementary trim in three colors logically accentuate massing without additional complexity.

3.D.4 Concealed Rear or Parcel Interior Walls Materials Application

Walls concealed from public view do not need as intense materiality and articulation as public-facing facades.

INTENT

While walls fronting on public rights of way must provide high quality materials and detailing, facades interior to properties and concealed from view provide opportunities for less intense design.

APPLICABILITY

The following guidance applies across all districts for walls concealed from view from public right of ways at commercial or multifamily development.

PERMITTED MATERIALS

The following materials may be used on concealed rear or parcel interior walls at the wall field:

- Masonry Materials
- Board Siding Materials
- Stucco/EIFS Materials (as regulated by the following standards)

STANDARDS

Lake Street District

Stucco/EIFS Materials

- S1.** The use of Stucco/EIFS Materials shall be limited to 50% of facades at rear or interior parcel walls.
- S2.** Stucco/EIFS Materials shall not be placed closer than 50 feet to any public right of way.

Bluff District

Stucco/EIFS Materials

- S3.** The use of Stucco/EIFS Materials shall be limited to facades fully concealed from view from public rights of way.

Wayzata Boulevard District

Stucco/EIFS Materials

- S4.** Stucco/EIFS Materials shall not be placed closer than 25 feet to any public right of way.



Fig. 3.64 This building demonstrates a simpler façade treatment at the rear driveway (bottom) than at façades facing public rights of way (top). Walls at private driveways, rear façades, and the interior of properties may provide muted materials and articulation.

RELATED SUBSECTIONS

[Section 3.E.2 Board Siding Materials and Detailing](#)

[Section 3.E.3 Masonry Materials and Detailing](#)

[Section 3.E.5 Stucco and EIFS Materials and Detailing](#)

3.D.5 Upper Story Stepback Materials Application

The upper story volume is a background element which can express a different materiality



Fig. 3.65 The stepped back mass of the upper story provides an opportunity for a different materiality

INTENT

Volumes behind the Upper Story Stepback are perceived as a different element than the lower story streetfronts. They provide an opportunity to use contemporary materials and alter patterns of fenestration.

APPLICABILITY

The following guidance applies across all districts, to buildings with required Upper Story Stepbacks by [Section 3.B.3 Upper Story Building Stepbacks](#)

PERMITTED MATERIALS

The following materials may be used on walls at the stepback level at the wall field and/or for accent walls:

- Masonry Materials
- Board Siding Materials
- Architectural Panel System Materials (except for primary walls in the Bluff District)
- Stucco/EIFS Materials (allowed only in the Wayzata Boulevard District)

STANDARDS

Lake Street District & Wayzata Boulevard Districts

[Architectural Panel System Materials](#)

- S1.** The use of Architectural Panel System Materials shall not be limited at facade volumes complying with Upper Story Stepback requirements.

GUIDANCE

All Districts

[Masonry Materials](#)

- G1.** Masonry Materials should only be used above Masonry Materials.

RELATED SUBSECTIONS

[Section 3.B.3 Upper Story Building Stepbacks](#)

[Section 3.E.1 General Standards for Materials and Detailing](#)

[Section 3.E.2 Board Siding Materials and Detailing](#)

[Section 3.E.3 Masonry Materials and Detailing](#)

[Section 3.E.4 Panel Systems Materials and Detailing](#)



Fig. 3.66 Variation in materials at the stepback level helps to differentiate it from the rest of the massing.

3.D.6 Balconies and Soffit Materials Application

Projecting elements attract attention and should provide design worthy of scrutiny

INTENT

Balconies and projecting soffits add richness and articulation to facades. Since they project from the wall, they draw increased attention and should provide a high degree of detail and materiality

APPLICABILITY

The following guidance applies across all districts, to all commercial and multifamily buildings.

PERMITTED MATERIALS

The following materials may be used balconies and soffits:

- Masonry Materials
- Board Siding Materials
- Architectural Panel System Materials

STANDARDS

All Districts

All Permitted Materials

- S1. Balconies shall be designed as usable space with a minimum depth of 4 feet unless designed as a Juliette-type balcony.
- S2. All balconies shall remain within the property line.
- S3. Exposed framing of balconies and soffits, unless designed as an exposed element (i.e., heavy timber) shall not be allowed.

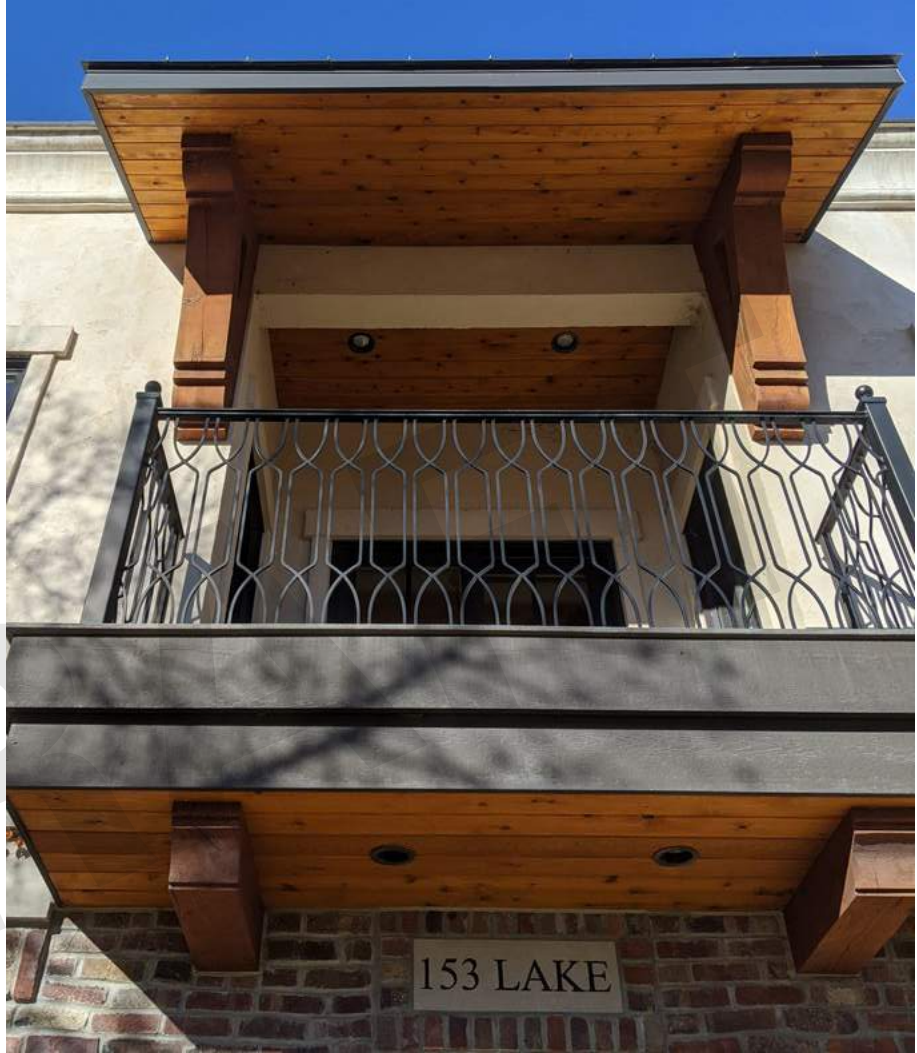


Fig. 3.67 Balconies should be constructed of high quality materials and provide thoughtful detailing for railings, soffit, and posts or corbels.

RELATED SUBSECTIONS

Section 3.E.1 General Standards for Materials and Detailing

Section 3.E.2 Board Siding Materials and Detailing

Section 3.E.3 Masonry Materials and Detailing



Fig. 3.68 Balconies should be designed to compliment building massing

3.D.7 Roof and Parapet Materials Application

The top of the building should reinforce the building massing and style



Fig. 3.69 Use parapet material consistent with that of wall below. Strong parapet caps are encouraged.

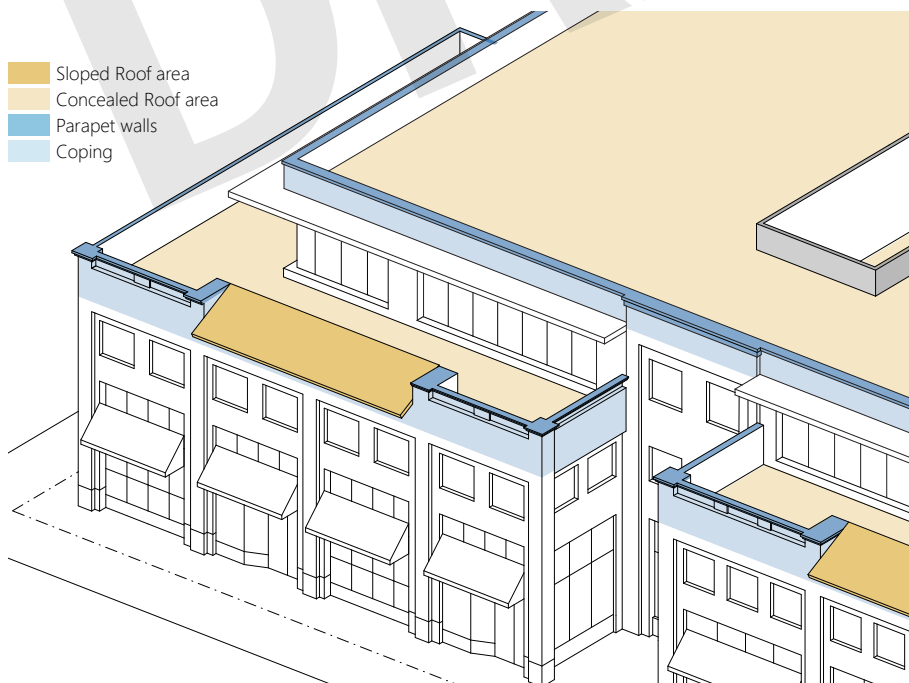


Fig. 3.70 The tops of the building can be designed to provide interesting profiles while reinforcing building massing and style.

INTENT

As the fifth facade rooflines play an important role by defining the building against the sky. The following guidelines are provided to ensure that roof materials are well detailed and do not detract from the building architecture.

APPLICABILITY

The following guidance applies across all districts, to all multifamily and commercial buildings.

PERMITTED MATERIALS

Materials of the following category may be used for sloped roofs:

- Unit Roofing

Materials of the following category may be used for concealed roofing

- Sheet Roofing

STANDARDS

All Districts

Sheet Roofing

- S1.** Sheet roofing shall be concealed from view by parapets/roof coping.
- S2.** Where provided, sloped roofing shall provide a minimum 12 inch projection at eaves and rakes

Parapet/Roof Coping

- S3.** The Parapet/Roof Coping Material shall be the same as the wall material immediately below and shall be used to articulate building massing.
- S4.** Where rooftop equipment is proposed, parapets shall be located to conceal such equipment from view.

RELATED SUBSECTIONS

Section 3.C.3 Roof Design

Section 3.E.6 Roofing Materials and Detailing

3.E MATERIALS- DETAILING

The successful expression of materiality is inherently connected to tactility, tectonics, and tradition. It is unfortunate that even the right material can be easily used in the wrong location or in the wrong application. The following section establishes the materiality of building elements by providing standards for the application of materials, defining types of materials, and identifying complementary materials to connect proposed architecture with the character of Wayzata and the heritage of small-town Minnesota.



3.E.1 General Standards for Materials and Detailing

Materials should be used honestly with appropriate details



Fig. 3.1 A limited palette of materials shall be used to emphasize building massing.

INTENT

Building design in Wayzata should strive to use as few materials as possible. It is possible to pair two or three building materials with high quality detailing and avoid monotony.

Changes between different materials should be located to emphasize building massing and should be carefully detailed.

APPLICABILITY

This section applies to all commercial, mixed-use, and multifamily construction.

STANDARDS

- S1. Changes in materials shall be used sparingly and shall be used to emphasize building articulation. These locations are generally:
 - Inside wall corners at bays, projections, and recesses
 - Plan offsets such as stepbacks and step-downs
 - Building base articulation such as projecting foundations and water tables
 - Low walls and curbs under storefront glazing
- S2. A change in materials shall be detailed to occur at a change in building plane no less than 6 inches in depth.

RELATED SUBSECTIONS

[Section 3.E.2 Board Siding Materials and Detailing](#)

[Section 3.E.3 Masonry Materials and Detailing](#)

[Section 3.E.4 Panel Systems Materials and Detailing](#)

[Section 3.E.5 Stucco and EIFS Materials and Detailing](#)

[Section 3.E.6 Roofing Materials and Detailing](#)

3.E.2 Board Siding Materials and Detailing

Wood siding has given Minnesota neighborhoods character for generations

MATERIAL DEFINITION

This category consists of the following material types:

- Horizontal siding consisting of shakes, shingles, or shiplap, tongue and groove, v-groove, or lapped profiles
- Vertical siding consisting of board and batten or v-groove profiles in wood or materials that emulate wood such as fiber cement or digitally printed extruded aluminum siding.

MATERIAL APPLICATION

Primary walls at public and interior-facing frontages.

STANDARDS

Material Standards

- S1. Board Siding Materials shall provide a minimum exposure of 6 inches.
- S2. Board Siding Materials shall either be factory finished; or stained or painted on all six sides.
- S3. The following materials shall be prohibited: vinyl siding; plastic; sheet fiberglass; rolled metal sheet; rolled residential aluminum siding.

Trim/Complementary materials

- S4. Trim shall be made from defined Board Siding materials.

GUIDANCE

- G1. Alternating horizontal lap siding exposures should be considered where ground floors benefit from a greater level of detail.
- G2. Vertical board or board and batten siding should be detailed with uniform exposure widths. (see Fig. 3.3)
- G3. Board Siding Materials should provide careful detailing at exterior corners. Butt joints and miter joints are strongly discouraged.



Fig. 3.2 Fiber cement lap siding with wood window trim, horizontal projecting trim, and wood pilaster are complementary Board Siding Materials



Fig. 3.3 Board and Batten or other vertical siding should provide uniform exposure widths



Fig. 3.4 Wood or fiber cement shingle should provide careful detailing at outside corners



Fig. 3.5 Wood trim can be used to make transition between materials in this category.

3.E.3 Masonry Materials and Detailing

Masonry can be used to anchor buildings to the ground and provide fine detail



Fig. 3.6 Masonry trim and detailing provides fine-grain character and interest.



Fig. 3.7 Ashlar stone modules at a scale and color appropriate for a building



Fig. 3.8 Masonry trim accompanying Masonry Materials with a soldier row and concealed lintel spanning openings.

MATERIAL DEFINITION

Masonry Materials shall be defined as:

- Modular, Roman, Norman, or clinker Face brick in buff, grey, purple, and red hues;
- Natural stone or cast stone evoking Minnesota native granite, limestone, or sandstone;
- Porcelain or ceramic tile
- Adhered Modular, Roman, Norman, or clinker brick in buff, grey, purple, and red hues exceeding 1.5 inches in thickness;
- Adhered granite, limestone, or sandstone exceeding 1.5 inches in thickness

MATERIAL APPLICATION

Primary walls at public and interior-facing frontages; building base.

STANDARDS

Material Standards

- S1.** Face brick and stone shall provide full units or custom corner modules at outside corners.

- S2.** Adhered masonry and tile should provide mitered joints at outside corners to create the appearance of a corner block.
- S3.** All Masonry Materials shall provide 3/8" maximum concave, v-joint mortar, or grout joints in colors matching the color of the block or tile material.
- S4.** Individual masonry modules must be scaled appropriately to the building massing; brick and tile modules or veneers less than 1.5 inches in height shall be prohibited and stone block or veneer modules less than 6 inches in height shall be prohibited.
- S5.** Where masonry spans an opening, masonry units shall be oriented to provide an arch, jack arch, masonry lintel, or soldier row extending beyond the opening.

Trim/Complementary materials

- S6.** Trim shall be provided from defined Masonry Materials
- S7.** Dimensional Board Siding Materials shall also be allowed for use as trim in the Bluff District.

GUIDANCE

- G1.** Openings should be made with arches, masonry lintels, or concealed lintels and soldier rows made from materials in the same category
- G2.** Stone Masonry Materials should be selected to reflect the color and texture of local stone types: 'St. Cloud Grey' granite, Platteville Limestone, Kasota Limestone, Shakopee Limestone, and St. Peter Sandstone.

3.E.4 Panel Systems Materials and Detailing

Contemporary panel systems should be used to highlight important elements

MATERIAL DEFINITION

Engineered architectural-grade panels and joints including, but not limited to:

- Fiber cement panels,
- Phenolic composite panels,
- Terra cotta panels,
- Aluminum composite panels, or
- High-pressure wood laminate panels

MATERIAL APPLICATION

Building walls at upper-story stepback; recesses, inset wall panels, projecting bays, awnings, and entrance canopies subject to specific Design District Standards.

STANDARDS

Material Standards

- S1. Exposed fastener Panel Systems shall be prohibited
- S2. Panel materials shall be designed and manufactured explicitly for use in a system application.
- S3. 'Open Joint' panel systems shall be backed by dark colored material

Trim/Complementary materials

- S4. Anodized aluminum or powder coated metal joint covers and trims to compliment panel color shall be used.



Fig. 3.9 Panel used in recess



Fig. 3.10 Architectural Panel used at Upper Story Stepback

3.E.5 Stucco and EIFS Materials and Detailing

Stucco and EIFS be used as background materials



Fig. 3.11 Stucco joints relate to the proportions of this building mass.



Fig. 3.12 Architectural grade metal stucco joint

MATERIAL DEFINITION

Monolithic material systems including, but not limited to:

- 3 coat stucco,
- Dryvit, and
- Exterior insulation and finishing (EIFS) systems

MATERIAL APPLICATION

Stucco and EIFS are less appropriate materials for use in Wayzata. These materials should be limited to use at non-public rear and interior-facing frontages, subject to specific Design District Standards.

STANDARDS

Material Standards

- S1. Stucco/EIFS system joints should be designed to reinforce building massing and proportions.
- S2. Stucco/EIFS system joints shall be trimmed with architectural grade metals. Painted galvanized metal joint covers and trims shall be prohibited.

Trim/Complementary materials

- S3. Trims shall be made from contrasting Board Siding or Masonry materials and shall not be coated with stucco or EIFS. Panel joints shall be made from Anodized aluminum.
- S4. Foam trims shall be prohibited.

3.E.6 Roofing Materials and Detailing

Roofing is the fifth facade and should not detract from the architecture of the building

MATERIAL DEFINITION

- Sheet roofing includes PVC, TPO, KEE, Built up Asphalt, and other comparable membrane and sheet roofing materials
- Unit roofing is limited to wood shake, wood shingle, slate tile, dimensional ('architectural') asphalt shingle, and powder-coated standing seam metal roofing

MATERIAL APPLICATION

- Sheet roofing materials shall be used on flat and low-slope roofs concealed by solid raised parapets no less than 36" in height.
- Unit roofing shall be used on visible sloped roofs.

STANDARDS

Material Standards

- S1. Sheet roofing shall be selected to provide tan or grey membranes with a three year Solar Reflectivity Index (SRI) between 0.40 - 0.70 to balance issues of glare and heat island mitigation.
- S2. Visible metal roofing shall be a neutral color chosen to harmonize with the materials of the proposed and surrounding buildings

Trim/Complementary materials

- S3. Trim for Sheet Roofing surfaces fully concealed by parapets shall not be restricted.
- S4. Unit roofing, the following trim materials shall provide the following trim materials:
 - Metals: zinc; untreated copper; powder coated aluminum or steel in colors complementing the roofing color;
 - Wood or board siding materials may be used for projecting eaves, rakes, courings, and trims



Fig. 3.13 Dimensional ('architectural') asphalt shingles provide more shadow than 3-tab



Fig. 3.14 Membrane roof material should be terminated at a location hidden from view by parapets.



Fig. 3.15 Metal roofing in a neutral color complementing the building's color palette.



Fig. 3.16 Traditional sloped shingle roof detail with eave return

3.F BUILDING DETAILS

Building details such as lighting and signage perform functional roles to enhance safety and usability. These elements, when designed creatively, can also make large contributions to the public perception of development quality and towards the creation of a unique, place-based identity.



3.F1 Building Lighting

Quality lighting contributes to safety and a sense of place

INTENT

Effective and attractive lighting creates safe and lively environments for pedestrians, bicyclists, vehicles, residents, and visitors while mitigating light pollution.

APPLICABILITY

The following guidance applies to commercial, mixed-use, and multifamily residential development in all districts. The City light standard applies to lighting on all public streets.

STANDARDS

- S1. Site and building lighting shall be designed and located to prevent light trespass and glare in the public realm.
- S2. Parking area lighting shall provide Full Cutoff located below the mature height of trees to prevent ambient “glow” or light pollution.
- S3. Pedestrian-scale lighting, not exceeding 13 feet in height, shall be located on walkways and adjacent to store entrances.
- S4. All lighting fixtures shall be compatible with the City Code Section 801.16.6 as it relates to glare.
- S5. Lights attached to buildings shall be screened by the building’s architectural features to eliminate glare to adjacent properties.
- S6. Lighting levels shall be provided at the minimum level allowed under the Illumination Engineering Society of North America (IESNA) lighting guidelines and applicable codes.
- S7. Exposed electrical elements including wires, conduit, junction boxes, transformers, ballasts, and panel boxes shall be prohibited.



Fig. 3.17 Indirect lighting can enhance safety and help to create a sense of place.

- S8. Where used at site lighting LED (Light Emitting Diode) luminaires shall be demonstrated to comply with the following:
 - Minimum Color Rendering Index (CRI) of 90
 - Correlated Color Temperature (CCT) between 2700-3500K.

GUIDANCE

- G1. Lighting fixtures shall be compatible with the architecture of the building.
- G2. Lighting design should rely primarily on indirect sources that light adjacent surfaces. Direct view of light fixtures should be minimized except for decorative fixtures.
- G3. Smart and networked technologies such as timers, motion, occupancy, and daylight sensors should be integrated to the maximum extent feasible to limit excess lighting and conserve energy.



Fig. 3.18 Decorative lighting fixtures can enhance identity.

3.F2 Signage

Signage should not detract from architecture.



Fig. 3.19 This signage imbues character to the streetscape and is appropriate for the business it represents



Fig. 3.20 This street is shaped by pedestrian scale features such as shop awnings and modestly scaled blade signs

INTENT

Signage should enhance place-based character, but should not overwhelm architectural design or site context.

APPLICABILITY

These standards apply across all design districts for commercial, mixed-use, and multifamily residential development. Proposed signs must also conform to the requirements of Chapter 927 of the Wayzata Zoning Ordinance. Signage plans must be submitted for review as part of an Applicant for Design Approval. Buildings including more than one business shall submit a signage plan demonstrating compatibility between different businesses.

PERMITTED SIGN TYPES

The following sign types may be used in all design districts across Wayzata, as defined by the Zoning Ordinance:

- Awning, canopy or marquee signs
- Free-standing signs (in the Bluff district, these may only be used in buildings with front yards)
- Ground, low-profile or monument signs (in the Bluff district, these may only be used in buildings with front yards)
- Projecting signs
- Roof signs
- Wall signs
- Window signs (window accent signs)

STANDARDS

- S1.** Signs shall be architecturally compatible with the style, composition, materials, colors and details of the building, and with other signs on nearby buildings.
- S2.** Franchise or national chains must comply with these Sign Standards to create signs compatible with their context.

- S3.** The following signage shall be prohibited:

- Internally illuminated box signs
- Kinetic and inflatable signs
- Programmable digital signs

- S4.** Only the text and/or logo portion of the sign shall be illuminated by external spotlight or integral "halo" illumination.

- S5.** Wall signs on a multistory storefront-type buildings shall be placed between the first and second floors of a building.

- S6.** Wall or roof signs on buildings that are not storefront type buildings shall be placed where they do not obscure architectural features.

- S7.** Sign materials and design shall be consistent and complimentary with the existing or proposed architectural materials and style of the building facade. Signage shall comply with the following:

- Durable materials, such as wood and metal, shall be used, as appropriate, to fabricate the signage.
- Freestanding ground or monument signs shall use materials and colors compatible with proposed building design.
- Neon signs shall only be located inside windows.

GUIDANCE

- G1.** A sign program shall be developed for buildings which house more than one business. Signs need not match, but shall be compatible with one another.
- G2.** Wall, awning or projecting signs are encouraged for storefront buildings at the street line.
- G3.** Low-profile ground signs or monument signs are encouraged for highway-oriented commercial uses such as restaurants and gas stations.
- G4.** A roof sign that does not project above the peak of the roof may be used in place of a wall sign on buildings with sloped roofs.

CHAPTER 909 - DESIGN STANDARDS

909.01 - Purpose.

- A. The design standards set forth in ~~this~~the Wayzata Design Standards document and Chapter 909 of the Wayzata City Zoning Ordinance, are referred to collectively as the "Design Standards" or the "Standards." The purpose of the Design Standards is to shape the City's physical form and to promote the quality, character and compatibility of new development in the City. The Standards function to:
1. Guide the expansion and renovation of existing structures and the construction of new buildings and parking, within the commercial districts of the City;
 2. Assist the City in reviewing development proposals;
 3. Improve the City's public spaces including its streets, sidewalks, walkways, streetscape, and landscape treatments.
- B. The Standards address issues that are critical to preserving and enhancing Wayzata's character, as described in the City's Comprehensive Plan.

909.02 — City Vision and Character.

A. —~~One of the primary goals of the City's~~ Vision

1. Principles

~~The 2040 Comprehensive Plan is sets forth guiding principles to "preserve and enhance Wayzata's lakeside small town character." Continuing reference is made in the Comprehensive Plan to the value of Wayzata's unique "small town" character, unlike the suburban qualities of other communities. The Standards seek to preserve the increase walkability, provide more vibrant open spaces, improve access to enable greater physical activity and health for a multi-generational community, pursue a new focus on sustainability, while maintaining the charm that has characterized Wayzata for generations.~~

2. Role of the Design Standards

~~The Standards seek to implement the principles of the 2040 Plan by preserving a high quality "small town" environment while accommodating the inevitability of change. This character is In order to be preserved and enhanced by: provide compatibility with the scale and heritage of Wayzata the Standards encourage the reduction of building mass, the simple use of quality materials, and enhancement of building facades through articulation and well-designed detailing. These standards will also contribute to the improvement of the public realm and increased walkability and access through design.~~

- ~~1. Attention to the scale, walkability, land use patterns, street and boulevard character of the City.~~
- ~~2. Reinforcing and enhancing residential neighborhoods.~~
- ~~3. Promoting a vibrant and healthy business climate, including a strong downtown as key to the economic and social base of the community, and other primary retail/commercial areas.~~
- ~~4. Shaping the physical environment of the City to allow for the development of cultural and social activities that provide the opportunity for social engagement.~~
- ~~5. Promoting community heritage by preserving and redeveloping historic or significant property to the City's small town roots.~~
- ~~6. Maintaining and enhancing the diversity of housing options and addressing the need and opportunities for life cycle housing.~~
- ~~7. Promoting a more connected community through building physical and psychological connections between all residential neighborhoods, business areas, and links to other recreational amenities.~~

8. ~~Protecting and preserving significant natural resource areas, and promoting access to community parks and open space resources.~~
 9. ~~Strengthening and reinforcing community gateways, and providing announcement and a sense of place to areas of the community at key entry points through architectural, landscape and urban design elements.~~
 10. ~~Promoting sustainability in development.~~
- B. ~~The Standards encourage buildings that are well crafted and well detailed, and that express Wayzata's heritage, location, topography, and scale. The Standards address issues of building height and views of rooftops from above as well as from below.~~
- B. Character

The character of Wayzata is defined by its natural setting. The location of the downtown business district along the shoreline of Lake Minnetonka, combined with the bluff that rises behind it, bestows an unusually scenic and picturesque quality. Elsewhere, the City is characterized by a wooded character and small lakes and ponds. Successful projects will be designed to reinforce their surrounding context and to minimize their impact on views and natural ecosystems.

909.03 - Design Districts.

The Design Standards apply in three "Design Districts" in the City that are established according to location, and use: Lake Street District; Bluff District; and Wayzata Boulevard District. Each Design District (or "District") shall be set forth in the Zoning Map according to delineations in the following summary:

- A. The Lake Street District, extends along both sides of Lake Street, from Circle Drive to the Wayzata Bay Townhomes at 201 W. Lake Street. Lake Street is the "Main Street" of Wayzata and the section between Circle Drive on the east, and Ferndale Road on the west, should reinforce the existing character of buildings meeting the sidewalk, with a vertical rhythm evoking narrow storefronts, and distinct and diverse uses. Buildings proposed for Lake Street should support a vibrant and active street frontage and enhance visual and physical access to Wayzata Bay.
- B. ~~Bluff District comprises the land between Lake Street on the south and Wayzata Boulevard on the north, but not the street frontage of either street, as well as Barry Avenue on the west and Superior Avenue on the east.~~
- C. B. The Bluff District, includes all the land atop the natural bluff above Lake Street generally bounded by Barry Avenue, the line of Grand/Superior Avenue and extending from a half block north of Lake Street to a half block north of Wayzata Boulevard. The Bluff District is characterized by a fabric of small-scale retail and office buildings, houses converted into offices, single-family, attached and multifamily housing, and anchor institutions such as City Hall, the Library, and St Bartholomew. Development here should respect the finer scale of its surroundings through careful massing and attention to fine grained materiality.
- C. The Wayzata Boulevard District comprises all extends east from the ravine below the Bluff District at Grand/Superior Avenue to the large commercial parcels on the north frontage of I-394, including frontage parcels on both sides of Wayzata Boulevard from the eastern interchange and the east side of Central Avenue. This area is currently characterized as a typical "commercial strip," but incremental change is anticipated that will gradually result in more mixed-use development in accordance with Hwy 12 to the western reconnection with Hwy 12. The the 2040 Plan.
- D. Land uses in the Design Districts

Land Use is controlled by the underlying zoning within the district also includes properties fronting Central Avenue, from as enumerated in the Wayzata Code of Ordinances Part IX.

Housing uses are encouraged for all proposed projects located with commercially zoned areas in the Lake Street, Bluff, and Wayzata Boulevard to Hwy 12.

Districts and in areas identified for Mixed-Use Commercial/Residential in the Wayzata 2040 Plan. Mixed-use development provides a residential consumer base for commercial uses, contributes to the 2040 goal of greater housing diversity, and evokes the traditional small-town arrangement of "living above the store".

E. Standards outside the Design Districts

In areas outside of the three Design Districts, Standards shall apply based on the Land Use identified within the Wayzata 2040 Plan:

<u>Project Location</u>	<u>2040 Comprehensive Plan Land Use</u>	<u>Applicable Design Standards</u>
<u>Lake Street District</u>	<u>All Land Uses</u>	<u>Lake Street District</u>
<u>Bluff District</u>	<u>All Land Uses</u>	<u>Bluff District</u>
<u>Wayzata Boulevard District</u>	<u>All Land Uses</u>	<u>Wayzata Boulevard District</u>
<u>Applications for Commercial, Multi-family Residential, and Mixed-Use projects located <i>outside</i> designated Design Districts</u>	<u>Estate Single Family</u>	<u>n/a</u>
	<u>One Acre Single Family</u>	<u>n/a</u>
	<u>Low Density Residential</u>	<u>Bluff District Standards</u>
	<u>Central Core Residential</u>	<u>Bluff District Standards</u>
	<u>Medium Density Residential</u>	<u>Bluff District Standards</u>
	<u>High Density Residential</u>	<u>Bluff District Standards</u>
	<u>Mixed-Use Commercial / Residential</u>	<u>Wayzata Boulevard Standards</u>
	<u>Institutional/Public</u>	<u>Bluff District Standards</u>
	<u>Semi-Public/Private</u>	<u>Bluff District Standards</u>
	<u>Vacant</u>	<u>Bluff District Standards</u>

- A. The Design Standards apply to all development in the City that has a nonresidential and/or multifamily component and that involves any of the activities listed in Section 909.04.B. Standards that fall under the heading "All Districts" or similar shall apply in all Design Districts. Standards specified for a particular District or Districts shall apply in those specified District or Districts. In areas outside of the three Design Districts, the Standards applicable in the Bluff District shall apply.
- B. Subject to the exceptions listed in Section 909.04.C, the Design Standards shall apply to all development with a nonresidential and/or multifamily component within the Design Districts that involve any of the following activities:
 - 1. Modification involving 50 percent or more of an existing building's exterior facade.
 - ~~2. Building demolition.~~
 - 3. New building construction.
 - 4. Addition which adds an additional story to an existing building.
 - 5. Addition which increases the existing building's square footage by 50 percent or more.
 - 6. Alteration of the roof ~~typemassing and roof height~~ of an existing building.
 - 7. Site alteration that changes 50 percent or more of the existing site.
- C. The Design Standards shall not apply to the following activities:
 - 1. Replacement, repair, or modification of windows or doors.
 - 2. Replacement, repair, or modification of roofs with the same or similar materials.
 - 3. Exterior painting.
 - 4. Interior renovations.
 - 5. Site alterations which only repave or repair the existing site.

909.05 - Franchise Architecture.

- A. Definition: Franchise Architecture is a standardized architectural building style or other elements such as signage or other building elements used as part of a standardized program to promote brand identity through visual recognition.
- B. Mitigation: Applicants shall modify their standardized exterior designs as necessary to comply with these Design Standards, including but not limited to sections on Building Uses, Placement, Building Materials, Signage, and Lighting. Franchise Architecture shall:
 - 1. Locate the parking behind the building and shall provide an entrance at the sidewalk on the public right of way frontage.
 - 2. Screen surface parking from the back of the sidewalk by a combination of planting strip, a wall less than 4 feet in height,
 - 3. Compose building facades and architectural elements such as awnings, trims, and roofing of materials drawn from the included Materials palettes; high intensity and florescent colors shall be prohibited for use.
- 4. Franchise signage shall be integrated into the building architecture, complement and enhance proposed building materials, and comply with the following Standards. All new, altered and/or proposed signage for buildings must be submitted for review under Section 909.22 by the Planning Commission at the time of Design Standards Review application. A. ~~Lake Street District.~~ All new buildings east of Barry Avenue on Lake Street shall have retail usage at least 80 percent of the ground floor facing Lake Street. The remaining 20 percent of the ground floor frontage may only be used for

~~walkways, public access, or public facilities. Retail activities shall comprise a total of at least 50 percent of the usage of the total building footprint.~~

909.06 ~~—~~ Building Recesses.

A. ~~—All Districts.~~ **New Buildings—All Districts. Building Recess:** Building Recesses shall be provided at each facade longer than 100 feet on public rights of way.

~~1. 1.— Building facades~~ Recesses shall be articulated through provided to relieve the use impact of pilasters long facades and/or recesses that create visible shadow lines and dimensions especially on the street level.

~~2.— Street level landscaped courtyards to provide space for outdoor dining, seating areas and gathering areas, or landscaping. Significant massing breaks located at the ground level shall be incorporated into building and site plan design.~~

allowed to qualify as a Building Recess.

2. Building Recesses shall provide a minimum dimension of 8 feet, a minimum area of 250 square feet, and shall be open to the sky above the ground floor.

3. Building Recesses shall be provided to comply with the following:

a. Lake Street: one Building Recess shall be provided for every 100 feet of building frontage length on public right of ways

b. Bluff District: One Building Recess shall be provided for every 50 feet of building frontage length on public right of ways

c. Wayzata Boulevard: One Building Recess shall be provided for every 100 feet of building frontage length. 909.07 ~~—~~ Building Width.

A. **New Buildings—All Districts. Significant Massing Break façade**

1. Buildings exceeding 150 feet of length on public rights of way shall provide one significant massing break for every 150 feet of facade to respond to the small-scale character of Wayzata. Significant massing breaks shall be defined as:

a. A massing void providing a minimum width of 25 feet and extending through the depth of the building for a minimum of two stories.

b. A publicly accessible midblock pedestrian connection or street through the building with a minimum clear width of 25 feet.

2. In order to reduce the scale of longer facades and to eliminate the long horizontal expressions of buildings, divisions or breaks in materials shall be included and at least three of the following design strategies shall be incorporated into the design: Proposed development located between Lake

Street and the shoreline of Wayzata Bay shall provide any required significant massing breaks as midblock connections to provide views of Lake Minnetonka and allow for potential future access to the lake.

- ~~1. Window bays.~~
- ~~2. Special treatment at entrances.~~
- ~~3. Variations in roof lines or parapet detailing.~~
- ~~4. Awnings.~~
- ~~5. Building setbacks or articulation of the facade.~~
- ~~6. _____ Rhythm _____ of _____ elements.~~

909.08 - Upper Story ~~Setbacks~~Building Stepbacks.

A. New Buildings—All Districts.

1. Building height shall conform to the height of the applicable zoning district. ~~Where three-story buildings are permitted, the third story must be recessed from all facades fronting public rights-of-way at least a distance equal to the vertical distance of the third story height from the second floor footprint, or an average of ten feet across the facade, but no portion of the third story structure shall be closer than six feet to the second story facade. The third story facade shall be designed with railings, pillars, dimensional windows, building recesses or other similar design techniques to break up the third story facade. Every proposed multifamily and commercial facade exceeding 60 feet long and fronting a public right of way shall provide a stepback at the highest occupiable story.~~
2. Required stepbacks shall recess upper floors a minimum of 10% of the frontage length inclusive of the width of any provided Small Recesses
3. The required stepback shall be allowed to be reduced where visible roof forms are located at the level of the stepback.
4. The following design elements shall be allowed to encroach within the stepback area:
 - Awnings
 - Permanently installed trellises or pergolas
 - Sunshades
 - Solid parapets and railings up to 42 inches in height
 - Container plantings
 - Visible sloped roofs
5. The following design elements shall be allowed to encroach in upper story stepbacks to a maximum width equal to 30% of frontage length:
 - Decorative tower elements
 - Projecting bays
 - Screened porches
 - Solariums
 - Raised parapets exceeding 42" in height
 - Glass windscreens exceeding 42" in height.

6. The defined stepback shall apply to each district as follows:

a. Lake Street District and Bluff District: the defined Upper Story Stepback shall apply to the third floor.

b. Wayzata Boulevard District: the defined Upper Story Stepback shall apply to the uppermost floor

2. The facades fronting public right-of-ways of every two- and three-story building, longer than 60 feet, must have a recessed second story of approximately 25 percent of the facade's length, setting back a minimum of six feet from the face of the first floor facade. The required third floor setback must follow the frontal plane of the second story setback.

3. Wintertime sun orientation, solar access, and views of Lake Minnetonka are significant issues within the Design Districts. Building height should not negatively and significantly impact neighboring properties.

909.09 - Roof Design.

A. **All Districts.** "Green" roofs, roof garden terraces, arbors and other similar structures are encouraged on roofs of building. Every proposed multifamily and commercial facade exceeding 60 feet long and fronting a public right of way shall comply with the following Roof Articulation Standards

~~B. **Roof Materials—All Districts.**~~ 1. A visible sloped roof provided at the same level as the Upper Story Stepback allowed to fully encroach in the stepback up to a maximum width equal to 40% of the facade length.

2. Sloped roof forms shall provide decorative eaves and rakes; 'porkchop' eave and rake returns shall be prohibited.

~~1. The roof material for all sloped roofs in all districts shall be slate, untreated copper, pre-finished metal, cedar shake or asphalt shingle in dark colors.~~

~~2. The roof material for all flat roofs in all districts shall be treated synthetic membrane or other similar material in dark colors.~~

909.10 - ~~Screening of Rooftop Equipment~~ Location and Screening.

A. **Lake Street and Bluff Districts.** District.

1. No mechanical equipment for a building may shall be allowed to be located on the uppermost roof. Mechanical equipment shall be located on the roof deck. All such mechanical equipment must be located within the roofs above first or second floors at rear or interior of the structure. side parcel locations and shall be screened with compatible architectural elements at least one story in height.

2. Solar photovoltaic (PV) panels shall be prohibited at sloped roofs and prohibited from flat or low-slope roofs with a surface visible from any property within 500 feet.

B. ~~—~~ Bluff District and Wayzata Blvd District.

1. 1. All mechanical equipment shall be completely screened behind a parapet wall, so as not to be visible from adjacent properties and pedestrian view vantage points from adjacent sidewalks.

2. No enclosure shall be larger than 25 percent of the roof area.

Mechanical equipment less than 3 feet tall and 9 square feet in area shall be fully concealed by parapets or compatible architectural elements and located in a visually unobtrusive location. Mechanical equipment exceeding this standard shall be located at grade in the rear or side yard

and concealed from view. PV panels shall be allowed to be installed on flat or low-slope roofs or on decorative trellises and arbors.

C. All Districts.

1. Solar photovoltaic (PV) panels installed on flat or low-slope roofs shall be installed on racks not exceeding 2 feet in height and surrounded by parapets at least 3 feet in height
2. Solar photovoltaic (PV) panels installed on decorative trellises or arbors shall be recessed at least 12 inches from the edge of the structure

909.11 - Facade Transparency.

- A. **Glass Calculations—All Districts.** ~~Applications for design approval must include~~The applicant shall provide facade diagrams that contain calculations of glass and solid surfaces. Calculations of facade areas for multiple story building shall be measured from grade to the floor above. Calculations of facade areas for one story buildings shall be measured from grade to the roof deck.
- B. **Lake Street District.** ~~No less than~~ **and Wayzata Boulevard District.** A minimum of 50 percent of the ground level facade of any building fronting Lake Street shall be transparent glass. No less than 25 percent of the ground level ~~side and rear~~ facade facing ~~another~~ public right-~~of-way, ways, or~~ parking area or open space shall be transparent glass.
- C. **Bluff District.** ~~No less than~~A minimum of 35 percent of ground level public facades for buildings ~~containing commercial or office uses~~ shall be transparent glass.
- ~~D.~~ **Wayzata Boulevard District.** No less than 50 percent of the ground level facade for buildings containing commercial or office uses fronting Wayzata Blvd shall be transparent glass.

Glazing required by this section shall comply with the following:

1. Glazing shall be clear glass with a visible light transmittance of at least 80%.
2. Glazing shall not be obstructed with opaque films or signage
3. The minimum unobstructed depth from the required glazing to the closest parallel interior wall shall be 10 feet.

909.12 ~~Ground Level Expression—Facade Design~~—All Districts.

~~In multi-story buildings, the ground floor shall be distinguished from the floors above by the use of at least three of the following elements:~~

~~A.—An intermediate cornice line.~~

~~B.—A difference in building materials or detailing.~~

~~C.—An offset in the facade.~~

~~D.—An awning, trellis, or loggia.~~

~~E.—Arcade.~~

1. Building articulation elements shall be provided at a maximum average spacing of 40 feet. Building articulation elements include:
 - A projecting bay, entry vestibule, or recess extending from the ground level to the second floor
 - A ground-level Building Recess (refer to Building Recesses)
 - A change in the rhythm of both windows and awnings at the ground level and second floor.

~~F. Special window lintels.~~

~~G. Brick/stone corbels.~~

909.13 - Ground Floor Design

Ground floor residential units shall comply with the following standards:

A. Lake Street and Wayzata Boulevard Districts.

1. Residential units located within 4 feet of ground level at public right of way or open spaces shall provide a secondary exterior entry to the unit as a private terrace or stoop.

B. Bluff District.

1. Residential units located within 4 feet of ground level at any public right of way shall provide a secondary exterior entry to the unit as a residential stoop.

C. Entries—All Districts.

~~The front facade of all buildings shall be landscaped with window boxes or planters with seasonally appropriate plantings. The main entries shall face the primary street at sidewalk grade.~~

1. Where site constraints prevent units from being raised above grade, entries and private terraces may be located less than 2 feet above grade if provided the unit entry door is set back a minimum of 8 feet from property line.

909.14 - Building Materials and Quality—All Districts.

~~The following standards for building materials and building details apply in all Design Districts:~~

~~A. **Primary Opaque Surfaces.** Other than the accent materials listed in Section 909.14.G, 90 percent of the non-glass surfaces of each elevation of the exterior building facade shall be composed of one or more of the following materials:~~

- ~~1. Brick.~~
- ~~2. Stone.~~
- ~~3. Cast stone.~~
- ~~4. Factory finished and certified wood, including, but not limited to:
 - ~~a) Wood shingles (cedar shingles six-inch maximum exposure).~~
 - ~~b) Lap siding (six-inch maximum width).~~~~
- ~~5. Stucco.~~

~~A. **General Standards for B. Facade Coverage.** The primary opaque surface materials of all free standing buildings must be the same on all facades of the building.~~

~~C. **Type of Brick.** On all facades of a free-standing building where brick is used, full course modular, Roman, Norman or other standard size brick must be used.~~

~~D. **Facade Detail.**~~

- ~~1. Brick and/or stone facades shall be well detailed and dimensionally designed in order to avoid fractional cuts and odd pieces. All outside brick corners must be full bricks (custom if necessary), with no mitering, forming continuous vertical joints.~~
- ~~2. The narrow face of an exposed stone butt joint, at corners, must be a minimum dimension of two inches. Mitered and quirked stone corners are also acceptable.~~

~~E. **Brick Joints.**~~

- ~~1. The mortar for brick must be dark grey or in the color range of the brick. All joints must be concave or 'v' joint. No mortar may be used beyond the face of the brick.~~
- ~~2. All brick walls must be built to avoid efflorescence~~

~~F. **Stone Joints.** Stone joints shall be no larger than one-fourth inch.~~

~~G. **Accent Materials.** Only **Placement**~~

- ~~1. The materials used shall be consistent with the following Material Application Standards and with the following Standards for Materials and Detailing.~~
- ~~2. A change in materials shall be detailed to occur at a change in building plane no less than 6 inches in depth.~~

~~B. materials may be used for lintels, sills, cornices, bases, **Building Base Materials Application**~~

- ~~1. Building Base shall use Masonry Materials, as defined in the following Standards for Materials and decorative accent Detailing~~
- ~~2. Lake Street District~~
 - ~~a) Buildings shall provide a defined base above ground level between 2-3 feet in height for the entire length of the Facade inclusive of storefronts.~~
 - ~~b) The Building Base shall be composed of Masonry Materials; projecting trims, and must be no more than ten percent of the non-glass surfaces of each elevation of the exterior building facade: moldings shall also be composed of complementary Masonry Materials~~

- ~~1. Stone.~~
- ~~2. Cast stone.~~
- ~~3. Copper (untreated).~~
- ~~4. Rock faced stone.~~
- ~~5. Aluminum or painted steel structural shapes.~~
- ~~6. Fiber cement board.~~
- ~~7. Premium grade wood trim with mitered outside corners. Examples of premium grade wood are cedar, redwood, and fir.~~
- ~~8. EIFS.~~

~~H. **Parapets, Flashing, Coping.**~~

- ~~1. Only the following 3. Bluff District~~
 - ~~a) Buildings proposing masonry facades shall not be required to provide an additional masonry base.~~

b) Where required, the defined Building Base shall extend to 2-3 feet in height above ground level.

c) The Building Base shall be composed of Masonry Materials; projecting trims and moldings shall be composed of either complementary Masonry Materials or dimensional Board Siding Materials

4. Wayzata Boulevard District

a) Buildings shall provide a defined base above ground level between 2-3 feet in height for the entire length of the Facade inclusive of storefronts.

b) The Building Base shall be composed of Masonry Materials; projecting trims and moldings shall also be composed of complementary Masonry Materials.

c) Polished face CMU in hues similar to allowed Masonry Materials shall be allowed as a Building Base material within the Wayzata Boulevard District

C. Public-facing Walls Materials Application

1. The following materials shall be allowed for use on public-facing walls as a primary or accent material:

a) Masonry Materials as defined in the following Standards for Materials and Detailing

b) Board Siding Materials as defined in the following Standards for Materials and Detailing

2. The following material shall be allowed for use on public-facing walls as an accent material only:

a) Architectural Panel System Materials as defined in the following Standards for Materials and Detailing

b) Stucco/EIFS Materials (limited to the Wayzata Boulevard District) as defined in the following Standards for Materials and Detailing

3. Lake Street District

a) Digitally printed extruded aluminum siding shall be prohibited as a primary wall material.

b) The use of Architectural Panel Systems Materials shall be limited to use at facade recesses, inset wall panels, projecting bays, awnings, and entrance canopies; where used Architectural Panel Systems Materials shall be limited 20% of the facade area per frontage.

4. Bluff District

a) Masonry Materials proposed for wall applications in the Bluff District shall be limited to dimensional brick, natural stone, cast stone, or adhered stone in combination with mortar. Preassembled masonry panels shall be prohibited.

b) Digitally printed extruded aluminum siding shall be prohibited as a primary wall material.

c) The use of Architectural Panel Systems Materials shall be limited to use at facade recesses, inset wall panels, projecting bays, awnings, and entrance canopies; where used Architectural Panel Systems Materials shall be limited 20% of the facade area per frontage.

5. Wayzata Boulevard District

a) Preassembled masonry panels shall be allowed in the Wayzata Boulevard District.

b) Digitally printed extruded aluminum siding shall be prohibited as a primary wall material.

c) The use of Architectural Panel Systems Materials shall be limited to use at façade recesses, inset wall panels, projecting bays, awnings, and entrance canopies. The combined use of Architectural Panel Systems Materials as primary and accent wall material at public-facing fac

The use of Stucco/EIFS Materials as a wall accent material at public-facing facades shall be limited to 40% of the facade area per frontage.

D. Concealed Rear Walls or Parcel Interior Walls Application¹. The following materials may be used on concealed rear or parcel interior walls at the wall field in accordance with the following standards:

- a) Masonry Materials
- b) Board Siding Materials
- c) Stucco/EIFS Materials (as regulated by the following standards)

2. Lake Street District

- a) The use of Stucco/EIFS Materials shall be limited to 50% of facades at rear or interior parcel walls.
- b) Stucco/EIFS Materials shall not be placed closer than 50 feet to any public right of way.

3. Bluff District

- a) The use of Stucco/EIFS Materials shall be limited to facades fully concealed from view from public rights of way.

4. Wayzata Boulevard District

- a) Stucco/EIFS Materials shall not be placed closer than 25 feet to any public right of way.

E. Upper Story Stepback Materials Application¹. The following materials may be used on walls at the stepback level at the wall field and/or for accent walls:

- a) Masonry Materials
- b) Board Siding Materials
- c) Architectural Panel System Materials (except for primary walls in the Bluff District)
- d) Stucco/EIFS Materials (allowed only in the Wayzata Boulevard District)

2. Lake Street & Wayzata Boulevard Districts

- a) The use of Architectural Panel Systems Materials shall not be limited at facade volumes complying with Upper Story Stepback requirements.

F. for Roof and Parapet Materials Application

1. The following materials shall be allowed for the specified application:

- a) Sloped Roofs: Unit Roofing Materials
- b) Concealed Roofing: Sheet Roofing

2. All Districts

- a) Sheet roofing shall be concealed from view by parapets, ~~flashing and~~ roof coping:

:

- a) ~~Copper (untreated).~~
 - b) ~~Brick.~~
 - c) ~~Stone.~~
 - d) ~~Cast stone.~~
 - e) ~~Premium grade wood.~~
2. ~~Pre-finished, painted .032 aluminum may only be used as a standard parapet coping with a maximum exposed edge of five inches.~~
- b) Where provided, sloped roofing shall provide a minimum 12 inch projection at eaves and rakes
 - c) The Parapet/Roof Coping Material shall be the same as the wall material immediately below and shall be used to articulate building massing.
 - d) Where rooftop equipment is proposed, parapets shall be located to conceal such equipment from view.

G. General Standards for Materials and Detailing

1. ~~Changes in materials shall.~~ **Awnings.**

1. ~~Only the following types of awnings may be used sparingly and shall be used to emphasize building articulation. These locations are generally:~~
- a) Inside wall corners at bays, projections, and recesses
 - b) Plan offsets such as stepbacks and step-downs
 - c) Building base articulation such as projecting foundations and water tables
 - d) Low walls and curbs under storefront glazing
2. A change in materials shall be detailed to occur at a change in building plane no less than 6 inches in depth.

H. Board Siding Materials and Detailing

- 1. Board Siding Materials shall provide a minimum exposure of 6 inches. Refer to the Design Standards document for examples of appropriate Board Siding Materials.
- 2. Board Siding Materials shall either be factory finished; or stained or painted on all six sides.
- 3. The following materials shall be prohibited: vinyl siding; plastic; sheet fiberglass; rolled metal sheet, rolled residential aluminum siding.
- 4. Trim shall be made from defined Board Siding materials.

I. Masonry Materials and Detailing

1. Masonry Materials shall be defined as
- a) Modular, Roman, Norman, or clinker Face brick in buff, grey, purple, and red hues
 - b) Natural stone or cast stone evoking Minnesota native granite, limestone, or sandstone
 - c) Porcelain or ceramic tile
 - d) Adhered Modular, Roman, Norman, or clinker brick in buff, grey, purple, and red hues exceeding 1.5 inches in thickness;

- e) Adhered granite, limestone, or sandstone exceeding 1.5 inches in thickness
- 2. Face brick and stone shall provide full units or custom corner modules at outside corners.
- 3. Adhered masonry and tile should provide mitered joints at outside corners to create the appearance of a corner block.
- 4. All Masonry Materials shall provide 3/8" maximum concave or v-joint mortar or grout joints in colors matching matching the color of the block or tile material.
- 5. Individual masonry modules must be scaled appropriately to the building massing; brick and tile modules or veneers less than 1.5 inches in height shall be prohibited and stone block or veneer modules less than 6 inches in height shall be prohibited.
- 6. Where masonry spans an opening, masonry units shall be oriented to provide an arch, jack arch, masonry lintel, or soldier row extending beyond the opening.
- 7. Trim shall be provided from defined Masonry Materials
- 8. Dimensional Board Siding Materials shall also be allowed for use as trim in the Bluff District.

J. Panel Systems Materials and Detailing

Refer to the Design Standards document for examples of appropriate Board Siding Materials.

- 1. Exposed fastener Panel Systems shall be prohibited.
- 2. Panel materials shall be designed and manufactured explicitly for use in a system application.
- 3. 'Open Joint' panel systems shall be backed by dark colored material.
- 4. Anodized aluminum or powder coated metal joint covers and trims to compliment panel color shall be used.

K. Stucco and EIFS Materials and Detailing

Design Standards for materials including:

- a) 3 coat stucco
- b) Dryvit
- c) Exterior insulation and finishing systems (EIFS)
- 1. Stucco/EIFS system joints should be designed to reinforce building massing and proportions.
- 2. Stucco/EIFS system joints shall be trimmed with architectural grade metals. Painted galvanized metal joint covers and trims shall be prohibited.1. Face brick and stone shall provide full units or custom corner modules at outside corners.
- 3. Trims shall be made from contrasting Board Siding or Masonry materials and shall not be coated with stucco or EIFS. Panel joints shall be made from Anodized aluminum.
- 4. Foam trims shall be prohibited.

L. Roofing Materials and Detailing

- 1. Sheet roofing (including PVC, TPO, KEE, Built up Asphalt, and other comparable membranes) shall be selected to provide tan or grey membranes with a three year Solar Reflectivity Index (SRI) between 0.40 - 0.70 to balance issues of glare and heat island mitigation.

2. Unit roofing limited to wood shake, wood shingle, slate tile, dimensional ('architectural') asphalt shingle, and powder-coated standing seam metal roofing shall be used on visible sloped roofs in a neutral color chosen to harmonize with the materials of the proposed and surrounding buildings.

3. Trim for Sheet Roofing surfaces fully concealed by parapets shall not be restricted.

4. Unit roofing, the following trim materials shall provide the following trim materials:

a) Metals: zinc; untreated copper; powder coated aluminum or steel in colors complimenting the roofing color;

b) Wood or board siding materials may be used for projecting eaves, rakes, coursings, and trims

M. Awnings.

1. Awnings shall be limited to the following:

a) Fabric awnings composed of a heavy canvas in ~~dark solid colors or other colors that are approved as part of the design review process.~~

b) ~~Highly detailed, ornate metal in dark colors.~~ complimenting the proposed color palette..

b) Well-detailed aluminum or steel awnings complimenting the proposed color palette..

c) Glass awnings using frosted or clear glazing.

2. Backlit, waterfall, and box awnings are prohibited.

3. Awnings with text or graphic material may be permitted but require approval via the sign permit process of the Zoning Ordinance.

JN. Balconies-- and Soffit Materials Application.

1. The following materials may be used balconies and soffits:

a) Masonry Materials

b) Board Siding Materials

c) Architectural Panel System Materials

2. All Districts

a) Balconies shall be ~~accessible and useable by persons. Fake or unusable balconies are prohibited. designed as usable space with a minimum depth of 4 feet unless designed as a Juliette-type balcony.~~

b) All balconies shall remain within the property line. ~~Metal railings with members painted dark, or glass panels are permitted.~~

K. ~~Glass.~~ Glass shall not be mirrored, reflective or darkened. Slight green, bronze and grey tints are acceptable. Spandrel glass shall not be counted as transparent glass for the purposes of calculations under the transparency requirements of Section 909.11 of the Standards, but may be used for detailing purposes. Environmentally appropriate glass, such as Low-emissivity glass, shall be used in all projects.

Lc) Exposed framing of balconies and soffits, unless designed as an exposed element (i.e., heavy timber) shall not be allowed.

O. Door Systems. ~~Unless there are building security concerns, main~~Main entry doors shall be primarily glass. If, for security reasons, a main entry door is not possible or practical, a main entry door ~~must be~~shall be well detailed. ~~Appropriately designed wood with decorative panels. Wood~~ doors ~~consistent with this standard~~ may be utilized for retail and office buildings.

909.15 - ~~Franchise Architecture—All Districts-~~ Usable Open Space

~~A. Typical or standardized franchise architecture (including building design that is the trade dress of, or identified with a particular chain, franchise or business and is repetitive in nature) is prohibited.~~

~~B. Large, bold or bright signage, trade dress or logos must be altered and scaled down to meet the purpose of these standards as articulated herein, and must not be repeated on the facades of the principal structure more than once. All new, altered and/or proposed signage for buildings must be submitted for review under Section 909.22 by the Planning Commission at the time of Design Standards Review application. Where required by the Wayzata Code of Ordinances Part IX, Usable Open Space shall meet the following Design Standards:~~

~~A. Proposed Usable Open Spaces shall not be occupied by driveways, service areas, or any other vehicular use, temporary or otherwise. Usable Open Space shall not be directly adjacent to service or refuse collection areas.~~

~~B. Site area designated as Usable Open Space shall be sloped at less than 6.25% (3/4 inch per foot) or be terraced to achieve this slope.~~

~~C. Usable Open Space intended for private use by an individual dwelling shall meet the following:~~

~~1. Private open space shall be directly accessible from and adjacent to the associated dwelling unit~~

~~2. Private open space shall provide a minimum dimension of 5 feet~~

~~D. Usable Open Space intended for shared use by residents in a proposed building or development shall meet the following:~~

~~1. Buildings, streets, or walkways shall face onto shared use open spaces~~

~~2. Shared use open spaces shall provide a minimum area of 250 square feet~~

~~3. Shared use open spaces shall provide lighting, walkways, benches or tables, and landscaping.~~

909.16 - Walkways.

A. — All Districts

1. Where the street grid is interrupted by steep slopes or other topographic impediments, walkways, ramps, or stairways shall be provided to maintain pedestrian continuity.

B. Lake Street District.

1. Continuous sidewalks at least 12 feet in width, and inclusive of 6 foot planting zone at the back of curb, shall be provided along all public street frontages.
2. Lighted sidewalks shall extend between rear and side parking areas and building entrances. All sidewalk lighting must project downward.
3. ~~Buildings with~~ Sidewalk surfaces at public street ~~frontage exceeding 50 feet~~frontages shall ~~have at least one bench.~~
4. ~~All sidewalk surfaces must~~ match the exposed aggregate/brick accent sidewalks on Lake Street.

~~B4.~~ Internal walkways shall extend from building entrances to rear or side parking areas. These walkways shall provide

- a) Pedestrian-scale lighting
- b) 5 foot minimum sidewalk width
- c) 6 foot wide landscape strip at any adjacent building wall

C. Bluff District.

1. Continuous sidewalks at least five feet in width shall be provided along all public street frontages. The sidewalk street grid shall be maintained and extended wherever possible.
2. ~~Where the sidewalk street grid is interrupted by steep slopes or other topographic variations, walkways or stairways shall be built to maintain pedestrian continuity.~~

C. Wayzata Boulevard District.

1. Continuous ~~sidewalks at least five~~sidewalk sidewalk width inclusive of Hennepin County sidewalk and private improvement shall be no less than 7 feet in width~~shall be provided along Wayzata Boulevard.~~
2. ~~Lighted sidewalks~~ Sidewalk surfaces at public street frontages shall match the exposed aggregate/brick accent standard sidewalks on Lake Street.
3. Internal walkways shall extend ~~between~~from building entrances to rear or side parking areas ~~and. These walkways shall provide~~
 - a) Pedestrian-scale lighting
 - b) 5 foot minimum sidewalk width
 - c) 6 foot wide landscape strip at any adjacent building entrances.wall

909.17 - Landscaping.

A. All Districts.

1. ~~Seasonal landscaping shall be used in all Design Districts, including use of window boxes, hanging flowers baskets, vines and/or other similar seasonal.~~ 1. Street trees shall be planted at all public frontages to comply with the following:
 - a) Minimum size of three caliper inches
 - b) Maximum spacing of 26 feet
 - c) Located within a landscaped boulevard or tree well 6 feet in width

d) Street trees at Hennepin County right of way frontages shall be planted between the building and sidewalk.

~~landscaping. If feasible, garden areas and ornamental trees shall be used at the street level.~~

2. Window boxes, hanging baskets, and planters with seasonally appropriate plantings shall be used around provided at entries to buildings and at public frontages at a rhythm corresponding to architectural features.

3. Vines3. Development sites with street frontage exceeding 50 feet in length shall provide a minimum of one bench using a City-approved design for each 150 feet of frontage length.

4. Trellised vines shall be used to cover walls with more than 100 square feet of uninterrupted surface area.

4. ~~Streetscaping shall include all of the following:~~

a) ~~Boulevard species trees, with at least three caliper inches.~~

b) ~~Exposed aggregate sidewalks with brick accents.~~

c) ~~Street lights.~~

d) ~~Benches (if building length is 50 feet or greater), which utilize existing city bench designs.~~

e) ~~Flowers.~~

B. ~~Lake Street District.~~

1. ~~Established Lake Street landscape treatments shall be followed in accordance with the specifications of the Wayzata Engineering Guidelines set forth in Wayzata City Code. Exposed aggregate with brick accent sidewalks shall be used.~~

2. ~~Approved boulevard trees, planted in sidewalk areas, shall be planted no more than 26 feet on center from each other.~~

C. ~~Bluff District and Wayzata Boulevard District.~~ ~~Trees with a minimum of three caliper inches shall be planted no more than 26 feet apart within a landscaped boulevard.~~

909.18 - Parking Lot Landscaping—All Districts.

A. A landscaped buffer strip at least five feet wide shall be provided between all surface parking areas and the sidewalk all sidewalks or street. The buffer strip public streets. Landscape buffers shall consist provide all of shade the following:

1. 6 foot minimum planting width

2. Shade trees appropriately spaced for the particular Design District, and planted at 26 foot maximum spacing or a continuous, dense hedge

3. A decorative metal fence, solid masonry wall or hedge. A solid wall or dense hedge between 3-4 feet in height

B. 6 foot wide tree planting strips shall be no less than three feet and no provided between spaces at an minimum average spacing of 40 feet on center and shall provide subsurface drainage.

C. Trees planted in parking lots or landscaped buffers shall be 15 gallon minimum size.

D. Parking Planting Strips shall be provided at surface lots with more than ~~four~~one aisle. Such parking strips shall be either parallel or perpendicular to parking lot aisles to comply with the following:

1. Parking Planting Strips shall be a minimum of 6 feet deep
2. Parking Planting Strips oriented perpendicular to parking aisles shall be provided at a maximum average spacing of 40 feet on center.
3. Parking Planting Strips oriented parallel to parking aisles shall be provided at a maximum average spacing of 65 feet on center.

4. Shade trees shall be planted in height.

Parking Planting Strips at 30 foot maximum spacing in parking planting strips and shall be 15 gallon minimum size.

909.19 - Surface Parking—All Districts.

- A. Off-street parking shall be located to the rear of buildings. ~~When parking must be located in a side yard adjacent to the street, a landscaped buffer shall be provided in accordance with the Design Standards. The street frontage occupied by parking shall not exceed 60 feet per property, or in side yards if a rear location is proven to be infeasible. Front yard and corner parking locations are prohibited.~~
- B. ~~Side-by-side yard parking lots creating a parking area frontage longer than lot width shall be limited to 60 feet are prohibited, except where a heavily landscaped and shall be separated from the sidewalk by a landscape buffer of at least 20 feet wide completely separates both lots.~~ Side-by-side yard parking lots shall be limited to 60 feet and shall be separated from the sidewalk by a landscape buffer of at least 20 feet wide.
- C. Side yard parking shall not extend beyond the front yard setback of the primary building on the property.
- D. ~~Front yard parking is prohibited~~ Side-by-side parking lots on adjacent properties shall be separated by a landscaped buffer with a minimum dimension of 20 feet.
- E. ~~There shall be no corner parking.~~

909.20 - Bicycle Parking—All Districts.

Bicycle Parking shall be provided in accordance with the following:

- A. Commercial developments requiring development providing more than 20 parking spaces shall provide at least four a minimum of 4 secure bicycle parking spaces in a
- B. Mixed-use development with a retail or commercial component shall provide a minimum of 4 secure bicycle parking spaces
- C. Bicycle parking spaces shall be located within 100 feet of the main building entrance in a visible and convenient, visible, preferably sheltered location.

- D. Bicycle racks shall allow two points of locking and shall conform to applicable City standards.

909.21 - Parking Structures.

- A. **All Districts.** Parking structures shall meet the following standards, along with all other applicable building code standards:

1. ~~The ground floor facade abutting any public street or walkway. Parking structures shall be architecturally compatible~~comply with surrounding commercial or officeall Design Standards for nonresidential buildings.
2. ~~The parking structure-1. Parking Structure facades abutting any public street or walkway shall be designed in such a way that sloped~~compatible with the materials and architectural rhythm of surrounding commercial buildings.
2. Sloped floors or ramps do not dominate the appearance ~~of the facade shall not be expressed on exterior parking structure facades.~~
3. ~~Windows~~ Parking structure windows or openings shall be similar in scale and proportion to those of surrounding buildings.
4. ~~Vines~~ Trellised vines and other significant landscaping shall be used to minimize the visual impact of the parking structure walls.

- B. **Lake Street District.**

1. If any part of a parking structure abuts Lake Street, that entire portion of the ground floor facade shall be occupied by at least 80 percent retail usage, extending to a depth of at least 30 feet.
2. ~~The ground floor level of a parking structure~~Parking structures shall not come within be located a minimum of 40 feet off from the Lake Street right of way at the ground level.
3. The top decks of parking structures visible from adjacent properties shall be designed with trellises and landscaping sufficient to screen at least 50 percent of the visible area.

909.22 - Signs—All Districts.

- A. **Compatibility.**

1. Signs shall be architecturally compatible with the style, composition, materials, colors and details of the building, and with other signs on nearby buildings. Signs shall be an integral part of the building and site design.
2. ~~A sign plan shall be developed for buildings which house more than one business. Signs need not match, but shall be compatible with one another.~~
2. ~~Franchise or national chains must comply with these Sign Standards to create signs compatible with their context.~~
3. ~~When illuminated signs are proposed, only the text and/or logo portion of the sign may be illuminated. Illuminated signs must be compatible with the location. Illumination of the sign to highlight architectural details is permitted. Fixtures shall be small, shielded, and directed towards the sign rather than toward the street, so as to minimize glare for pedestrians and adjacent properties.~~

- ~~4.~~ Sign plans must be submitted for review as part of an Applicant for Design Approval. Proposed signs must also conform to the requirements of Chapter 927 of the Wayzata Zoning Ordinance. Buildings including more than one business shall demonstrate compatibility between different businesses.
- ~~3.~~ Franchise or national chains must comply with these Sign Standards to create signs compatible with their context.
- ~~4.~~ The following types of signage shall be prohibited:
 - a. Internally illuminated box signs
 - b. Kinetic and inflatable signs
 - c. Programmable digital signs
- ~~5.~~ Only the text and/or logo portion of the sign shall be illuminated by external spotlight or integral "halo" illumination.

B. Sign Location.

1. Wall signs on ~~amultistory~~ storefront-type ~~buildingbuildings~~ shall be placed between the first and second floors of a building.
2. Wall or roof signs on buildings that are not storefront type buildings shall be placed where they do not obscure architectural features.

C. Sign Material.

- ~~1. The material of which signs are constructed shall~~ Sign materials and design~~shall~~ be consistent and ~~compatiblecomplimentary~~ with ~~the original construction materials and existing or proposed architectural materials and style of the building facade on which.~~ Signage shall comply with the signs are affixed, following:
 - ~~2.—Materiala.~~ Durable materials, such as wood and metal, shall be used, as appropriate, ~~for~~ to fabricate the sign~~location~~.
 - ~~3b.~~ Freestanding ground or monument signs shall use materials and colors compatible with proposed building design.
 - c. Neon signs mayshall only be ~~used—for~~ located inside windows.

909.23 - Permitted Signs.

A. Lake Street District. Only the following types of signs are permitted in the Lake Street District:

1. Awning, canopy or marquee signs.
2. Wall signs.
3. Monument or ground signs.
4. Projecting signs.
5. Window signs (small accent signs).
6. Roof signs if located on pitched-roof buildings, below the peak of the roof.

B. Wayzata Boulevard District. Only the following types of signs are permitted in the Wayzata Boulevard District:

1. Wall or awning signs.

2. Free-standing signs.
3. Monument or ground signs.

Low-profile ground signs or monument signs are required for highway-oriented commercial uses such as restaurants and gas stations. Sign materials, colors and architectural detailing shall be similar to those of the principal building. External illumination of signs is permitted.

C. **Bluff District.** Only the following types of signs are permitted in the Bluff District:

1. Wall, awning or projecting signs (for storefront buildings at the street line).
2. Free-standing, ground or monument signs (for buildings with front yards).
3. Roof signs if located on pitched-roof buildings, below the peak of the roof.

909.24 - Parking Lot, Site, and Building Lighting—All Districts.

- A. Parking lot lighting shall be designed in such a way as to be in scale with its surroundings, and reduce glare.
- B. Cutoff fixtures shall be located below the mature height of trees located in parking lot islands so as to minimize ambient glow and light pollution.
- C. Pedestrian-scale lighting, not exceeding 13 feet in height, shall be located on walkways and adjacent to store entrances. All sidewalk lighting must be projected downwards. City light standard shall be followed for all public streets.
- D. Light posts shall be of a dark color.
- E. Lighting~~Building lighting~~ fixtures shall be compatible with the ~~architecture of~~scale, design, and color palette proposed for the building.
- F. Lights attached to buildings shall be screened by the building's architectural features or engineered to eliminate light trespass and glare to adjacent properties. All facade lighting must be projected downwards.
- G. All lighting fixtures shall comply with City Code Section 916.06 as it relates to glare.

H. Lighting levels shall be provided at the minimum level allowed under the Illumination Engineering Society of North America (IESNA) lighting guidelines and applicable codes.

I. Exposed electrical elements including wires, conduit, junction boxes, transformers, ballasts, and panel boxes shall be prohibited.

J. Where used at site lighting LED (Light Emitting Diode) luminaires shall be demonstrated to comply with the following:

1. Minimum Color Rendering Index (CRI) of 90

2. Correlated Color Temperature (CCT) between 2700-3500K.

909.25 - Design Review Process—Presentation Requirements.

- A. In addition to the other ~~requirement~~requirements of the Zoning Ordinance, applicants seeking design approval under the Standards shall provide the following design information to the City with an application:
1. Aerial image of subject property including identifying north, graphic scale, adjacent buildings, and public right of ways
 2. Eye level perspective images of the site from all publicly accessible frontages adjacent of the site with adjacent buildings labeled
 3. Colored Illustrative Site Plan of the proposed project-- including the following:
 - a. Graphic scale, north arrow, and vicinity map inset
 - b. Dimensioned property boundaries and underlying lot lines, easements, and labeled and dimensioned adjacent Rights of Way
 - c. Dimensioned proposed building footprints; buildings and building openings located on adjacent properties
 - d. Exterior paving
 - e. Dimensioned setbacks from all property lines
 - f. Dimensions for any surface parking or structured parking entrances.
 - g. Location of any proposed at-grade refuse enclosures or mechanical equipment (eg. A/C condensers, backflow preventers, cooling towers, pump houses, electrical transformers)
 - h. Site topography and drainage plan depicting any creeks, ponds, bogs, lakes, or other waterways within 50 feet of the project site with "top of bank" line and elevation indicated
 2. Illustrated Landscape Plan of the proposed project (this can be incorporated into the Site Plan). All images shall depict including the following:
 - i. Location of any Significant Trees onsite as designated by the City of Wayzata Tree Preservation Ordinance
 - j. Extent of landscaping and tree canopy at five years' growth.
 3. ~~Samples of all exterior materials used in connection with the project including (but not limited to):~~
 - a) ~~Brick mortar color.~~
 - b) ~~Glass samples.~~
 - c) ~~Window frame color.~~
 - d) ~~Primary Opaque Surfaces and Accent Materials.~~
 - 4.k. Proposed hardscape location, dimensions, and area
 3. Accurately colored and detailed three-dimensional computerperspective images from a program like Google Sketch Up (or similar program) from at least two vantage points that clearly show all aspects of the project. For small projects where the design changes mainly focus on a street facade, the computerperspective images may be waived.
 54. Colored building elevations of all facades (one-eighth inch scale min.). The applicant must also include.) including the following:
 - a. Any structures adjacent buildings. The Planning Commission to the property line

- b. Height dimensions to the top of wall plate, 1/2 of the height of sloped roofs, and City Council must be able to accurately see the scale of adjacent building total height to the highest roof ridge or parapet
- c. Location and landscaping from such elevation documents. dimensioned clear width of any Massing Breaks and Building Recesses
- 6. Facade diagrams with calculations of glassd. Incorporation and identification of material and finish of all windows, trims, eaves, awnings, trellises, doors, storefronts, chimneys, gutters, downspouts, vents, proposed roof equipment and screening, rooftop decks, elevator and stair enclosures, and other exterior building elements.
- e. Location and appearance of proposed fences, walls, and exterior mechanical equipment
- 5. Diagrams of each facade providing
 - a. Calculations of glazing percentage and solid surfaces for all exterior facades.
- 6. 7. For the presentations before the City Planning Commission and the City Council, applicants shall provide a PowerPoint (or other similar format) presentation which provides a project overview and highlights the project's design features.
- 6. 8. Other information and material reasonably requested by City staffDimensioned length of each facade frontage, inclusive of any Building RecessesFloor Plans for each occupiable floor including:
 - a. Exterior entrances and glazing
 - b. Dimensions for required Massing Breaks, Upper-level Stepbacks, and Building Recesses
 - c. Residential common amenity areas and residential units
 - d. Elevators, stairs, and building circulation
- 7. Roof Plan including:
 - a. Conceptual location of any proposed rooftop mechanical details and dimensions of such equipment
 - b. Equipment screening location and details
 - c. Conceptual location and configuration of trellises, canopies, and photovoltaic solar arrays.
 - d. Roof pitch and slope direction notations.
- 8. Conceptual Building Sections to depict the following:
 - a. Relationship of building and parapet heights to adjacent buildings
 - b. Section diagram showing concealment of any proposed rooftop equipment from eye-level view at adjacent public rights of way
 - c. Any sites located on or directly adjacent to slopes greater than 10% shall provide longitudinal and cross sections through adjacent properties to illustrate how the proposed building fits within the surrounding topography
- 9. Diagrams and data tables confirming the proposed development complies with quantitative Design Standards, and/or information and material that applicant believes would be helpful to the City in evaluating the project under the standards.
- 10. Presentations before the City Planning Commission and the City Council. Applicants shall provide the following:
 - a. Presentation file in pdf or Powerpoint format providing a project overview, highlighting the project's design features, and and other information and material reasonably requested by City staff.
 - 11. Physical samples of all exterior materials used in connection with the project mounted on one 24x36" board with a proposed rendering of the project. Materials shall include (but not be limited to):

- a. Window frame corner and glazing samples.
- b. Window frame material and color
- c. Wall materials and color proposed for frontages on public right of ways
- d. If masonry is proposed, Masonry mortar color sample shall be provided
- e. Color chips for accent materials, trims, awnings, and architectural metalwork
- f. Samples of visible roofing

12. Cut sheets for proposed exterior lighting fixtures including:

- a. Fixture material and finish
- b. Conceptual light output level (lumens) and Backlight/Uplight/Glare (BUG) rating. LED luminaires shall also provide Color Rendering Index (CRI) and Correlated Color Temperature (CCT)

- B. The City Planning Department may require an applicant for design approval to prepare an accurate three dimensional massing model, built to at least a 1"= 30' scale, that depicts the proposed development; any existing buildings on the site that will remain following the proposed development; any adjacent structures; and topography on the site with a contour interval of not less than two feet. A physical massing model is required as part of a Design Review application for all projects involving properties of six acres or larger in lot area. ~~For all other properties requiring a design review application, the~~

The City Planning Department may require a physical massing model if the City Planning Department determines that for other projects requiring Design Review:

- 1. The project is a complex development with structures or architectural features;
- 2. The project is determined by the Planning Department to be of great public significance; or
- 3. The ~~site has project negotiates conditions of~~ unique topography, sensitive natural, features, sensitive manmade features, or is highly visible. If such massing model is required, the City Planning Department shall notify the applicant within ten days of submission of the application, and the following shall apply:
 - a) Before preparing the model, the applicant shall confer with the City Planning Department to determine whether the model should show topography and existing buildings on properties within 350 feet to the subject property, to provide a neighborhood context for the proposed development.
 - b) The applicant shall provide the model for inspection by the City Planning Department no less than one week prior to the initial meeting at which the application is scheduled for review by the Planning Commission, so the Planning Department may confirm the accuracy and completeness of the model.
 - c) Following conclusion of the review of the project, the applicant shall submit photographs of the model so documentation of the appearance of the model can be part of the record of the application.

909.26 - Design Review Process Schedule.

- A. The Design Review process shall follow the following general schedule:
- 1. City staff shall have at least 30 days to review a completed development application and all required materials prior to review by the Planning Commission meeting.

2. The application and all supporting information shall be formally reviewed by City staff for conformance with the Design Standards.
3. If the application is deemed completed by City Staff under the Section 909.25, City staff shall inform the applicant; prepare a written report on the application; and schedule the application for a public hearing before the Planning Commission.
4. After the Planning Commission has held a public hearing on the application, and made a report and recommendation to the City Council, City staff will schedule the application for review by the City Council. The City Council will review the Application and provide a formal approval or denial of the application.
5. If the applicant materially alters an application for design approval under these Standards after the Planning Commission has made a recommendation on the application, the applicant must submit a side-by-side comparison, which highlights the changes in submittal materials presented to the Planning Commission and the altered submission to the City Council. This side-by-side comparison submittal must be received by City Staff at least one week prior to the City Council meeting at which the application will be reviewed.

909.27 - Meeting with City Planning Department.

- A. If requested by the City, after submitting an application for Design Approval, the applicant shall meet with the City Planning Department. Such meeting with the City Planning Department, if requested, must take place prior to the review of the Planning Commission and other City approvals.
- B. At such meeting, the City Planning Department will review the Standards with the applicant and determine what information and material may be required for review of the project and the application.
- C. The applicant may schedule additional meetings with the City Planning Department as needed during the design process.

909.28 - Final Review—Design Report.

- A. The applicant shall schedule a final review with the City Planning Department, from which the City Planning Department staff shall prepare a staff report on project design to be used by the Planning Commission in its review of the application.
- B. The staff report on design shall provide a detailed review of the design of the project and ~~it shall~~ itemize Minor Deviations given administrative relief and other Deviations from project conformance ~~with~~ the Design Standards.

909.29 - Deviations from the Design Standards—All Districts.

A. ~~With~~ Deviations shall be categorized as follows:

1. Minor Deviations shall be defined as insignificant deviations necessitated by conflicting jurisdictional requirements, specific site conditions, or specific written requests from the exception of applicant. Minor Deviations shall be assessed administratively and may be granted by Planning Staff prior to Planning Commission review. Minor Deviations will be itemized in the report prepared by staff.
2. Significant Deviations shall be defined as deviations that amount to a significant departure from the Standards enumerated in Section 909.10 of and the Wayzata Design Standards, a

~~deviation from any section of the Design Standards Document.~~ **Significant Deviations** shall require a finding by the City Council (after considering the Planning Commission's recommendation) that the negative impact of such deviation is outweighed by one or more of the following factors:

1. The extent to which the project advances specific policies and provisions of the City's Comprehensive Plan.
2. The extent to which the deviation permits greater conformity with other Standards, policies behind the Standards, or with other Zoning Ordinance standards.
3. The positive effect of the project on the area in which the project is proposed.
4. The alleviation of an undue burden, taking into account current leasing, housing and commercial conditions.
5. The accommodation of future possible uses contemplated by the Design Standards, the Zoning Ordinance or the Comprehensive Plan.
6. A national, state or local historic designation.
7. The project is the remodeling of an existing building which largely otherwise conforms to the Design Standards.

B. Minor Deviations shall be limited to the following:

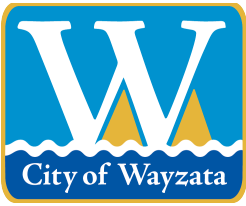
1. Section 909.09 A1 Encroachment of Visible Roof forms into upper story setback
2. The entirety of Section 909.10, 909.11, 909.12, 909.13.
3. Inclusion of other materials into the materials palettes in Sections 909.14
4. Section 909.14 H, I, J, K, L, and O
5. The entirety of Section 909.20: Bicycle Parking
6. Section 909.22 B and C
7. Any deviation from numerical standards equal to or less than 5% of the required numerical standard if specifically requested in writing by the applicant in their development application.

C. Significant Deviations:

All deviations that fall outside the definition of Minor Deviations shall be considered Significant Deviations and shall be subject to review by the Planning Commission and approval by the City Council

909.30 - Conflict with Other Sections of the Zoning Ordinance.

To the extent possible, these Design Standards are meant to be read in conjunction with all other applicable requirements in the Zoning Ordinance. To the extent there is a conflict between the Design Standards and any other section of the Zoning Ordinance or City Code, the stricter standard shall apply.



City of Wayzata Planning Commission Agenda Report

MEETING DATE: April 5, 2021	AGENDA ITEM: 6.a
TITLE: Review of Development Activities	
PREPARED BY: Nick Kieser, Assistant Planner	
REVIEWED BY: Emily Goellner, Community Development Director	
60 DAY DEADLINE: N/A	

BACKGROUND:

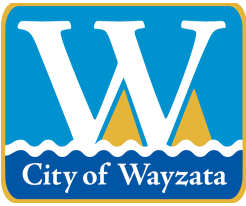
Staff will give a verbal update at the meeting.

ACTION REQUESTED:

N/A

ATTACHMENTS:

None



City of Wayzata Planning Commission Agenda Report

MEETING DATE: April 5, 2021	AGENDA ITEM: 6.b
TITLE: Planning Commissioner Liaison Schedule and City Meeting Calendar	
PREPARED BY: Nick Kieser, Assistant Planner	
REVIEWED BY: Emily Goellner, Community Development Director	
60 DAY DEADLINE: N/A	

BACKGROUND:

Commissioner Bashoum is scheduled for the April 6, 2021 City Council meeting. The Liaison Schedule and 2021 City Meeting Calendar are attached. The next Planning Commission meeting is scheduled for Monday, April 19, 2021.

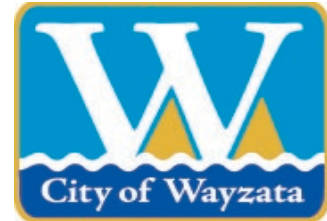
ACTION REQUESTED:

N/A

ATTACHMENTS:

1. 2021 Wayzata Calendar
2. Planning Commission Assignments at Council Meetings 2021

City of Wayzata 2021 Meeting Calendar



January 2021						
S	M	T	W	Th	F	S
					1	2
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31						

February 2021						
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28						

March 2021						
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April 2021						
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June 2021						
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August 2021						
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September 2021						
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31						

November 2021						
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28	29	30				

December 2021						
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- Energy & Environment Committee - 5:00 PM
- Planning Commission - 6:30 PM
- City Council - 7:00 PM
- Wayzata School Board
- Lake Minnetonka Conservation District (LMCD)
- Heritage Preservation Board (HPB) - 5:00 PM
- Housing & Redevelopment Authority (HRA) - 7:30 AM
- Parks & Trails Board - 6:00 PM
- Charter Commission - 9:00 AM
- Elections (see below)
- Night to Unite

Meeting dates and times are subject to change. Dates can be confirmed by calling City Hall.

Holiday Observed
City Offices Closed

Precinct Caucuses -

Primary Election -

General Election - School Board Election

2021
Planning Commission assignments at Council meetings

<u>Meeting Date</u>		<u>Commission Representative</u>
Tuesday	January 5, 2021	Christine Plantan
Tuesday	January 19, 2021	Jeff Parkhill
Tuesday	February 2, 2021	Peggy Douglas
Tuesday	February 16, 2021	Gregory Flannigan
Tuesday	March 2, 2021	Larissa Stockton
Tuesday	March 16, 2021	Laura Merriam
Tuesday	April 6, 2021	Lindsay Bashioum
Tuesday	April 20, 2021	Christine Plantan
Tuesday	May 4, 2021	Jeff Parkhill
Tuesday	May 18, 2021	Peggy Douglas
Tuesday	June 1, 2021	Gregory Flannigan
Tuesday	June 15, 2021	Larissa Stockton
Tuesday	July 6, 2021	Laura Merriam
Tuesday	July 20, 2021	Lindsay Bashioum
Tuesday	August 10, 2021	Christine Plantan
Tuesday	August 24, 2021	Jeff Parkhill
Tuesday	September 7, 2021	Peggy Douglas
Tuesday	September 21, 2021	Gregory Flannigan
Tuesday	October 5, 2021	Larissa Stockton
Tuesday	October 19, 2021	Laura Merriam
Wednesday	November 3, 2021	Lindsay Bashioum
Tuesday	November 16, 2021	Christine Plantan
Tuesday	December 7, 2021	Jeff Parkhill
Tuesday	December 21, 2021	Peggy Douglas

Last Updated: February 18, 2021