

**WAYZATA CITY COUNCIL MEETING AGENDA**  
Wayzata City Hall Community Room, 600 Rice Street  
Tuesday, January 16, 2018

**WORKSHOP TOPICS FOR DISCUSSION:**

1. Lake Effect Financing (5:30 p.m.)
2. Simple Recycling (6:00 p.m. or immediately following)
3. Parks & Trails Board Expansion (6:30 p.m. or immediately following)

**7:00 PM - CITY COUNCIL MEETING**

| ITEM | DESCRIPTION                                                                                                                                                                                                                  | PRESENTER | DK | ST | KW | JM | AP | VOTE | PAGE # |
|------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|----|----|----|----|----|------|--------|
| 1    | Call to Order                                                                                                                                                                                                                |           |    |    |    | A  |    |      |        |
| 2    | Pledge of Allegiance                                                                                                                                                                                                         |           |    |    |    |    |    |      |        |
| 3    | Roll Call                                                                                                                                                                                                                    |           |    |    |    |    |    |      |        |
| 4    | Approve Agenda                                                                                                                                                                                                               |           |    |    |    |    |    |      |        |
| 5    | Public Forum - 15 Minutes (3 min/person)                                                                                                                                                                                     |           |    |    |    |    |    |      |        |
| a.   | Swearing in Ceremony for Police Officer Anders Seeland                                                                                                                                                                       | Willcox   |    |    |    |    |    |      |        |
| b.   | Presentation of HPB & Planning Commissioner Service Awards                                                                                                                                                                   | Willcox   |    |    |    |    |    |      |        |
| 6    | New Agenda Items (3 min/councilmember) - 1. Councilmember suggest item to add; 2. Must be seconded by another Councilmember; 3. Determine staff resources, scheduling & timeframe; 4. Discuss & vote to add to future agenda |           |    |    |    |    |    |      |        |
| a.   |                                                                                                                                                                                                                              |           |    |    |    |    |    |      |        |
| 7    | Consent Agenda                                                                                                                                                                                                               |           |    |    |    |    |    |      | 3      |
| a.   | Approval of City Council Workshop Meeting Minutes of January 2, 2018 and City Council Regular Meeting Minutes of January 2, 2018                                                                                             |           |    |    |    |    |    |      |        |
| b.   | Approval of Check Register                                                                                                                                                                                                   |           |    |    |    |    |    |      |        |
| c.   | Approval of Municipal Licenses                                                                                                                                                                                               |           |    |    |    |    |    |      |        |
| d.   | Police Activity Report                                                                                                                                                                                                       |           |    |    |    |    |    |      |        |
| e.   | Building Activity Report                                                                                                                                                                                                     |           |    |    |    |    |    |      |        |
| f.   | Mediacom Quarterly Customer Service Report                                                                                                                                                                                   |           |    |    |    |    |    |      |        |
| g.   | Approval of Intergovernmental Cooperative Agreement with the City of Bloomington (for Public Safety Needs Related to Super Bowl LII)                                                                                         |           |    |    |    |    |    |      |        |
| h.   | Approval of House Plans at 1058 Circle Dr E                                                                                                                                                                                  |           |    |    |    |    |    |      |        |
| i.   | Approval of 2018 Lease Agreement with the Wayzata Historical Society (for the Wayzata Depot, 402 Lake Street E)                                                                                                              |           |    |    |    |    |    |      |        |
| j.   | Approval of 2018 Use Agreement and License Agreement with the Lake Minnetonka Conservation District                                                                                                                          |           |    |    |    |    |    |      |        |
| 8    | New Business                                                                                                                                                                                                                 |           |    |    |    |    |    |      |        |
| a.   | Presentation of 2017 City of Wayzata Annual Report                                                                                                                                                                           | Dahl      |    |    |    |    |    |      | 106    |
| b.   | Consider Resolution No. 05-2018 AND First Reading of Ordinance No. 778 Approving Rezoning, PUD Concept and General Plan, and Preliminary Plat Subdivision at 350 Gardner St E                                                | Thomson   |    |    |    |    |    |      | 118    |
| 9    | City Manager's Report and Discussion Items                                                                                                                                                                                   |           |    |    |    |    |    |      |        |
| 10   | Public Forum (as necessary)                                                                                                                                                                                                  |           |    |    |    |    |    |      |        |
| 11   | Adjournment                                                                                                                                                                                                                  |           |    |    |    |    |    |      |        |

**Meeting Rules of Conduct:**

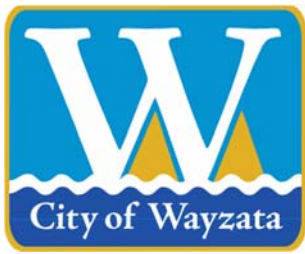
Turn in white card for public forum and blue card for agenda item  
Give name and address  
Indicate if representing a group  
Limit remarks to 3 minutes

**Upcoming Meetings:**

City Council - WEDNESDAY February 7 & Tuesday February 20, 2018  
Planning Commission - February 5 & 26, 2018

Members of the City Council and some staff members may gather at the Wayzata Bar and Grill immediately after the meeting for a purely social event. All members of the public are welcome.





## City of Wayzata City Council Agenda Report

|                                                                                                                                                              |                        |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------|
| <b>MEETING DATE:</b> January 16, 2017                                                                                                                        | <b>AGENDA ITEM:</b> 7a |
| <b>TITLE:</b> Approval of City Council Workshop Meeting Minutes of January 2, 2018 and City Council Regular Meeting Minutes of January 2, 2018               |                        |
| <b>PROPOSED MOTION:</b> To Approve the City Council Workshop Meeting Minutes of January 2, 2018, and City Council Regular Meeting Minutes of January 2, 2018 |                        |
| <b>PREPARED BY:</b> Becky Malone, City Clerk                                                                                                                 |                        |
| <b>REVIEWED BY:</b> Jeffrey Dahl, City Manager                                                                                                               |                        |

**ACTION REQUESTED:**

Staff recommends approval of the attached draft minutes.

**FINANCIAL OR BUDGET CONSIDERATION:**

N/A

**BACKGROUND:**

N/A

**ATTACHMENTS:**

1. Draft City Council Workshop Meeting Minutes of January 2, 2018
2. Draft City Council Meeting Minutes of January 2, 2018

**WAYZATA CITY COUNCIL**  
**DRAFT - WORKSHOP MEETING MINUTES**  
**January 2, 2018**

**6:15 p.m. Discussion of 2018 Organizational Changes**

Mayor Pro Tem Tyacke called the workshop meeting to order at 6:15 pm in the Community Room at Wayzata City Hall. Council Members present: Koch, McCarthy, and Plechash. Absent and Excused: Mayor Willcox. Also present: City Manager Dahl, and Director of Planning & Building Thomson.

City Manager Dahl stated that prior to making any personnel changes that are not articulated in the 2018 budget, discussion is needed with the Council regarding short-term and long-term staffing needs.

Mr. Dahl reported that one of the strategic initiatives in the 2017-2020 Strategic Plan was to update a previous organizational report from 2014 and determine needed staffing changes due to pending retirements and increasing demand on city services. He stated that late last year, Craig Rapp, LLC completed its organizational update, which provided more detail on the current status of the organization and offers recommendations that address current and future needs.

Mr. Dahl informed the Council that since the completion of the organizational update, he has discussed the report individually with staff as well as nearly the entire Council.

Mr. Dahl stated that while the report has several significant recommendations on departments throughout the organization, which could take place over several years, more immediate action is needed on the recommended actions within the Public Works Department.

Mr. Dahl reminded the group that Public Works Director Dave Dudinsky is retiring in April and key duties will need to be re-assigned. He said he has been working with Dave, and City Engineer Mike Kelly, in preparation for Dave's retirement for quite some time. He noted that the department is already one position short. As a result, hiring needs to commence in early 2018 to get the new employee on board prior to Dave's departure. He stated that the immediate need is to fill the open Engineering Tech position with more of an Assistant City Engineer/Project Manager-like position, and then shuffle several of Dave's duties around to other departments.

Mr. Dahl reviewed a spreadsheet showing recommended actions over 2018 as well as the next several years. He also informed the council that the recommended actions do not have significant budget impacts for 2018 (actually, he projects a net positive impact in 2018), the action does set the path for future actions, which will likely have budget impacts over the next several years.

The council indicated their support for hiring a Project Manager and indicated a willingness to look at an adding more City Manager-back up duties to the current Planning and Building Director with consultants providing additional planning department support. The Council asked for more information regarding the Full-time Chief/Inspector/Marshal position.

The workshop meeting was adjourned at 6:55 pm.

Respectfully submitted,

Becky Malone  
City Clerk



**WAYZATA CITY COUNCIL**  
**DRAFT - MEETING MINUTES**  
**January 2, 2018**

**AGENDA ITEM 1. Call to Order.**

Mayor Pro Tem Tyacke called the meeting to order at 7:00 p.m.

**AGENDA ITEM 2. Pledge of Allegiance.**

**AGENDA ITEM 3. Roll Call.**

Council Members present: Koch, McCarthy, Plechash and Tyacke. Council Member absent and excused: Mayor Willcox. Also present: City Manager Dahl, Director of Planning and Building Thomson, and City Attorney Schelzel.

**AGENDA ITEM 4. Approve Agenda.**

Mrs. McCarthy made a motion, seconded by Mr. Plechash to approve the agenda. There was no further discussion. The motion carried 4/0.

Mayor Pro Tem Tyacke noted the Council met in Workshop prior to the meeting to discuss 2018 organizational changes.

**AGENDA ITEM 5. Public Forum.**

None.

**AGENDA ITEM 6. New Agenda Items.**

None.

**AGENDA ITEM 7. Consent Agenda.**

Mayor Pro Tem Tyacke referred to the variance requests of items 7(e) and 7(f) and inquired if any of the neighbors had expressed opposition at the public hearing. Director of Planning and Building Thomson confirmed no one expressed opposition.

Mr. Plechash made a motion, seconded by Mr. Koch, to approve the consent agenda:

- a. Approval of City Council Workshop Meeting Minutes of December 19, 2017, and City Council Regular Meeting Minutes of December 19, 2017
- b. Approval of Check Register
- c. Approval of Municipal Licenses
- d. Approval of 5:30 p.m. on April 17, 2018 as the Time and Date for our 2018 Local Board of Appeal and Equalization Meeting
- e. Approval of Resolution No. 03-2018 Approving Setback Variances at 908 Shady Lane East
- f. Approval of Resolution No. 04-2018 Approving Setback Variances at 126 Circle A Drive South
- g. Approval of a 2018 Lease Agreement with the Wayzata Chamber of Commerce (for Wayzata Depot, 402 Lake Street East)

There was no further discussion. The motion carried 4/0.

**AGENDA ITEM 8. New Business.**

- a. **Consider Approval of Resolution No. 01-2018 Designating Appointments and Assignments for 2018**

City Manager Dahl reported on the following 2018 Appointments and Assignments:

- Steven Tyacke – Mayor Pro Tem; 2) Johanna McCarthy; 3) Dan Koch; 4) Alex Plechash

- Daniel Baasen – LMCD Board of Directors
- Johanna McCarthy – Suburban Rate Authority Representative
- Best & Flanagan (David Schelzel) – City Attorney
- Jeffrey W. Lambert, PA – Prosecuting Attorney
- Hennepin County (City of Minnetonka) – Health Officer
- *Wayzata Sun Sailor* – Official Newspaper
- Kurt Klapprich – Assistant Weed Inspector
- Becky Malone – Responsible Authority
- Rolf Erickson with Southwest Assessing – Residential Property Assessor
- Hennepin County Assessor’s Office – Assessor for Commercial, Industrial, Utility & Apartment, and the “Promenade of Wayzata” properties
- Mayor Ken Willcox, Steven Tyacke, and Jeffrey Dahl – City Representatives on Lake Effect Team
- Jeff Thomson – Lake Effect Lead Staff Person
- Anchor Bank, UBS Financial Services, Morgan Stanley Smith Barney, League of Minnesota Cities 4M Fund & 4M Plus, Wells Fargo Bank, N.A. – Official Depositories

Mr. Dahl stated they switch newspapers each year between the two primary official local newspapers.

Mrs. McCarthy commented it had been an honor to serve as the Suburban Rate Authority Representative for the past three years, and offered to let another Council Member serve in that role. She also requested further discussion on the Health Officer Role with the City of Minnetonka at a future Workshop. Mr. Dahl agreed to set this up.

Mr. Plechash offered to serve as the Suburban Rate Authority Representative. He also inquired what benefit the designated newspaper receives.

Mr. Dahl responded the City pays the newspaper to publish all its public notices and ordinance changes.

Mrs. McCarthy made a motion, seconded by Mr. Koch to adopt Resolution No. 01-2018 Designating the City Appointments and Assignments for 2018, as amended with Council Member Plechash serving as the Suburban Rate Authority Representative.

Mr. Plechash noted Kurt Klapprich is appointed as the Assistant Weed Inspector, and inquired who the Weed Inspector is.

Mr. Dahl responded Mayor Willcox is the Weed Inspector.

There was no further discussion. The motion carried 4/0.

**b. Consider Approval of Resolution 02-2018 Authorizing the Issuance of Special Permits for Extended On-Sale Liquor Sales Hours for the Super Bowl**

City Manager Dahl reported the Minnesota Legislature passed a special session law allowing service of alcohol through extended hours for the 2018 Super Bowl. Other cities have passed similar resolutions and it would require businesses to fill out an application and submit it with a \$250 fee. He stated Chief Risvold had indicated that he did not see any major concerns as long as the permitting process was completed. The Hotel Landing and a few other restaurants have requested the later closing hours.

Mrs. McCarthy inquired about the current hours businesses are allowed to serve, if a review of previous issues will be taken into consideration before issuing the permit, and if this permit only allows for indoor service.

Mr. Dahl stated currently the State Statute allows businesses to stay open until 2:00 a.m., but Wayzata businesses are only allowed to be open until 1:00 a.m., per City regulations. This permit would allow for a three-hour extension. When an application is submitted, it will be reviewed by himself, City staff, and the police department. They will determine if there are reasons

not to approve it or attach conditions, if needed. Outdoor service could take place if the special event permit allowed for it.

Mrs. McCarthy expressed concern with having outdoor service until 4:00 a.m., as it could potentially disrupt the community.

City Attorney Schelzel explained this special permit for extended hours would only be for establishments that already hold a license, and would be for their current licensed premises. If their current license allows outdoor service, this would allow them to extend their hours outdoors as well. If their current license does not allow outdoor service, they would have to go through a separate permitting process for it.

Mr. Dahl noted the City does not allow for outdoor patios on city right-of-way in the winter and so applicants would have to go through the special event permitting process in order to allow for an exception to that rule.

Mayor Pro Tem inquired if more enforcement resources would be needed during the extended hours.

Mr. Dahl stated Chief Risvold indicated he did not see the need for additional enforcement. However, it may be determined through the permitting process that an establishment may require additional security.

Kim Nevins, with The Hotel Landing, requested the Council consider approval of this resolution. She stated the hotel has booked over \$250,000 in guest rooms and food and beverage revenue over these four days. They have international guests staying in Wayzata that include executives and customers with LG, Delta Airlines and MetLife.

Mr. Dahl inquired if they are planning any type of outdoor activity.

Ms. Nevins confirmed they were not.

Terri Huml, 293 Grace Pointe Court, owner of Giannis Restaurant, stated the Hotel Landing is completely sold out to the top tier business people in the country. She wants to be able to give guests the same world class opportunity, treatment, and availability for hospitality they could get other places in the country, and supports this resolution.

Mr. Plechash made a motion, seconded by Mr. Koch to adopt Resolution No. 02-2018 Authorizing the Issuance of Special Permits for Extended Hours of On-Sale Liquor Sales during the 2018 Super Bowl. There was no further discussion. The motion carried 4/0.

### **AGENDA ITEM 9. City Manager's Report and Discussion Items.**

#### **a. Upcoming Events/Announcements**

- The electric car charging stations are open in the parking ramp. They plan to keep the service free for now, determine how much energy is being used and consider if a fee should be proposed in the future.
- Staff is working on the City's annual report and will present it in the near future.
- The Public Works department will begin collecting Christmas trees on January 8.

#### **b. Council Member Updates/Announcements**

Mayor Pro Tem Tyacke announced the Fire Department is seeking candidates for paid on-call positions.

### **AGENDA ITEM 10. Public Forum Continued (if necessary).**

There were no comments.

### **AGENDA ITEM 11. Adjournment.**

Mrs. McCarthy made a motion, seconded by Mr. Koch to adjourn. There being no further business, Mayor Pro Tem Tyacke adjourned the meeting at 7:34 p.m.

Respectfully submitted,

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4 Becky Malone

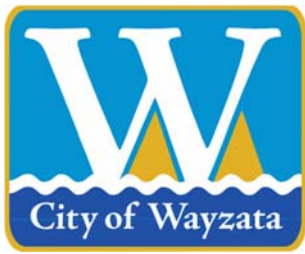
5 City Clerk

6

7 Drafted by Shannon Schmidt

8 *TimeSaver Off Site Secretarial, Inc.*

DRAFT



## City of Wayzata City Council Agenda Report

|                                                                                           |                        |
|-------------------------------------------------------------------------------------------|------------------------|
| <b>MEETING DATE:</b> January 16, 2018                                                     | <b>AGENDA ITEM:</b> 7b |
| <b>TITLE:</b> Approval of Check Register                                                  |                        |
| <b>PROPOSED MOTION:</b> To Approve the Payment of Checks for December 2017 & January 2018 |                        |
| <b>PREPARED BY:</b> Kathy Ovshak, Senior Accountant                                       |                        |
| <b>REVIEWED BY:</b> Jeffrey Dahl, City Manager                                            |                        |

**ACTION REQUESTED:**

Staff recommends approval of the attached check register for December 2017 & January 2018.

**FINANCIAL OR BUDGET CONSIDERATION:**

N/A

**BACKGROUND:**

N/A

**ATTACHMENTS:**

1. Check Detail Register - December 2017 & January 2018

**\*Check Detail Register©**

December 2017 to January 2018

|                          |                                         |            | Check Amt                         | Invoice    | Comment              |
|--------------------------|-----------------------------------------|------------|-----------------------------------|------------|----------------------|
| <b>10100 Anchor Bank</b> |                                         |            |                                   |            |                      |
| Paid Chk#                | 108217                                  | 12/29/2017 | <b>ABSOLUTE MECHANICAL</b>        |            |                      |
| E 640-48000-401          | Repairs/Maint Buildings                 |            | \$7,430.00                        | 8943       | MUNI EXHAUST FILTERS |
|                          | <b>Total ABSOLUTE MECHANICAL</b>        |            | \$7,430.00                        |            |                      |
| Paid Chk#                | 108218                                  | 12/29/2017 | <b>ACME TOOLS</b>                 |            |                      |
| E 610-40000-240          | Small Tools and Minor Equip             |            | \$508.75                          | 5470944    | TOOLS                |
| E 620-40000-240          | Small Tools and Minor Equip             |            | \$508.75                          | 5470944    | TOOLS                |
| E 101-43100-240          | Small Tools and Minor Equip             |            | \$133.75                          | 5470944    | TOOLS                |
| E 101-45200-240          | Small Tools and Minor Equip             |            | \$133.75                          | 5470944    | TOOLS                |
|                          | <b>Total ACME TOOLS</b>                 |            | \$1,285.00                        |            |                      |
| Paid Chk#                | 108219                                  | 12/29/2017 | <b>AIRTECH</b>                    |            |                      |
| E 437-40000-404          | Repairs/Maint - Machin/Equip            |            | \$620.00                          | 31994      | LIBRARY MAINT.       |
|                          | <b>Total AIRTECH</b>                    |            | \$620.00                          |            |                      |
| Paid Chk#                | 108220                                  | 12/29/2017 | <b>ANCOM COMMUNICATIONS, INC.</b> |            |                      |
| E 101-42200-323          | Radio Units                             |            | \$2,349.80                        | 33146      | FD RADIOS            |
|                          | <b>Total ANCOM COMMUNICATIONS, INC.</b> |            | \$2,349.80                        |            |                      |
| Paid Chk#                | 108221                                  | 12/29/2017 | <b>ARTISAN BEER COMPANY</b>       |            |                      |
| E 640-47000-253          | Beer For Resale                         |            | \$384.70                          | 3230428    | BEER RESALE          |
| E 640-48000-253          | Beer For Resale                         |            | (\$150.00)                        | 406820     | BEER RESALE          |
|                          | <b>Total ARTISAN BEER COMPANY</b>       |            | \$234.70                          |            |                      |
| Paid Chk#                | 108222                                  | 12/29/2017 | <b>BELLBOY BAR SUPPLY CORP.</b>   |            |                      |
| E 640-47000-251          | Liquor For Resale                       |            | \$673.84                          | 62109300   | LIQ RESALE           |
| E 640-47000-259          | Freight                                 |            | \$22.86                           | 62109300   | FREIGHT              |
| E 640-47000-252          | Wine For Resale                         |            | \$200.00                          | 62109300   | WINE                 |
| E 640-47000-251          | Liquor For Resale                       |            | \$231.95                          | 62221200   | LIQUOR               |
| E 640-47000-259          | Freight                                 |            | \$5.10                            | 62221200   | FREIGHT              |
| E 640-47000-210          | Operating Supplies (GENERAL)            |            | \$77.50                           | 96921400   | SUPPLIES             |
| E 640-47000-254          | Soft Drinks/Mix For Resale              |            | \$63.50                           | 96921400   | MISC.MDSE.           |
| E 640-47000-259          | Freight                                 |            | \$4.66                            | 96921400   | FREIGHT              |
| E 640-47000-210          | Operating Supplies (GENERAL)            |            | \$100.46                          | 96963600   | SUPPLIES             |
|                          | <b>Total BELLBOY BAR SUPPLY CORP.</b>   |            | \$1,379.87                        |            |                      |
| Paid Chk#                | 108223                                  | 12/29/2017 | <b>BERNICK'S WINE</b>             |            |                      |
| E 640-47000-254          | Soft Drinks/Mix For Resale              |            | \$91.55                           | 399554     | MISC.BEV             |
| E 640-47000-253          | Beer For Resale                         |            | \$556.53                          | 399555     | BEER                 |
|                          | <b>Total BERNICK'S WINE</b>             |            | \$648.08                          |            |                      |
| Paid Chk#                | 108224                                  | 12/29/2017 | <b>BOURGET IMPORTS</b>            |            |                      |
| E 640-47000-252          | Wine For Resale                         |            | \$248.00                          | 147392     | WINE                 |
| E 640-47000-259          | Freight                                 |            | \$3.00                            | 147392     | FREIGHT              |
| E 640-47000-252          | Wine For Resale                         |            | \$240.00                          | 147580     | WINE                 |
| E 640-47000-259          | Freight                                 |            | \$3.00                            | 147580     | FREIGHT              |
|                          | <b>Total BOURGET IMPORTS</b>            |            | \$494.00                          |            |                      |
| Paid Chk#                | 108225                                  | 12/29/2017 | <b>BREAKTHRU BEVERAGE</b>         |            |                      |
| E 640-47000-251          | Liquor For Resale                       |            | \$3,983.65                        | 1080735375 | LIQUOR               |
| E 640-47000-259          | Freight                                 |            | \$29.71                           | 1080735375 | FREIGHT              |
| E 640-47000-252          | Wine For Resale                         |            | \$3,027.33                        | 1080735376 | WINE                 |
| E 640-47000-259          | Freight                                 |            | \$32.62                           | 1080735376 | FREIGHT              |
| E 640-47000-254          | Soft Drinks/Mix For Resale              |            | \$178.12                          | 1080735377 | MSIC.MIX             |
| E 640-47000-259          | Freight                                 |            | \$2.90                            | 1080735377 | FREIGHT              |
| E 640-48000-251          | Liquor For Resale                       |            | \$216.00                          | 1080735499 | LIQUOR               |
| E 640-48000-252          | Wine For Resale                         |            | \$325.17                          | 1080735499 | WINE                 |

**\*Check Detail Register©**

December 2017 to January 2018

|                                          |                              |            | Check Amt                          | Invoice    | Comment            |
|------------------------------------------|------------------------------|------------|------------------------------------|------------|--------------------|
| E 640-47000-251                          | Liquor For Resale            |            | \$4,210.71                         | 1080738435 | LIQUOR             |
| E 640-47000-259                          | Freight                      |            | \$32.98                            | 1080738435 | FREIGHT            |
| E 640-47000-252                          | Wine For Resale              |            | \$576.73                           | 1080738436 | WINE               |
| E 640-47000-259                          | Freight                      |            | \$7.25                             | 1080738436 | FREIGHT            |
| E 640-48000-251                          | Liquor For Resale            |            | \$216.00                           | 1080738564 | LIQUOR             |
| E 640-48000-252                          | Wine For Resale              |            | \$325.17                           | 1080738564 | WINE               |
| E 640-47000-251                          | Liquor For Resale            |            | (\$453.97)                         | 2080188994 | LIQUOR             |
| E 640-47000-251                          | Liquor For Resale            |            | (\$532.45)                         | 2080189376 | LIQUOR             |
| E 640-47000-251                          | Liquor For Resale            |            | (\$247.50)                         | 2080190369 | LIQUOR             |
| E 640-47000-252                          | Wine For Resale              |            | (\$169.45)                         | 2080190798 | WINE               |
| E 640-47000-254                          | Soft Drinks/Mix For Resale   |            | (\$10.22)                          | 2080191066 | MISC.MIX           |
| <b>Total BREAKTHRU BEVERAGE</b>          |                              |            | \$11,750.75                        |            |                    |
| Paid Chk#                                | 108226                       | 12/29/2017 | <b>BREAKTHRY BEVERAGE BEER</b>     |            |                    |
| E 640-48000-253                          | Beer For Resale              |            | \$906.00                           | 1090800531 | BEER               |
| E 640-47000-253                          | Beer For Resale              |            | \$1,385.00                         | 1090800619 | BEER               |
| E 640-47000-253                          | Beer For Resale              |            | \$28.20                            | 1090800620 | BEER               |
| E 640-48000-253                          | Beer For Resale              |            | \$432.00                           | 1090803092 | BEER               |
| E 640-47000-253                          | Beer For Resale              |            | \$4,019.20                         | 1090803114 | BEER               |
| E 640-47000-253                          | Beer For Resale              |            | \$28.20                            | 1090803115 | BEER               |
| E 640-47000-253                          | Beer For Resale              |            | \$26.45                            | 1090803116 | BEER               |
| <b>Total BREAKTHRY BEVERAGE BEER</b>     |                              |            | \$6,825.05                         |            |                    |
| Paid Chk#                                | 108227                       | 12/29/2017 | <b>CAPITOL BEVERAGE SALES</b>      |            |                    |
| E 640-48000-253                          | Beer For Resale              |            | \$908.00                           | 2043646    | BEER               |
| E 640-47000-253                          | Beer For Resale              |            | \$3,614.80                         | 2045836    | BEER               |
| E 640-48000-253                          | Beer For Resale              |            | \$1,309.00                         | 2046657    | BEER               |
| E 640-47000-253                          | Beer For Resale              |            | \$835.45                           | 6991339    | BEER               |
| <b>Total CAPITOL BEVERAGE SALES</b>      |                              |            | \$6,667.25                         |            |                    |
| Paid Chk#                                | 108228                       | 12/29/2017 | <b>CINTAS CORPORATION</b>          |            |                    |
| E 640-48500-210                          | Operating Supplies (GENERAL) |            | \$98.80                            | 5009654029 | FIRST AID SUPPLIES |
| E 640-48500-210                          | Operating Supplies (GENERAL) |            | (\$12.95)                          | 9019916619 | FIRST AID SUPPLIES |
| <b>Total CINTAS CORPORATION</b>          |                              |            | \$85.85                            |            |                    |
| Paid Chk#                                | 108229                       | 12/29/2017 | <b>COCA-COLA</b>                   |            |                    |
| E 640-47000-254                          | Soft Drinks/Mix For Resale   |            | \$557.39                           | 3609204597 | MISC MIX           |
| E 640-47000-254                          | Soft Drinks/Mix For Resale   |            | (\$31.04)                          | 3609204598 | MISC MIX           |
| E 640-47000-254                          | Soft Drinks/Mix For Resale   |            | \$70.00                            | 3613204386 | MISC MIX           |
| <b>Total COCA-COLA</b>                   |                              |            | \$596.35                           |            |                    |
| Paid Chk#                                | 108230                       | 12/29/2017 | <b>COURIER SOURCE, INC.</b>        |            |                    |
| E 101-41500-499                          | Miscellaneous                |            | \$43.92                            | 150600     | SERVICE            |
| <b>Total COURIER SOURCE, INC.</b>        |                              |            | \$43.92                            |            |                    |
| Paid Chk#                                | 108231                       | 12/29/2017 | <b>COZZINI BROS., INC.</b>         |            |                    |
| E 640-48500-415                          | Other Equipment Rentals      |            | \$55.91                            | C4557166   | KNIFE EXCHANGE     |
| <b>Total COZZINI BROS., INC.</b>         |                              |            | \$55.91                            |            |                    |
| Paid Chk#                                | 108232                       | 12/29/2017 | <b>DAHLHEIMER DISTRIBUTING CO.</b> |            |                    |
| E 640-47000-253                          | Beer For Resale              |            | \$1,018.90                         | 1321469    | BEER               |
| E 640-48000-253                          | Beer For Resale              |            | \$663.00                           | 1321470    | BEER               |
| E 640-48000-253                          | Beer For Resale              |            | \$423.00                           | 1321518    | BEER               |
| <b>Total DAHLHEIMER DISTRIBUTING CO.</b> |                              |            | \$2,104.90                         |            |                    |
| Paid Chk#                                | 108233                       | 12/29/2017 | <b>DENNYS 5TH AVENUE BAKERY</b>    |            |                    |
| E 640-48500-255                          | FOODIngredients For Resale   |            | \$123.88                           | 688766     | FOOD               |
| E 640-48500-255                          | FOODIngredients For Resale   |            | \$143.47                           | 689669     | FOOD               |

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| E 640-48500-255  | FOOD                                  | Ingredients For Resale                | \$92.05            | 690224      | FOOD             |
| <b>Total</b>     | <b>DENNYS 5TH AVENUE BAKERY</b>       |                                       | <b>\$359.40</b>    |             |                  |
| Paid Chk# 108234 | 12/29/2017                            | <b>DETAILED SERVICES</b>              |                    |             |                  |
| E 640-48000-409  | Maint services & Improv               |                                       | \$262.82           | 13328       | CARPET CLEANED   |
| <b>Total</b>     | <b>DETAILED SERVICES</b>              |                                       | <b>\$262.82</b>    |             |                  |
| Paid Chk# 108235 | 12/29/2017                            | <b>DIRECTV</b>                        |                    |             |                  |
| E 640-48000-415  | Other Equipment Rentals               |                                       | \$311.53           | 33139828515 | SERVICE          |
| <b>Total</b>     | <b>DIRECTV</b>                        |                                       | <b>\$311.53</b>    |             |                  |
| Paid Chk# 108236 | 12/29/2017                            | <b>DIVERSIFIED ELECTRIC INC.</b>      |                    |             |                  |
| E 620-40000-405  | Maint/Replac - System                 |                                       | \$608.92           | 1441        | LIFT STATION#19  |
| E 101-41940-404  | Repairs/Maint - Machin/Equip          |                                       | \$2,560.00         | 1442        | CITY HALL MAINT. |
| E 640-49100-401  | Repairs/Maint Buildings               |                                       | \$5,442.57         | 1443        | MUNI ENTRY       |
| E 640-47000-409  | Maint services & Improv               |                                       | \$2,362.50         | 1444        | STORE MAINT.     |
| E 640-48000-409  | Maint services & Improv               |                                       | \$6,180.25         | 1444        | BAR MAINT.       |
| E 640-49100-401  | Repairs/Maint Buildings               |                                       | \$8,400.00         | 1445        | MUNI ENTRY       |
| <b>Total</b>     | <b>DIVERSIFIED ELECTRIC INC.</b>      |                                       | <b>\$25,554.24</b> |             |                  |
| Paid Chk# 108237 | 12/29/2017                            | <b>EMERGENCY RESPONSE SOLUTIONS</b>   |                    |             |                  |
| E 101-42200-217  | Uniforms                              |                                       | \$352.96           | 10066       | FD UNIFORMS      |
| <b>otal</b>      | <b>EMERGENCY RESPONSE SOLUTIONS</b>   |                                       | <b>\$352.96</b>    |             |                  |
| Paid Chk# 108238 | 12/29/2017                            | <b>ENKI BREWING COMPANY</b>           |                    |             |                  |
| E 640-48000-253  | Beer For Resale                       |                                       | \$155.00           | 8338        | BEER             |
| E 640-47000-253  | Beer For Resale                       |                                       | \$29.97            | 8339        | BEER             |
| <b>Total</b>     | <b>ENKI BREWING COMPANY</b>           |                                       | <b>\$184.97</b>    |             |                  |
| Paid Chk# 108239 | 12/29/2017                            | <b>FIRE EQUIPMENT SPECIALTIES INC</b> |                    |             |                  |
| E 101-42200-240  | Small Tools and Minor Equip           |                                       | \$1,126.55         | 9912        | FD TOOLS         |
| <b>Total</b>     | <b>FIRE EQUIPMENT SPECIALTIES INC</b> |                                       | <b>\$1,126.55</b>  |             |                  |
| Paid Chk# 108240 | 12/29/2017                            | <b>FLAHERTY S HAPPY TYME CO.</b>      |                    |             |                  |
| E 640-47000-254  | Soft Drinks/Mix For Resale            |                                       | \$57.00            | 34315       | MISC.MIX         |
| <b>Total</b>     | <b>FLAHERTY S HAPPY TYME CO.</b>      |                                       | <b>\$57.00</b>     |             |                  |
| Paid Chk# 108241 | 12/29/2017                            | <b>FOREMOST BUSINESS SYSTEMS INC.</b> |                    |             |                  |
| E 640-48000-404  | Repairs/Maint - Machin/Equip          |                                       | \$37.50            | 53888       | COMPUTER SUPPORT |
| <b>otal</b>      | <b>FOREMOST BUSINESS SYSTEMS INC.</b> |                                       | <b>\$37.50</b>     |             |                  |
| Paid Chk# 108242 | 12/29/2017                            | <b>G &amp; K SERVICES</b>             |                    |             |                  |
| E 640-48500-217  | Uniforms                              |                                       | \$138.08           | 6013828413  | KITCHEN UNIFORMS |
| E 640-48500-210  | Operating Supplies (GENERAL)          |                                       | \$24.38            | 6013828413  | KITCHEN SUPPLIES |
| E 640-48000-210  | Operating Supplies (GENERAL)          |                                       | \$16.50            | 6013828413  | BAR SUPPLIES     |
| E 640-48500-217  | Uniforms                              |                                       | \$123.01           | 6013839724  | KITCHEN UNIFORMS |
| E 640-48500-210  | Operating Supplies (GENERAL)          |                                       | \$16.50            | 6013839724  | KITCHEN SUPPLIES |
| E 640-48000-210  | Operating Supplies (GENERAL)          |                                       | \$35.00            | 6013839724  | BAR SUPPLIES     |
| <b>Total</b>     | <b>G &amp; K SERVICES</b>             |                                       | <b>\$353.47</b>    |             |                  |
| Paid Chk# 108243 | 12/29/2017                            | <b>GRAPE BEGINNINGS, INC.</b>         |                    |             |                  |
| E 640-47000-259  | Freight                               |                                       | \$2.25             | 32438       | FREIGHT          |
| E 640-47000-259  | Freight                               |                                       | \$3.50             | 32871       | FREIGHT          |
| E 640-47000-259  | Freight                               |                                       | \$3.50             | 32872       | FREIGHT          |
| E 640-47000-252  | Wine For Resale                       |                                       | \$796.30           | MN00032437  | WINE RESALE      |
| E 640-47000-252  | Wine For Resale                       |                                       | \$216.00           | MN00032438  | WINE RESALE      |
| E 640-47000-252  | Wine For Resale                       |                                       | \$336.00           | MN00032871  | WINE             |
| E 640-47000-252  | Wine For Resale                       |                                       | \$304.00           | MN00032872  | WINE             |



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| <b>Total GRAPE BEGINNINGS, INC.</b> |                                           |                                     |             |              |                               |
|                                     |                                           |                                     | \$1,661.55  |              |                               |
| Paid Chk# 108244                    | 12/29/2017                                | <b>H&amp;L MESABI</b>               |             |              |                               |
| E 101-43100-220                     | Repair/Maint Supply (GENERAL)             |                                     | \$1,140.00  | 99714        | PARTS                         |
|                                     | <b>Total H&amp;L MESABI</b>               |                                     | \$1,140.00  |              |                               |
| Paid Chk# 108245                    | 12/29/2017                                | <b>HENDRICKSEN PSG</b>              |             |              |                               |
| E 101-41500-404                     | Repairs/Maint - Machin/Equip              |                                     | \$60.00     | 634766       | OFFICE FURNITURE REPAIRS      |
|                                     | <b>Total HENDRICKSEN PSG</b>              |                                     | \$60.00     |              |                               |
| Paid Chk# 108246                    | 12/29/2017                                | <b>HENN.CNTY.ACCTG.SERVICES</b>     |             |              |                               |
| E 101-42120-308                     | Prisoner Care                             |                                     | \$156.50    | 1000102583   | PRISONER PROCESSING           |
|                                     | <b>Total HENN.CNTY.ACCTG.SERVICES</b>     |                                     | \$156.50    |              |                               |
| Paid Chk# 108247                    | 12/29/2017                                | <b>HOHENSTEINS INC.</b>             |             |              |                               |
| E 640-47000-253                     | Beer For Resale                           |                                     | \$510.50    | 938082       | BEER RESALE                   |
|                                     | <b>Total HOHENSTEINS INC.</b>             |                                     | \$510.50    |              |                               |
| Paid Chk# 108248                    | 12/29/2017                                | <b>HOME DEPOT</b>                   |             |              |                               |
| E 101-41940-401                     | Repairs/Maint Buildings                   |                                     | \$324.52    |              | BLDG.SUPPLIES                 |
|                                     | <b>Total HOME DEPOT</b>                   |                                     | \$324.52    |              |                               |
| Paid Chk# 108249                    | 12/29/2017                                | <b>INTEGRATED PROCESS SOLUTIONS</b> |             |              |                               |
| E 610-40000-242                     | Well & F.P. Equipment                     |                                     | \$901.75    | 907234021    | SCADA SERVICE AT WATER PLANTS |
|                                     | <b>Total INTEGRATED PROCESS SOLUTIONS</b> |                                     | \$901.75    |              |                               |
| Paid Chk# 108250                    | 12/29/2017                                | <b>J.H. LARSON COMPANY</b>          |             |              |                               |
| E 640-48000-401                     | Repairs/Maint Buildings                   |                                     | \$56.08     | S101644444.0 | LIGHT BULBS                   |
|                                     | <b>Total J.H. LARSON COMPANY</b>          |                                     | \$56.08     |              |                               |
| Paid Chk# 108251                    | 12/29/2017                                | <b>JJ TAYLOR DISTRIBUTING OF MN</b> |             |              |                               |
| E 640-47000-253                     | Beer For Resale                           |                                     | \$1,012.50  | 2771162      | BEER                          |
| E 640-47000-253                     | Beer For Resale                           |                                     | \$1,705.40  | 2771197      | BEER                          |
| E 640-48000-253                     | Beer For Resale                           |                                     | \$1,401.80  | 2787777      | BEER                          |
| E 640-48000-253                     | Beer For Resale                           |                                     | \$385.00    | 2794626      | BEER                          |
|                                     | <b>Total JJ TAYLOR DISTRIBUTING OF MN</b> |                                     | \$4,504.70  |              |                               |
| Paid Chk# 108252                    | 12/29/2017                                | <b>JOHNSON BROS.-ST.PAUL</b>        |             |              |                               |
| E 640-47000-251                     | Liquor For Resale                         |                                     | \$1,782.65  | 5898215      | LIQUOR                        |
| E 640-47000-259                     | Freight                                   |                                     | \$21.42     | 5898215      | FREIGHT                       |
| E 640-47000-252                     | Wine For Resale                           |                                     | \$6,616.55  | 5898216      | WINE                          |
| E 640-47000-259                     | Freight                                   |                                     | \$85.69     | 5898216      | FREIGHT                       |
| E 640-47000-251                     | Liquor For Resale                         |                                     | \$4,903.69  | 5899564      | LIQUOR                        |
| E 640-47000-259                     | Freight                                   |                                     | \$28.40     | 5899564      | FREIGHT                       |
| E 640-47000-252                     | Wine For Resale                           |                                     | \$414.65    | 5899565      | WINE                          |
| E 640-47000-259                     | Freight                                   |                                     | \$10.08     | 5899565      | FREIGHT                       |
| E 640-47000-251                     | Liquor For Resale                         |                                     | \$8,632.23  | 5902991      | LIQUOR                        |
| E 640-47000-259                     | Freight                                   |                                     | \$69.11     | 5902991      | FREIGHT                       |
| E 640-47000-252                     | Wine For Resale                           |                                     | \$4,994.35  | 5902992      | WINE                          |
| E 640-47000-259                     | Freight                                   |                                     | \$56.69     | 5902992      | FREIGHT                       |
| E 640-47000-252                     | Wine For Resale                           |                                     | (\$415.01)  | 658215       | WINE                          |
| E 640-47000-251                     | Liquor For Resale                         |                                     | (\$9.05)    | 658952       | LIQUOR                        |
|                                     | <b>Total JOHNSON BROS.-ST.PAUL</b>        |                                     | \$27,191.45 |              |                               |
| Paid Chk# 108253                    | 12/29/2017                                | <b>KARLSBURGER FOODS, INC.</b>      |             |              |                               |
| E 640-48500-255                     | FOODIngredients For Resale                |                                     | \$224.70    | 000455667    | FOOD                          |
|                                     | <b>Total KARLSBURGER FOODS, INC.</b>      |                                     | \$224.70    |              |                               |
| Paid Chk# 108254                    | 12/29/2017                                | <b>KLAPPRICH, KEVIN</b>             |             |              |                               |

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| E 101-42200-240  | Small Tools and Minor Equip                |                                      | \$1,150.39 | REIMB.   | FD TOOLS        |
|                  | <b>Total KLAPPRICH, KEVIN</b>              |                                      | \$1,150.39 |          |                 |
| Paid Chk# 108255 | 12/29/2017                                 | <b>LIBATION PROJECT</b>              |            |          |                 |
| E 640-47000-252  | Wine For Resale                            |                                      | \$296.00   | 12138    | WINE RESALE     |
| E 640-47000-259  | Freight                                    |                                      | \$3.00     | 12138    | FREIGHT         |
|                  | <b>Total LIBATION PROJECT</b>              |                                      | \$299.00   |          |                 |
| Paid Chk# 108256 | 12/29/2017                                 | <b>LOFFLER COMPANIES, INC.</b>       |            |          |                 |
| E 409-40000-540  | Equipment                                  |                                      | \$4,748.75 | CW76239  | COMPUTERS       |
|                  | <b>Total LOFFLER COMPANIES, INC.</b>       |                                      | \$4,748.75 |          |                 |
| Paid Chk# 108257 | 12/29/2017                                 | <b>LONG LAKE TRU VALUE</b>           |            |          |                 |
| E 101-42200-210  | Operating Supplies (GENERAL)               |                                      | \$250.86   |          | SUPPLIES        |
| E 101-45200-210  | Operating Supplies (GENERAL)               |                                      | \$111.90   |          | SUPPLIES        |
|                  | <b>Total LONG LAKE TRU VALUE</b>           |                                      | \$362.76   |          |                 |
| Paid Chk# 108258 | 12/29/2017                                 | <b>M.AMUNDSON LLP</b>                |            |          |                 |
| E 640-47000-256  | MISC.MDSE.RESALE                           |                                      | \$841.10   | 250230   | CIGARETTES      |
|                  | <b>Total M.AMUNDSON LLP</b>                |                                      | \$841.10   |          |                 |
| Paid Chk# 108259 | 12/29/2017                                 | <b>MARGRON SKOGLUND WINE IMPORTS</b> |            |          |                 |
| E 640-47000-252  | Wine For Resale                            |                                      | \$439.00   | 20022112 | WINE            |
| E 640-47000-259  | Freight                                    |                                      | \$9.00     | 20022112 | FREIGHT         |
|                  | <b>tal MARGRON SKOGLUND WINE IMPORTS</b>   |                                      | \$448.00   |          |                 |
| Paid Chk# 108260 | 12/29/2017                                 | <b>MOOD MEDIA</b>                    |            |          |                 |
| E 640-47000-433  | Dues, Licensing & Seminars                 |                                      | \$54.55    | 53704719 | OVERHEAD MUSIC  |
| E 640-48000-433  | Dues, Licensing & Seminars                 |                                      | \$54.55    | 53704719 | OVERHEAD MUSIC  |
|                  | <b>Total MOOD MEDIA</b>                    |                                      | \$109.10   |          |                 |
| Paid Chk# 108261 | 12/29/2017                                 | <b>MORRIE S MINNETONKA FORD</b>      |            |          |                 |
| E 101-42100-404  | Repairs/Maint - Machin/Equip               |                                      | \$25.02    | 554610   | PD SQUAD MAINT. |
| E 101-42100-404  | Repairs/Maint - Machin/Equip               |                                      | \$12.06    | 554611   | PD SQUAD MAINT. |
|                  | <b>Total MORRIE S MINNETONKA FORD</b>      |                                      | \$37.08    |          |                 |
| Paid Chk# 108262 | 12/29/2017                                 | <b>NETWORK BUSINESS SUPPLIES</b>     |            |          |                 |
| E 640-48000-210  | Operating Supplies (GENERAL)               |                                      | \$284.93   | 00108860 | SUPPLIES        |
|                  | <b>Total NETWORK BUSINESS SUPPLIES</b>     |                                      | \$284.93   |          |                 |
| Paid Chk# 108263 | 12/29/2017                                 | <b>NEW FRANCE WINE COMPANY</b>       |            |          |                 |
| E 640-47000-252  | Wine For Resale                            |                                      | \$492.00   | 127029   | WINE RESALE     |
| E 640-47000-259  | Freight                                    |                                      | \$9.00     | 127029   | FREIGHT         |
|                  | <b>Total NEW FRANCE WINE COMPANY</b>       |                                      | \$501.00   |          |                 |
| Paid Chk# 108264 | 12/29/2017                                 | <b>NORTHERN TOOL &amp; EQUIPMENT</b> |            |          |                 |
| E 101-43100-240  | Small Tools and Minor Equip                |                                      | \$489.99   | 39375043 | TOOLS           |
|                  | <b>Total NORTHERN TOOL &amp; EQUIPMENT</b> |                                      | \$489.99   |          |                 |
| Paid Chk# 108265 | 12/29/2017                                 | <b>NORTHWESTERN FRUIT COMPANY</b>    |            |          |                 |
| E 640-48500-255  | FOODIngredients For Resale                 |                                      | \$348.75   | 875724   | FOOD            |
| E 640-48500-255  | FOODIngredients For Resale                 |                                      | \$296.40   | 875897   | FOOD            |
| E 640-48500-255  | FOODIngredients For Resale                 |                                      | \$375.10   | 876024   | FOOD            |
| E 640-48500-255  | FOODIngredients For Resale                 |                                      | \$439.95   | 876173   | FOOD            |
| E 640-48500-255  | FOODIngredients For Resale                 |                                      | \$32.45    | 876243   | FOOD            |
| E 640-48500-255  | FOODIngredients For Resale                 |                                      | \$399.25   | 876333   | FOOD            |
| E 640-48500-255  | FOODIngredients For Resale                 |                                      | \$551.75   | 876480   | FOOD            |
|                  | <b>Total NORTHWESTERN FRUIT COMPANY</b>    |                                      | \$2,443.65 |          |                 |

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| Paid Chk#                                  | 108266                     | 12/29/2017 | <b>PAUSTIS &amp; SONS</b>            |            |             |
| E 640-47000-252                            | Wine For Resale            |            | \$949.30                             | 8615263    | WINE RESALE |
| E 640-47000-259                            | Freight                    |            | \$8.75                               | 8615263    | FREIGHT     |
| E 640-47000-252                            | Wine For Resale            |            | \$750.00                             | 8615864    | WINE        |
| E 640-47000-259                            | Freight                    |            | \$10.50                              | 8615864    | FREIGHT     |
| <b>Total PAUSTIS &amp; SONS</b>            |                            |            | \$1,718.55                           |            |             |
| Paid Chk#                                  | 108267                     | 12/29/2017 | <b>PEPSI -COLA</b>                   |            |             |
| E 640-47000-254                            | Soft Drinks/Mix For Resale |            | \$161.31                             | 08475365   | MISC.BEV    |
| <b>Total PEPSI -COLA</b>                   |                            |            | \$161.31                             |            |             |
| Paid Chk#                                  | 108268                     | 12/29/2017 | <b>PHILLIPS WINES &amp; SPIRITS</b>  |            |             |
| E 640-47000-259                            | Freight                    |            | (\$6.83)                             | 2263357    | FREIGHT     |
| E 640-47000-251                            | Liquor For Resale          |            | \$217.27                             | 2281794    | LIQUOR      |
| E 640-47000-259                            | Freight                    |            | \$2.73                               | 2281794    | FREIGHT     |
| E 640-47000-252                            | Wine For Resale            |            | \$1,620.85                           | 2281795    | WINE RESALE |
| E 640-47000-259                            | Freight                    |            | \$20.16                              | 2281795    | FREIGHT     |
| E 640-47000-254                            | Soft Drinks/Mix For Resale |            | \$23.25                              | 2282774    | MISC MIX    |
| E 640-47000-251                            | Liquor For Resale          |            | \$1,977.06                           | 2284988    | LIQUOR      |
| E 640-47000-259                            | Freight                    |            | \$22.89                              | 2284988    | FREIGHT     |
| E 640-47000-252                            | Wine For Resale            |            | \$1,839.20                           | 2284989    | WINE        |
| E 640-47000-259                            | Freight                    |            | \$15.63                              | 2284989    | FREIGHT     |
| E 640-48000-251                            | Liquor For Resale          |            | \$85.49                              | 2285840    | LIQUOR      |
| E 640-48000-251                            | Liquor For Resale          |            | \$339.02                             | 2285841    | LIQUOR      |
| E 640-47000-252                            | Wine For Resale            |            | (\$113.26)                           | 282339     | WINE        |
| <b>Total PHILLIPS WINES &amp; SPIRITS</b>  |                            |            | \$6,043.46                           |            |             |
| Paid Chk#                                  | 108269                     | 12/29/2017 | <b>PLANET MEDIA COMMUNICATIONS</b>   |            |             |
| E 640-48000-340                            | Advertising                |            | \$129.00                             | 13841      | DINING AD   |
| <b>Total PLANET MEDIA COMMUNICATIONS</b>   |                            |            | \$129.00                             |            |             |
| Paid Chk#                                  | 108270                     | 12/29/2017 | <b>RED BULL DISTRIBUTION COMPANY</b> |            |             |
| E 640-47000-254                            | Soft Drinks/Mix For Resale |            | \$245.00                             | K-56220926 | MISC.BEV    |
| <b>Total RED BULL DISTRIBUTION COMPANY</b> |                            |            | \$245.00                             |            |             |
| Paid Chk#                                  | 108271                     | 12/29/2017 | <b>RUE 38</b>                        |            |             |
| E 640-47000-252                            | Wine For Resale            |            | \$339.00                             | 2549       | WINE        |
| E 640-47000-259                            | Freight                    |            | \$1.50                               | 2549       | FREIGHT     |
| E 640-47000-252                            | Wine For Resale            |            | \$339.00                             | 2558       | WINE        |
| E 640-47000-259                            | Freight                    |            | \$1.50                               | 2558       | FREIGHT     |
| E 640-47000-252                            | Wine For Resale            |            | \$160.00                             | 2572       | WINE        |
| E 640-47000-259                            | Freight                    |            | \$1.50                               | 2572       | FREIGHT     |
| <b>Total RUE 38</b>                        |                            |            | \$842.50                             |            |             |
| Paid Chk#                                  | 108272                     | 12/29/2017 | <b>SHAMROCK GROUP</b>                |            |             |
| E 640-47000-254                            | Soft Drinks/Mix For Resale |            | \$192.68                             | 2190862    | ICE         |
| <b>Total SHAMROCK GROUP</b>                |                            |            | \$192.68                             |            |             |
| Paid Chk#                                  | 108273                     | 12/29/2017 | <b>SOUTHERN GLAZER'S OF MN</b>       |            |             |
| E 640-47000-252                            | Wine For Resale            |            | \$1,824.52                           | 1628757    | WINE RESALE |
| E 640-47000-259                            | Freight                    |            | \$11.74                              | 1628757    | FREIGHT     |
| E 640-47000-251                            | Liquor For Resale          |            | \$4,638.94                           | 1628758    | LIQUOR      |
| E 640-47000-259                            | Freight                    |            | \$29.97                              | 1628758    | FREIGHT     |
| E 640-47000-252                            | Wine For Resale            |            | \$2,649.96                           | 1628759    | WINE RESALE |
| E 640-47000-259                            | Freight                    |            | \$34.60                              | 1628759    | FREIGHT     |
| E 640-47000-252                            | Wine For Resale            |            | \$564.00                             | 1630389    | WINE        |
| E 640-47000-259                            | Freight                    |            | \$1.90                               | 1630389    | FREIGHT     |
| E 640-47000-252                            | Wine For Resale            |            | \$879.72                             | 1630425    | WINE        |

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|--------------------------------------------|------------------------------|--------------------------------------|--------------------|--------------|------------------|
| E 640-47000-259                            | Freight                      |                                      | \$5.54             | 1630425      | FREIGHT          |
| E 640-47000-251                            | Liquor For Resale            |                                      | \$5,528.81         | 1630426      | LIQUOR           |
| E 640-47000-259                            | Freight                      |                                      | \$41.55            | 1630426      | FREIGHT          |
| E 640-47000-252                            | Wine For Resale              |                                      | \$1,612.00         | 1630427      | WINE             |
| E 640-47000-259                            | Freight                      |                                      | \$20.48            | 1630427      | FREIGHT          |
| <b>Total SOUTHERN GLAZER'S OF MN</b>       |                              |                                      | <b>\$17,843.73</b> |              |                  |
| Paid Chk# 108274                           | 12/29/2017                   | <b>SPRINT</b>                        |                    |              |                  |
| E 101-42200-323                            | Radio Units                  |                                      | \$624.01           | 523093316-19 | FD SERVICE       |
| <b>Total SPRINT</b>                        |                              |                                      | <b>\$624.01</b>    |              |                  |
| Paid Chk# 108275                           | 12/29/2017                   | <b>STEEL TOE BREWING</b>             |                    |              |                  |
| E 640-48000-253                            | Beer For Resale              |                                      | \$230.00           | 19022        | BEER             |
| <b>Total STEEL TOE BREWING</b>             |                              |                                      | <b>\$230.00</b>    |              |                  |
| Paid Chk# 108276                           | 12/29/2017                   | <b>STRATEGIC EQUIPMENT AND</b>       |                    |              |                  |
| E 640-48500-210                            | Operating Supplies (GENERAL) |                                      | (\$37.73)          | 166309       | SUPPLIES         |
| E 640-48500-210                            | Operating Supplies (GENERAL) |                                      | \$314.30           | 3003811      | KITCHEN SUPPLIES |
| E 640-48000-210                            | Operating Supplies (GENERAL) |                                      | \$245.15           | 3003811      | BAR SUPPLIES     |
| E 640-48000-210                            | Operating Supplies (GENERAL) |                                      | \$38.18            | 3009329      | BAR SUPPLIES     |
| E 640-48500-210                            | Operating Supplies (GENERAL) |                                      | \$523.51           | 3009334      | KITCHEN SUPPLIES |
| E 640-48000-210                            | Operating Supplies (GENERAL) |                                      | \$105.78           | 3009334      | BAR SUPPLIES     |
| E 640-48500-210                            | Operating Supplies (GENERAL) |                                      | \$49.99            | 3009357      | KITCHEN SUPPLIES |
| <b>Total STRATEGIC EQUIPMENT AND</b>       |                              |                                      | <b>\$1,239.18</b>  |              |                  |
| Paid Chk# 108277                           | 12/29/2017                   | <b>STREICHER S</b>                   |                    |              |                  |
| E 101-42100-210                            | Operating Supplies (GENERAL) |                                      | \$155.99           | 11293997     | PD SUPPLIES      |
| E 101-42100-210                            | Operating Supplies (GENERAL) |                                      | \$11.98            | 11294000     | PD SUPPLIES      |
| <b>Total STREICHER S</b>                   |                              |                                      | <b>\$167.97</b>    |              |                  |
| Paid Chk# 108278                           | 12/29/2017                   | <b>TOLL GAS &amp; WELDING SUPPLY</b> |                    |              |                  |
| E 640-48000-210                            | Operating Supplies (GENERAL) |                                      | \$100.97           | 10223098     | SUPPLIES         |
| E 640-48000-210                            | Operating Supplies (GENERAL) |                                      | \$69.17            | 10223308     | SUPPLIES         |
| <b>Total TOLL GAS &amp; WELDING SUPPLY</b> |                              |                                      | <b>\$170.14</b>    |              |                  |
| Paid Chk# 108279                           | 12/29/2017                   | <b>TRUE BRANDS</b>                   |                    |              |                  |
| E 640-47000-254                            | Soft Drinks/Mix For Resale   |                                      | \$35.88            | 295814       | MISC MDSE        |
| E 640-47000-254                            | Soft Drinks/Mix For Resale   |                                      | \$39.90            | 296477       | MISC MDSE        |
| <b>Total TRUE BRANDS</b>                   |                              |                                      | <b>\$75.78</b>     |              |                  |
| Paid Chk# 108280                           | 12/29/2017                   | <b>ULTRA-CHEM IN.C</b>               |                    |              |                  |
| E 640-48500-210                            | Operating Supplies (GENERAL) |                                      | \$326.29           | 1203409      | SUPPLIES         |
| <b>Total ULTRA-CHEM IN.C</b>               |                              |                                      | <b>\$326.29</b>    |              |                  |
| Paid Chk# 108281                           | 12/29/2017                   | <b>US FOODS</b>                      |                    |              |                  |
| E 640-48500-210                            | Operating Supplies (GENERAL) |                                      | \$99.73            | 3211327      | KITCHEN SUPPLIES |
| E 640-48000-210                            | Operating Supplies (GENERAL) |                                      | (\$1,248.29)       | 3315425      | BAR SUPPLIES     |
| E 640-48500-255                            | FOODIngredients For Resale   |                                      | \$3,396.60         | 3347530      | FOOD             |
| E 640-48000-210                            | Operating Supplies (GENERAL) |                                      | \$91.39            | 3347530      | BAR SUPPLIES     |
| E 640-48500-210                            | Operating Supplies (GENERAL) |                                      | \$236.65           | 3347530      | KITCHEN SUPPLIES |
| E 640-48000-254                            | Soft Drinks/Mix For Resale   |                                      | \$118.61           | 3347530      | MISC.BEV         |
| E 640-48000-342                            | Promotions - Food/Drinks     |                                      | \$85.06            | 3347530      | PROMO FOOD       |
| E 640-48000-251                            | Liquor For Resale            |                                      | \$22.27            | 3347530      | LIQUOR           |
| E 640-48500-255                            | FOODIngredients For Resale   |                                      | \$2,902.24         | 3385965      | FOOD             |
| E 640-48500-210                            | Operating Supplies (GENERAL) |                                      | \$58.72            | 3385965      | KITCHEN SUPPLIES |
| E 640-48000-342                            | Promotions - Food/Drinks     |                                      | \$40.96            | 3385965      | PROMO FOOD       |
| E 640-48000-251                            | Liquor For Resale            |                                      | \$135.07           | 3385965      | LIQUOR           |
| E 640-48500-255                            | FOODIngredients For Resale   |                                      | \$5,651.55         | 3429441      | FOOD             |

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| E 640-48000-254                   | Soft Drinks/Mix For Resale   |                                     | \$317.43    | 3429441       | MISC.BEV                   |
| E 640-48500-210                   | Operating Supplies (GENERAL) |                                     | \$109.18    | 3429441       | KITCHEN SUPPLIES           |
| E 640-48000-342                   | Promotions - Food/Drinks     |                                     | \$63.01     | 3429441       | PROMO FOOD                 |
| E 640-48000-251                   | Liquor For Resale            |                                     | \$38.34     | 3429441       | LIQUOR                     |
| E 640-48500-255                   | FOODIngredients For Resale   |                                     | \$4,597.73  | 3474261       | FOOD                       |
| E 640-48000-210                   | Operating Supplies (GENERAL) |                                     | \$91.39     | 3474261       | BAR SUPPLIES               |
| E 640-48000-342                   | Promotions - Food/Drinks     |                                     | \$96.54     | 3474261       | PROMO FOOD                 |
| E 640-48500-255                   | FOODIngredients For Resale   |                                     | \$1,202.21  | 3490758       | FOOD                       |
| E 640-48500-210                   | Operating Supplies (GENERAL) |                                     | \$79.85     | 3490758       | KITCHEN SUPPLIES           |
| E 640-48000-342                   | Promotions - Food/Drinks     |                                     | \$63.01     | 3490758       | PROMO FOOD                 |
| E 640-48000-254                   | Soft Drinks/Mix For Resale   |                                     | \$90.28     | 3490758       | MISC BEV                   |
| E 640-48000-251                   | Liquor For Resale            |                                     | \$107.92    | 3490758       | LIQUOR                     |
| E 640-48500-255                   | FOODIngredients For Resale   |                                     | \$3,313.97  | 3534349       | FOOD                       |
| E 640-48500-210                   | Operating Supplies (GENERAL) |                                     | \$29.11     | 3534349       | KITCHEN SUPPLIES           |
| E 640-48000-210                   | Operating Supplies (GENERAL) |                                     | \$53.64     | 3534349       | BAR SUPPLIES               |
| E 640-48000-254                   | Soft Drinks/Mix For Resale   |                                     | \$332.39    | 3534349       | MISC BEV                   |
| E 640-48000-251                   | Liquor For Resale            |                                     | \$44.84     | 3534349       | LIQUOR                     |
| <b>Total US FOODS</b>             |                              |                                     | \$22,221.40 |               |                            |
| Paid Chk# 108282                  | 12/29/2017                   | <b>VALLEY PAVING, INC</b>           |             |               |                            |
| E 430-40000-309                   | Contractual Services         |                                     | \$51,456.81 | 4             | 2017 STREETS               |
| <b>Total VALLEY PAVING, INC</b>   |                              |                                     | \$51,456.81 |               |                            |
| Paid Chk# 108283                  | 12/29/2017                   | <b>VINOCOPIA</b>                    |             |               |                            |
| E 640-47000-252                   | Wine For Resale              |                                     | \$456.00    | 0196973       | WINE RESALE                |
| E 640-47000-251                   | Liquor For Resale            |                                     | \$226.44    | 0196973       | LIQUOR                     |
| E 640-47000-251                   | Liquor For Resale            |                                     | \$994.15    | 0197274       | LIQUOR                     |
| E 640-47000-259                   | Freight                      |                                     | \$12.50     | 0197274       | FREIGHT                    |
| E 640-47000-254                   | Soft Drinks/Mix For Resale   |                                     | \$120.00    | 0197518       | MISC MIX                   |
| E 640-47000-252                   | Wine For Resale              |                                     | \$26.67     | 0197518       | WINE                       |
| E 640-47000-251                   | Liquor For Resale            |                                     | \$390.17    | 0197518       | LIQUOR                     |
| E 640-47000-259                   | Freight                      |                                     | \$16.50     | 0197518       | FREIGHT                    |
| <b>Total VINOCOPIA</b>            |                              |                                     | \$2,242.43  |               |                            |
| Paid Chk# 108284                  | 12/29/2017                   | <b>WINE COMPANY</b>                 |             |               |                            |
| E 640-47000-252                   | Wine For Resale              |                                     | \$2,429.33  | 58135         | WINE RESALE                |
| E 640-47000-259                   | Freight                      |                                     | \$23.10     | 58135         | FREIGHT                    |
| E 640-47000-252                   | Wine For Resale              |                                     | \$2,321.34  | 58764         | WINE                       |
| E 640-47000-259                   | Freight                      |                                     | \$19.80     | 58764         | FREIGHT                    |
| <b>Total WINE COMPANY</b>         |                              |                                     | \$4,793.57  |               |                            |
| Paid Chk# 108285                  | 12/29/2017                   | <b>WINE MERCHANT</b>                |             |               |                            |
| E 640-47000-252                   | Wine For Resale              |                                     | \$289.20    | 7163879       | WINE                       |
| E 640-47000-259                   | Freight                      |                                     | \$0.42      | 7163879       | FREIGHT                    |
| E 640-47000-252                   | Wine For Resale              |                                     | \$4,520.00  | 7164134       | WINE                       |
| E 640-47000-259                   | Freight                      |                                     | \$25.20     | 7164134       | FREIGHT                    |
| E 640-48000-252                   | Wine For Resale              |                                     | \$771.76    | 7164401       | WINE                       |
| E 640-47000-252                   | Wine For Resale              |                                     | \$3,951.80  | 7164857       | WINE                       |
| E 640-47000-259                   | Freight                      |                                     | \$14.49     | 7164857       | FREIGHT                    |
| <b>Total WINE MERCHANT</b>        |                              |                                     | \$9,572.87  |               |                            |
| Paid Chk# 108286                  | 12/29/2017                   | <b>WSB &amp; ASSOCIATES</b>         |             |               |                            |
| E 101-42400-309                   | Contractual Services         |                                     | \$350.00    | R-010343-000- | CODE ENFORCEMENT           |
| E 101-41910-302                   | Consultants                  |                                     | \$801.00    | R-010853-000- | PLANNING SERVICES          |
| <b>Total WSB &amp; ASSOCIATES</b> |                              |                                     | \$1,151.00  |               |                            |
| Paid Chk# 108287                  | 1/1/2018                     | <b>ASSOCIATED BENEFITS AND RISK</b> |             |               |                            |
| E 640-47000-361                   | General Liability Ins        |                                     | \$9,000.00  | 6677          | LIQUOR LIABILITY INS. 2018 |

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|-----------------|--------------------------------------|----------|--------------------------------------|--------------|-----------------------------------------|
| E 640-48000-361 | General Liability Ins                |          | \$15,047.00                          | 6677         | LIQUOR LIABILITY INS.2018               |
| <b>Total</b>    | <b>ASSOCIATED BENEFITS AND RISK</b>  |          | <b>\$24,047.00</b>                   |              |                                         |
| Paid Chk#       | 108288                               | 1/1/2018 | <b>DELTA DENTAL OF MINNESOTA</b>     |              |                                         |
| G 101-21717     | Dental Insurance                     |          | \$2,140.60                           | 7132654      | DENTAL INS. JAN.2018                    |
| <b>Total</b>    | <b>DELTA DENTAL OF MINNESOTA</b>     |          | <b>\$2,140.60</b>                    |              |                                         |
| Paid Chk#       | 108289                               | 1/1/2018 | <b>ECONOMIC DEVELOPMENT ASSOC.</b>   |              |                                         |
| E 101-41500-433 | Dues, Licensing & Seminars           |          | \$295.00                             | 2018 DUES    | 2018 DUES                               |
| E 101-41910-433 | Dues, Licensing & Seminars           |          | \$200.00                             | 2018 DUES    | 2018 DUES                               |
| <b>Total</b>    | <b>ECONOMIC DEVELOPMENT ASSOC.</b>   |          | <b>\$495.00</b>                      |              |                                         |
| Paid Chk#       | 108290                               | 1/1/2018 | <b>INDEPENDENT SCHOOL DIST. #284</b> |              |                                         |
| E 407-40000-411 | Rent                                 |          | \$12,000.00                          | TELECOM 201  | CELL TOWER LAND LEASE - FIRST HALF 2018 |
| <b>Total</b>    | <b>INDEPENDENT SCHOOL DIST. #284</b> |          | <b>\$12,000.00</b>                   |              |                                         |
| Paid Chk#       | 108291                               | 1/1/2018 | <b>MCFOA REGION 4</b>                |              |                                         |
| E 101-42200-433 | Dues, Licensing & Seminars           |          | \$100.00                             | 2018 DUES    | 2018 FD DUES                            |
| <b>Total</b>    | <b>MCFOA REGION 4</b>                |          | <b>\$100.00</b>                      |              |                                         |
| Paid Chk#       | 108292                               | 1/1/2018 | <b>MEDIACOM</b>                      |              |                                         |
| E 610-49100-309 | Contractual Services                 |          | \$1,620.00                           | 838497500000 | SERVICE                                 |
| <b>Total</b>    | <b>MEDIACOM</b>                      |          | <b>\$1,620.00</b>                    |              |                                         |
| Paid Chk#       | 108293                               | 1/1/2018 | <b>MEDIACOM</b>                      |              |                                         |
| E 101-41940-321 | Telephone                            |          | \$305.90                             | 838492151009 | SERVICE                                 |
| <b>Total</b>    | <b>MEDIACOM</b>                      |          | <b>\$305.90</b>                      |              |                                         |
| Paid Chk#       | 108294                               | 1/1/2018 | <b>METROPOLITAN COUNCIL</b>          |              |                                         |
| E 620-40000-386 | Other Utilities                      |          | \$44,281.89                          | 0001075702   | SEWER SERVICE                           |
| <b>Total</b>    | <b>METROPOLITAN COUNCIL</b>          |          | <b>\$44,281.89</b>                   |              |                                         |
| Paid Chk#       | 108295                               | 1/1/2018 | <b>MN DEPT.OF AGRICULTURE</b>        |              |                                         |
| E 101-45200-433 | Dues, Licensing & Seminars           |          | \$10.00                              | 20030153     | 2018 PESTICIDE LICENSE-KLAPPRICH        |
| <b>Total</b>    | <b>MN DEPT.OF AGRICULTURE</b>        |          | <b>\$10.00</b>                       |              |                                         |
| Paid Chk#       | 108296                               | 1/1/2018 | <b>MN STATE FIRE DEPT.ASSOC.</b>     |              |                                         |
| E 101-42200-433 | Dues, Licensing & Seminars           |          | \$271.00                             | 2018 DUES    | 2018 FD DUES                            |
| <b>Total</b>    | <b>MN STATE FIRE DEPT.ASSOC.</b>     |          | <b>\$271.00</b>                      |              |                                         |
| Paid Chk#       | 108297                               | 1/1/2018 | <b>MPPOA LEGAL DEFENSE FUND</b>      |              |                                         |
| E 101-42200-433 | Dues, Licensing & Seminars           |          | \$96.00                              | 2018 DUES    | 2018 DUES                               |
| <b>Total</b>    | <b>MPPOA LEGAL DEFENSE FUND</b>      |          | <b>\$96.00</b>                       |              |                                         |
| Paid Chk#       | 108298                               | 1/1/2018 | <b>SOUTHWEST ASSESSING</b>           |              |                                         |
| E 101-41550-302 | Consultants                          |          | \$4,033.33                           | JAN.2018     | MONTHLY ASSESSING - JAN.2018            |
| E 101-41550-210 | Operating Supplies (GENERAL)         |          | \$8.83                               | JAN.2018     | SUPPLIES                                |
| <b>Total</b>    | <b>SOUTHWEST ASSESSING</b>           |          | <b>\$4,042.16</b>                    |              |                                         |
| Paid Chk#       | 108299                               | 1/1/2018 | <b>U.S. POSTMASTER</b>               |              |                                         |
| E 101-49200-322 | Postage                              |          | \$225.00                             | 2018 PERMIT# | 2018 MAILING PERMIT #99                 |
| <b>Total</b>    | <b>U.S. POSTMASTER</b>               |          | <b>\$225.00</b>                      |              |                                         |
| Paid Chk#       | 108300                               | 1/1/2018 | <b>WAYZATA CHAMBER OF COMMERCE</b>   |              |                                         |
| E 101-41500-433 | Dues, Licensing & Seminars           |          | \$425.00                             | 8513         | 2018 DUES                               |
| <b>Total</b>    | <b>WAYZATA CHAMBER OF COMMERCE</b>   |          | <b>\$425.00</b>                      |              |                                         |
| <b>10100</b>    | <b>Anchor Bank</b>                   |          | <b>\$331,126.60</b>                  |              |                                         |

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**Fund Summary****10100 Anchor Bank**

|                           |              |
|---------------------------|--------------|
| 101 GENERAL FUND          | \$20,475.61  |
| 407 CELL TOWER            | \$12,000.00  |
| 409 EQUIP REVOLVING       | \$4,748.75   |
| 430 STREET CIP            | \$51,456.81  |
| 437 LIBRARY/COMM.ROOM CIP | \$620.00     |
| 610 WATER FUND            | \$3,030.50   |
| 620 SEWER FUND            | \$45,399.56  |
| 640 LIQUOR                | \$193,395.37 |
|                           | <hr/>        |
|                           | \$331,126.60 |



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**20100 Accounts Payable**

|                                          |                               |          |                                    |            |                            |
|------------------------------------------|-------------------------------|----------|------------------------------------|------------|----------------------------|
| Paid Chk#                                | 108301                        | 1/9/2018 | <b>ABSOLUTE MECHANICAL</b>         |            |                            |
| E 101-41940-404                          | Repairs/Maint - Machin/Equip  |          | \$640.00                           | 9068       | HVAC QUARTERLY MAINT.      |
| E 101-41940-404                          | Repairs/Maint - Machin/Equip  |          | \$640.00                           | 9068       | HVAC QUARTERLY MAINT.      |
| <b>Total ABSOLUTE MECHANICAL</b>         |                               |          | \$1,280.00                         |            |                            |
| Paid Chk#                                | 108302                        | 1/9/2018 | <b>BREAKTHRU BEVERAGE</b>          |            |                            |
| E 640-47000-252                          | Wine For Resale               |          | \$240.00                           | 1080740140 | LIQUOR                     |
| E 640-47000-252                          | Wine For Resale               |          | \$240.00                           | 1080740140 | LIQUOR                     |
| E 640-47000-259                          | Freight                       |          | \$1.45                             | 1080740140 | FREIGHT                    |
| E 640-47000-259                          | Freight                       |          | \$1.45                             | 1080740140 | FREIGHT                    |
| <b>Total BREAKTHRU BEVERAGE</b>          |                               |          | \$482.90                           |            |                            |
| Paid Chk#                                | 108303                        | 1/9/2018 | <b>COURIER SOURCE, INC.</b>        |            |                            |
| E 101-41910-499                          | Miscellaneous                 |          | \$56.92                            | 150286     | SERVICE                    |
| E 101-41910-499                          | Miscellaneous                 |          | \$56.92                            | 150286     | SERVICE                    |
| <b>Total COURIER SOURCE, INC.</b>        |                               |          | \$113.84                           |            |                            |
| Paid Chk#                                | 108304                        | 1/9/2018 | <b>CULLIGAN-METRO</b>              |            |                            |
| E 640-48500-210                          | Operating Supplies (GENERAL)  |          | \$115.54                           | 1218083    | SUPPLIES                   |
| E 640-48500-210                          | Operating Supplies (GENERAL)  |          | \$115.54                           | 1218083    | SUPPLIES                   |
| <b>Total CULLIGAN-METRO</b>              |                               |          | \$231.08                           |            |                            |
| Paid Chk#                                | 108305                        | 1/9/2018 | <b>DAHLHEIMER DISTRIBUTING CO.</b> |            |                            |
| E 640-47000-253                          | Beer For Resale               |          | \$668.50                           | 1321517    | BEER                       |
| E 640-47000-253                          | Beer For Resale               |          | \$668.50                           | 1321517    | BEER                       |
| <b>Total DAHLHEIMER DISTRIBUTING CO.</b> |                               |          | \$1,337.00                         |            |                            |
| Paid Chk#                                | 108306                        | 1/9/2018 | <b>DENNYS 5TH AVENUE BAKERY</b>    |            |                            |
| E 640-48500-255                          | FOODIngredients For Resale    |          | \$136.43                           | 690518     | FOOD                       |
| E 640-48500-255                          | FOODIngredients For Resale    |          | \$136.43                           | 690518     | FOOD                       |
| <b>Total DENNYS 5TH AVENUE BAKERY</b>    |                               |          | \$272.86                           |            |                            |
| Paid Chk#                                | 108307                        | 1/9/2018 | <b>DISPLAY SALES</b>               |            |                            |
| E 101-45203-220                          | Repair/Maint Supply (GENERAL) |          | \$291.75                           | 013176     | KLAPPRICH PARK LIGHTS      |
| E 101-45203-220                          | Repair/Maint Supply (GENERAL) |          | \$291.75                           | 013176     | KLAPPRICH PARK LIGHTS      |
| <b>Total DISPLAY SALES</b>               |                               |          | \$583.50                           |            |                            |
| Paid Chk#                                | 108308                        | 1/9/2018 | <b>FERGUSON WATERWORKS</b>         |            |                            |
| E 610-40000-225                          | Repair & Maint - System       |          | \$423.88                           | 0270643    | PARTS                      |
| E 610-40000-225                          | Repair & Maint - System       |          | \$423.88                           | 0270643    | PARTS                      |
| <b>Total FERGUSON WATERWORKS</b>         |                               |          | \$847.76                           |            |                            |
| Paid Chk#                                | 108309                        | 1/9/2018 | <b>FISHER, CHERYL</b>              |            |                            |
| E 630-40000-331                          | Mileage & Expense Account     |          | \$41.76                            | MILEAGE    | MILEAGE REIMB.4TH QTR.2017 |
| E 630-40000-331                          | Mileage & Expense Account     |          | \$41.76                            | MILEAGE    | MILEAGE REIMB.4TH QTR.2017 |
| <b>Total FISHER, CHERYL</b>              |                               |          | \$83.52                            |            |                            |
| Paid Chk#                                | 108310                        | 1/9/2018 | <b>G &amp; K SERVICES</b>          |            |                            |
| E 640-48500-217                          | Uniforms                      |          | \$220.05                           | 6013817274 | KITCHEN UNIFORMS           |
| E 640-48500-217                          | Uniforms                      |          | \$220.05                           | 6013817274 | KITCHEN UNIFORMS           |
| E 640-48500-210                          | Operating Supplies (GENERAL)  |          | \$32.08                            | 6013817274 | KITCHEN SUPPLIES           |
| E 640-48500-210                          | Operating Supplies (GENERAL)  |          | \$32.08                            | 6013817274 | KITCHEN SUPPLIES           |
| E 640-48000-210                          | Operating Supplies (GENERAL)  |          | \$41.48                            | 6013817274 | BAR SUPPLIES               |
| E 640-48000-210                          | Operating Supplies (GENERAL)  |          | \$41.48                            | 6013817274 | BAR SUPPLIES               |
| <b>Total G &amp; K SERVICES</b>          |                               |          | \$587.22                           |            |                            |
| Paid Chk#                                | 108311                        | 1/9/2018 | <b>GOPHER STATE ONE CALL</b>       |            |                            |



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| E 610-40000-313                           | Permit Fees/Gopher State      |          | \$37.12                             | 7120807      | MONTHLY LOCATES                |
| E 610-40000-313                           | Permit Fees/Gopher State      |          | \$37.12                             | 7120807      | MONTHLY LOCATES                |
| E 620-40000-313                           | Permit Fees/Gopher State      |          | \$37.13                             | 7120807      | MONTHLY LOCATES                |
| E 620-40000-313                           | Permit Fees/Gopher State      |          | \$37.13                             | 7120807      | MONTHLY LOCATES                |
| <b>Total GOPHER STATE ONE CALL</b>        |                               |          | \$148.50                            |              |                                |
| Paid Chk#                                 | 108312                        | 1/9/2018 | <b>H&amp;L MESABI</b>               |              |                                |
| E 101-43100-220                           | Repair/Maint Supply (GENERAL) |          | \$1,140.00                          | 99714        | SUPPLIES                       |
| E 101-43100-220                           | Repair/Maint Supply (GENERAL) |          | \$1,140.00                          | 99714        | SUPPLIES                       |
| <b>Total H&amp;L MESABI</b>               |                               |          | \$2,280.00                          |              |                                |
| Paid Chk#                                 | 108313                        | 1/9/2018 | <b>HATZ, KIM</b>                    |              |                                |
| E 630-40000-331                           | Mileage & Expense Account     |          | \$62.64                             | REIMB.       | REIMB.FOR MILEAGE 4TH QTR.2017 |
| E 630-40000-331                           | Mileage & Expense Account     |          | \$62.64                             | REIMB.       | REIMB.FOR MILEAGE 4TH QTR.2017 |
| <b>Total HATZ, KIM</b>                    |                               |          | \$125.28                            |              |                                |
| Paid Chk#                                 | 108314                        | 1/9/2018 | <b>HENN.CNTY.ACCTG.SERVICES</b>     |              |                                |
| E 101-42120-308                           | Prisoner Care                 |          | \$559.20                            | 1000102765   | PRISONER PROCESSING            |
| E 101-42120-308                           | Prisoner Care                 |          | \$559.20                            | 1000102765   | PRISONER PROCESSING            |
| <b>Total HENN.CNTY.ACCTG.SERVICES</b>     |                               |          | \$1,118.40                          |              |                                |
| Paid Chk#                                 | 108315                        | 1/9/2018 | <b>HENN.CNTY.INFO.TECH.DEPT.</b>    |              |                                |
| E 101-42200-323                           | Radio Units                   |          | \$1,114.35                          | 1000102853   | RADIO CONNECTION               |
| E 101-42200-323                           | Radio Units                   |          | \$1,114.35                          | 1000102853   | RADIO CONNECTION               |
| E 101-42100-323                           | Radio Units                   |          | \$985.71                            | 1000102854   | RADIO CONNECTION               |
| E 101-42100-323                           | Radio Units                   |          | \$985.71                            | 1000102854   | RADIO CONNECTION               |
| E 101-43100-323                           | Radio Units                   |          | \$276.37                            | 1000102910   | RADIO CONNECTION               |
| E 101-43100-323                           | Radio Units                   |          | \$276.37                            | 1000102910   | RADIO CONNECTION               |
| E 101-45200-323                           | Radio Units                   |          | \$276.37                            | 1000102910   | RADIO CONNECTION               |
| E 101-45200-323                           | Radio Units                   |          | \$276.37                            | 1000102910   | RADIO CONNECTION               |
| <b>Total HENN.CNTY.INFO.TECH.DEPT.</b>    |                               |          | \$5,305.60                          |              |                                |
| Paid Chk#                                 | 108316                        | 1/9/2018 | <b>HENNEPIN COUNTY TAX SERVICES</b> |              |                                |
| E 314-40000-301                           | Auditing and Acct g Services  |          | \$1,192.19                          | 99-2018-AC   | TIF COSTS                      |
| E 314-40000-301                           | Auditing and Acct g Services  |          | \$1,192.19                          | 99-2018-AC   | TIF COSTS                      |
| E 316-40000-301                           | Auditing and Acct g Services  |          | \$3,645.84                          | 99-2018-AC   | TIF COSTS                      |
| E 316-40000-301                           | Auditing and Acct g Services  |          | \$3,645.84                          | 99-2018-AC   | TIF COSTS                      |
| <b>Total HENNEPIN COUNTY TAX SERVICES</b> |                               |          | \$9,676.06                          |              |                                |
| Paid Chk#                                 | 108317                        | 1/9/2018 | <b>HENNEPIN COUNTY TREASURER</b>    |              |                                |
| G 650-20818                               | Garbage Sales Tax             |          | \$1,438.13                          | 9%REFUSE T   | 9% REFUSE TAX - DEC.2017       |
| G 650-20818                               | Garbage Sales Tax             |          | \$1,438.13                          | 9%REFUSE T   | 9% REFUSE TAX - DEC.2017       |
| <b>Total HENNEPIN COUNTY TREASURER</b>    |                               |          | \$2,876.26                          |              |                                |
| Paid Chk#                                 | 108318                        | 1/9/2018 | <b>HOLIDAY</b>                      |              |                                |
| E 640-47000-212                           | Motor Fuels                   |          | \$20.58                             |              | FUEL                           |
| E 640-47000-212                           | Motor Fuels                   |          | \$20.58                             |              | FUEL                           |
| <b>Total HOLIDAY</b>                      |                               |          | \$41.16                             |              |                                |
| Paid Chk#                                 | 108319                        | 1/9/2018 | <b>INTOXIMETERS</b>                 |              |                                |
| E 101-42100-210                           | Operating Supplies (GENERAL)  |          | \$108.50                            | 584047       | PD SUPPLIES                    |
| E 101-42100-210                           | Operating Supplies (GENERAL)  |          | \$108.50                            | 584047       | PD SUPPLIES                    |
| <b>Total INTOXIMETERS</b>                 |                               |          | \$217.00                            |              |                                |
| Paid Chk#                                 | 108320                        | 1/9/2018 | <b>J.H. LARSON COMPANY</b>          |              |                                |
| E 101-41940-210                           | Operating Supplies (GENERAL)  |          | \$54.60                             | S101639819.0 | BLDG.SUPPLIES                  |
| E 101-41940-210                           | Operating Supplies (GENERAL)  |          | \$54.60                             | S101639819.0 | BLDG.SUPPLIES                  |
| <b>Total J.H. LARSON COMPANY</b>          |                               |          | \$109.20                            |              |                                |

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| Paid Chk#                                  | 108321                        | 1/9/2018 | <b>KEEPRS</b>                         |            |                                      |
| E 101-42100-217                            | Uniforms                      |          | \$832.00                              | 363986-90  | PD UNIFORMS                          |
| E 101-42100-217                            | Uniforms                      |          | \$832.00                              | 363986-90  | PD UNIFORMS                          |
| <b>Total KEEPRS</b>                        |                               |          | \$1,664.00                            |            |                                      |
| Paid Chk#                                  | 108322                        | 1/9/2018 | <b>LIND, JODI</b>                     |            |                                      |
| E 630-40000-331                            | Mileage & Expense Account     |          | \$34.80                               | REIMB.     | REIMB.FOR MILEAGE 4TH QTR.2017       |
| E 630-40000-331                            | Mileage & Expense Account     |          | \$34.80                               | REIMB.     | REIMB.FOR MILEAGE 4TH QTR.2017       |
| <b>Total LIND, JODI</b>                    |                               |          | \$69.60                               |            |                                      |
| Paid Chk#                                  | 108323                        | 1/9/2018 | <b>LITTLE FALLS MACHINE, INC.</b>     |            |                                      |
| E 101-43100-220                            | Repair/Maint Supply (GENERAL) |          | \$485.15                              | 350658     | PARTS                                |
| E 101-43100-220                            | Repair/Maint Supply (GENERAL) |          | \$485.15                              | 350658     | PARTS                                |
| <b>Total LITTLE FALLS MACHINE, INC.</b>    |                               |          | \$970.30                              |            |                                      |
| Paid Chk#                                  | 108324                        | 1/9/2018 | <b>LONG LAKE VETERINARY CLINIC</b>    |            |                                      |
| E 101-42100-309                            | Contractual Services          |          | \$100.00                              | 263782     | ANIMAL CONTROL IMPOUND               |
| E 101-42100-309                            | Contractual Services          |          | \$100.00                              | 263782     | ANIMAL CONTROL IMPOUND               |
| <b>Total LONG LAKE VETERINARY CLINIC</b>   |                               |          | \$200.00                              |            |                                      |
| Paid Chk#                                  | 108325                        | 1/9/2018 | <b>MARCO</b>                          |            |                                      |
| E 630-40000-404                            | Repairs/Maint - Machin/Equip  |          | \$160.31                              | INV4863482 | MV COPIER MAINT.                     |
| E 630-40000-404                            | Repairs/Maint - Machin/Equip  |          | \$160.31                              | INV4863482 | MV COPIER MAINT.                     |
| <b>Total MARCO</b>                         |                               |          | \$320.62                              |            |                                      |
| Paid Chk#                                  | 108326                        | 1/9/2018 | <b>METRO SALES INC.</b>               |            |                                      |
| E 101-42100-404                            | Repairs/Maint - Machin/Equip  |          | \$465.68                              | INV969846  | PD COPIER MAINT.                     |
| E 101-42100-404                            | Repairs/Maint - Machin/Equip  |          | \$465.68                              | INV969846  | PD COPIER MAINT.                     |
| E 101-42200-210                            | Operating Supplies (GENERAL)  |          | \$950.00                              | INV971376  | FD COPIER                            |
| E 101-42200-210                            | Operating Supplies (GENERAL)  |          | \$950.00                              | INV971376  | FD COPIER                            |
| <b>Total METRO SALES INC.</b>              |                               |          | \$2,831.36                            |            |                                      |
| Paid Chk#                                  | 108327                        | 1/9/2018 | <b>METRO WEST INSPECTION SERVICES</b> |            |                                      |
| E 101-42400-309                            | Contractual Services          |          | \$2,422.50                            | 1316       | INSPECTION SERVICES                  |
| E 101-42400-309                            | Contractual Services          |          | \$2,422.50                            | 1316       | INSPECTION SERVICES                  |
| <b>otal METRO WEST INSPECTION SERVICES</b> |                               |          | \$4,845.00                            |            |                                      |
| Paid Chk#                                  | 108328                        | 1/9/2018 | <b>METROPOLITAN COUNCIL</b>           |            |                                      |
| G 101-20831                                | MWCC (SAC)                    |          | \$2,485.00                            | SAC DEC17  | SAC FEES - DEC.2017                  |
| G 101-20831                                | MWCC (SAC)                    |          | \$2,485.00                            | SAC DEC17  | SAC FEES - DEC.2017                  |
| R 101-00000-34190                          | Charges for Services/Gen Gov  |          | (\$24.85)                             | SAC DEC17  | SAC FEES - DEC.2017                  |
| R 101-00000-34190                          | Charges for Services/Gen Gov  |          | (\$24.85)                             | SAC DEC17  | SAC FEES - DEC.2017                  |
| <b>Total METROPOLITAN COUNCIL</b>          |                               |          | \$4,920.30                            |            |                                      |
| Paid Chk#                                  | 108329                        | 1/9/2018 | <b>MN CITY/COUNTY MANAGEMENT ASSO</b> |            |                                      |
| E 101-41500-433                            | Dues, Licensing & Seminars    |          | \$144.00                              | DUES 2017  | DAHL DUES 2017                       |
| E 101-41500-433                            | Dues, Licensing & Seminars    |          | \$144.00                              | DUES 2017  | DAHL DUES 2017                       |
| <b>tal MN CITY/COUNTY MANAGEMENT ASSO</b>  |                               |          | \$288.00                              |            |                                      |
| Paid Chk#                                  | 108330                        | 1/9/2018 | <b>MN SHERIFF'S ASSOCIATION</b>       |            |                                      |
| E 101-42100-434                            | Training and schools          |          | \$150.00                              | 155590     | PD TRAINING                          |
| E 101-42100-434                            | Training and schools          |          | \$150.00                              | 155590     | PD TRAINING                          |
| <b>Total MN SHERIFF'S ASSOCIATION</b>      |                               |          | \$300.00                              |            |                                      |
| Paid Chk#                                  | 108331                        | 1/9/2018 | <b>NEW FRANCE WINE COMPANY</b>        |            |                                      |
| E 640-47000-252                            | Wine For Resale               |          | \$121.00                              | 127386     | WINE RESALE                          |
| E 640-47000-252                            | Wine For Resale               |          | \$121.00                              | 127386     | WINE RESALE                          |
| E 640-47000-259                            | Freight                       |          | \$1.50                                | 127386     | FREIGHT 01-16-2018 CC MEETING PACKET |
| E 640-47000-259                            | Freight                       |          | \$1.50                                | 127386     | FREIGHT                              |

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| Total           | NEW FRANCE WINE COMPANY      |             | \$245.00                     |                     |
| Paid Chk#       | 108332                       | 1/9/2018    | NORDQUIST SIGN COMPANY, INC. |                     |
| E 401-40000-309 | Contractual Services         | \$12,132.50 | 191652D                      | PARKING RAMP KIOSK  |
| E 401-40000-309 | Contractual Services         | \$12,132.50 | 191652D                      | PARKING RAMP KIOSK  |
| Total           | NORDQUIST SIGN COMPANY, INC. | \$24,265.00 |                              |                     |
| Paid Chk#       | 108333                       | 1/9/2018    | NORTH MEMORIAL               |                     |
| E 101-42100-434 | Training and schools         | \$240.00    | 8885035                      | PD TRAINING         |
| E 101-42100-434 | Training and schools         | \$240.00    | 8885035                      | PD TRAINING         |
| Total           | NORTH MEMORIAL               | \$480.00    |                              |                     |
| Paid Chk#       | 108334                       | 1/9/2018    | SCHANKE, SUZIE               |                     |
| E 101-42200-409 | Maint services & Improv      | \$145.00    | DEC.2017                     | FD MONTHLY CLEANING |
| E 101-42200-409 | Maint services & Improv      | \$145.00    | DEC.2017                     | FD MONTHLY CLEANING |
| Total           | SCHANKE, SUZIE               | \$290.00    |                              |                     |
| Paid Chk#       | 108335                       | 1/9/2018    | SHAMROCK GROUP               |                     |
| E 640-47000-254 | Soft Drinks/Mix For Resale   | \$138.36    | 2149717                      | ICE                 |
| E 640-47000-254 | Soft Drinks/Mix For Resale   | \$138.36    | 2149717                      | ICE                 |
| Total           | SHAMROCK GROUP               | \$276.72    |                              |                     |
| Paid Chk#       | 108336                       | 1/9/2018    | SOUTHERN GLAZER`S OF MN      |                     |
| E 640-47000-252 | Wine For Resale              | (\$704.00)  | 0036625                      | WINE                |
| E 640-47000-252 | Wine For Resale              | (\$704.00)  | 0036625                      | WINE                |
| E 640-47000-252 | Wine For Resale              | \$704.00    | 1622831                      | WINE RESALE         |
| E 640-47000-252 | Wine For Resale              | \$704.00    | 1622831                      | WINE RESALE         |
| E 640-47000-259 | Freight                      | \$5.12      | 1622831                      | FREIGHT             |
| E 640-47000-259 | Freight                      | \$5.12      | 1622831                      | FREIGHT             |
| Total           | SOUTHERN GLAZER`S OF MN      | \$10.24     |                              |                     |
| Paid Chk#       | 108337                       | 1/9/2018    | SPENCER JANITORIAL           |                     |
| E 640-48000-409 | Maint services & Improv      | \$2,501.68  | 10679                        | MONTHLY CLEANING    |
| E 640-48000-409 | Maint services & Improv      | \$2,501.68  | 10679                        | MONTHLY CLEANING    |
| Total           | SPENCER JANITORIAL           | \$5,003.36  |                              |                     |
| Paid Chk#       | 108338                       | 1/9/2018    | STATE OF MINNESOTA           |                     |
| E 101-42100-309 | Contractual Services         | \$270.00    | 00000453902                  | PD ACCESS FEE       |
| E 101-42100-309 | Contractual Services         | \$270.00    | 00000453902                  | PD ACCESS FEE       |
| Total           | STATE OF MINNESOTA           | \$540.00    |                              |                     |
| Paid Chk#       | 108339                       | 1/9/2018    | STEEL TOE BREWING            |                     |
| E 640-48000-253 | Beer For Resale              | \$190.00    | 19220                        | BEER                |
| E 640-48000-253 | Beer For Resale              | \$190.00    | 19220                        | BEER                |
| Total           | STEEL TOE BREWING            | \$380.00    |                              |                     |
| Paid Chk#       | 108340                       | 1/9/2018    | STORAGE SOLUTIONS USA, LLC   |                     |
| E 101-42100-200 | Office Supplies (GENERAL)    | \$214.00    | 0081994                      | PD SUPPLIES         |
| E 101-42100-200 | Office Supplies (GENERAL)    | \$214.00    | 0081994                      | PD SUPPLIES         |
| Total           | STORAGE SOLUTIONS USA, LLC   | \$428.00    |                              |                     |
| Paid Chk#       | 108341                       | 1/9/2018    | STRATEGIC EQUIPMENT AND      |                     |
| E 640-48500-210 | Operating Supplies (GENERAL) | \$394.33    | 3013053                      | KITCHEN SUPPLIES    |
| E 640-48500-210 | Operating Supplies (GENERAL) | \$394.33    | 3013053                      | KITCHEN SUPPLIES    |
| E 640-48000-210 | Operating Supplies (GENERAL) | \$92.65     | 3013053                      | BAR SUPPLIES        |
| E 640-48000-210 | Operating Supplies (GENERAL) | \$92.65     | 3013053                      | BAR SUPPLIES        |
| E 640-48500-210 | Operating Supplies (GENERAL) | \$21.03     | 3013055                      | KITCHEN SUPPLIES    |
| E 640-48500-210 | Operating Supplies (GENERAL) | \$21.03     | 3013055                      | KITCHEN SUPPLIES    |

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| <b>Total STRATEGIC EQUIPMENT AND</b>       |                              |                                      | \$1,016.02  |              |                            |
| Paid Chk# 108342                           | 1/9/2018                     | <b>TIME SAVER</b>                    |             |              |                            |
| E 101-41100-302                            | Consultants                  |                                      | \$726.00    | M23474       | MTG.MINUTES                |
| E 101-41100-302                            | Consultants                  |                                      | \$726.00    | M23474       | MTG.MINUTES                |
| <b>Total TIME SAVER</b>                    |                              |                                      | \$1,452.00  |              |                            |
| Paid Chk# 108343                           | 1/9/2018                     | <b>TOLL GAS &amp; WELDING SUPPLY</b> |             |              |                            |
| E 640-48000-210                            | Operating Supplies (GENERAL) |                                      | \$48.39     | 40075488     | SUPPLIES                   |
| E 640-48000-210                            | Operating Supplies (GENERAL) |                                      | \$48.39     | 40075488     | SUPPLIES                   |
| <b>Total TOLL GAS &amp; WELDING SUPPLY</b> |                              |                                      | \$96.78     |              |                            |
| Paid Chk# 108344                           | 1/9/2018                     | <b>TRI-CITY</b>                      |             |              |                            |
| E 610-40000-309                            | Contractual Services         |                                      | \$52.50     | 1700243      | WATER ANALYSIS             |
| E 610-40000-309                            | Contractual Services         |                                      | \$52.50     | 1700243      | WATER ANALYSIS             |
| <b>Total TRI-CITY</b>                      |                              |                                      | \$105.00    |              |                            |
| Paid Chk# 108345                           | 1/9/2018                     | <b>TRUSTED EMPLOYEES</b>             |             |              |                            |
| E 640-48000-306                            | Personnel Expense            |                                      | \$40.00     | 12201712035S | BACKGROUND SEARCH SERVICES |
| E 640-48000-306                            | Personnel Expense            |                                      | \$40.00     | 12201712035S | BACKGROUND SEARCH SERVICES |
| <b>Total TRUSTED EMPLOYEES</b>             |                              |                                      | \$80.00     |              |                            |
| Paid Chk# 108346                           | 1/9/2018                     | <b>UPS STORE</b>                     |             |              |                            |
| E 610-40000-322                            | Postage                      |                                      | \$58.54     | 4642         | SHIPPING                   |
| E 610-40000-322                            | Postage                      |                                      | \$58.54     | 4642         | SHIPPING                   |
| <b>Total UPS STORE</b>                     |                              |                                      | \$117.08    |              |                            |
| Paid Chk# 108347                           | 1/9/2018                     | <b>US FOODS</b>                      |             |              |                            |
| E 640-48000-210                            | Operating Supplies (GENERAL) |                                      | \$1,315.92  | 3315425      | BAR SUPPLIES               |
| E 640-48000-210                            | Operating Supplies (GENERAL) |                                      | \$1,315.92  | 3315425      | BAR SUPPLIES               |
| E 640-48500-210                            | Operating Supplies (GENERAL) |                                      | \$185.79    | 3374956      | KITCHEN SUPPLIES           |
| E 640-48500-210                            | Operating Supplies (GENERAL) |                                      | \$185.79    | 3374956      | KITCHEN SUPPLIES           |
| E 640-48500-255                            | FOODIngredients For Resale   |                                      | \$3,998.20  | 3576639      | FOOD                       |
| E 640-48500-255                            | FOODIngredients For Resale   |                                      | \$3,998.20  | 3576639      | FOOD                       |
| E 640-48500-210                            | Operating Supplies (GENERAL) |                                      | \$62.06     | 3576639      | KITCHEN SUPPLIES           |
| E 640-48500-210                            | Operating Supplies (GENERAL) |                                      | \$62.06     | 3576639      | KITCHEN SUPPLIES           |
| E 640-48000-210                            | Operating Supplies (GENERAL) |                                      | \$54.13     | 3576639      | BAR SUPPLIES               |
| E 640-48000-210                            | Operating Supplies (GENERAL) |                                      | \$54.13     | 3576639      | BAR SUPPLIES               |
| E 640-48000-342                            | Promotions - Food/Drinks     |                                      | \$63.01     | 3576639      | PROMO FOOD                 |
| E 640-48000-342                            | Promotions - Food/Drinks     |                                      | \$63.01     | 3576639      | PROMO FOOD                 |
| E 640-48000-254                            | Soft Drinks/Mix For Resale   |                                      | \$506.85    | 3576639      | MISC.BEV.                  |
| E 640-48000-254                            | Soft Drinks/Mix For Resale   |                                      | \$506.85    | 3576639      | MISC.BEV.                  |
| E 640-48000-251                            | Liquor For Resale            |                                      | \$199.24    | 3576639      | LIQUOR                     |
| E 640-48000-251                            | Liquor For Resale            |                                      | \$199.24    | 3576639      | LIQUOR                     |
| <b>Total US FOODS</b>                      |                              |                                      | \$12,770.40 |              |                            |
| Paid Chk# 108348                           | 1/9/2018                     | <b>VERIZON WIRELESS</b>              |             |              |                            |
| E 101-42200-323                            | Radio Units                  |                                      | \$12.75     | 9798418475   | FD SERVICE                 |
| E 101-42200-323                            | Radio Units                  |                                      | \$12.75     | 9798418475   | FD SERVICE                 |
| <b>Total VERIZON WIRELESS</b>              |                              |                                      | \$25.50     |              |                            |
| Paid Chk# 108349                           | 1/9/2018                     | <b>VINOCOPIA</b>                     |             |              |                            |
| E 640-47000-251                            | Liquor For Resale            |                                      | \$489.00    | 0197687      | LIQUOR                     |
| E 640-47000-251                            | Liquor For Resale            |                                      | \$489.00    | 0197687      | LIQUOR                     |
| E 640-47000-259                            | Freight                      |                                      | \$2.50      | 0197687      | FREIGHT                    |
| E 640-47000-259                            | Freight                      |                                      | \$2.50      | 0197687      | FREIGHT                    |
| <b>Total VINOCOPIA</b>                     |                              |                                      | \$983.00    |              |                            |
| Paid Chk# 108350                           | 1/9/2018                     | <b>WALT S GARAGE</b>                 |             |              |                            |

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December 2017

|                                      |                              |                                | Check Amt    | Invoice       | Comment             |
|--------------------------------------|------------------------------|--------------------------------|--------------|---------------|---------------------|
| E 101-42200-404                      | Repairs/Maint - Machin/Equip |                                | \$119.00     | 7609          | PD TIRES            |
| E 101-42200-404                      | Repairs/Maint - Machin/Equip |                                | \$119.00     | 7609          | PD TIRES            |
| <b>Total WALT S GARAGE</b>           |                              |                                | \$238.00     |               |                     |
| Paid Chk# 108351                     | 1/9/2018                     | <b>WAYZATA ROTARY CLUB</b>     |              |               |                     |
| E 101-41500-433                      | Dues, Licensing & Seminars   |                                | \$150.00     | 767           | DAHL DUES           |
| E 101-41500-433                      | Dues, Licensing & Seminars   |                                | \$150.00     | 767           | DAHL DUES           |
| <b>Total WAYZATA ROTARY CLUB</b>     |                              |                                | \$300.00     |               |                     |
| Paid Chk# 108352                     | 1/9/2018                     | <b>WAYZATA TIRE &amp; AUTO</b> |              |               |                     |
| E 101-43100-499                      | Miscellaneous                |                                | \$44.35      | 142437        | TIRE DISPOSAL       |
| E 101-43100-499                      | Miscellaneous                |                                | \$44.35      | 142437        | TIRE DISPOSAL       |
| E 101-42200-404                      | Repairs/Maint - Machin/Equip |                                | \$748.65     | 142740        | FD REPAIRS          |
| E 101-42200-404                      | Repairs/Maint - Machin/Equip |                                | \$748.65     | 142740        | FD REPAIRS          |
| <b>Total WAYZATA TIRE &amp; AUTO</b> |                              |                                | \$1,586.00   |               |                     |
| Paid Chk# 108353                     | 1/9/2018                     | <b>WESTSIDE WHOLESALE TIRE</b> |              |               |                     |
| E 101-45200-404                      | Repairs/Maint - Machin/Equip |                                | \$433.58     | 804290        | PARKS TIRES         |
| E 101-45200-404                      | Repairs/Maint - Machin/Equip |                                | \$433.58     | 804290        | PARKS TIRES         |
| <b>Total WESTSIDE WHOLESALE TIRE</b> |                              |                                | \$867.16     |               |                     |
| Paid Chk# 108354                     | 1/9/2018                     | <b>WINE MERCHANT</b>           |              |               |                     |
| E 640-47000-252                      | Wine For Resale              |                                | \$168.00     | 7165449       | WINE                |
| E 640-47000-252                      | Wine For Resale              |                                | \$168.00     | 7165449       | WINE                |
| E 640-47000-259                      | Freight                      |                                | \$1.26       | 7165449       | FREIGHT             |
| E 640-47000-259                      | Freight                      |                                | \$1.26       | 7165449       | FREIGHT             |
| <b>Total WINE MERCHANT</b>           |                              |                                | \$338.52     |               |                     |
| Paid Chk# 108355                     | 1/9/2018                     | <b>WSB &amp; ASSOCIATES</b>    |              |               |                     |
| E 670-40000-302                      | Consultants                  |                                | \$1,522.00   | 0-001204-380- | POND SURVEYS        |
| E 670-40000-302                      | Consultants                  |                                | \$1,522.00   | 0-001204-380- | POND SURVEYS        |
| E 430-40000-303                      | Engineering Fees             |                                | \$776.00     | 0-001204-530- | 2017 STREETS        |
| E 430-40000-303                      | Engineering Fees             |                                | \$776.00     | 0-001204-530- | 2017 STREETS        |
| E 430-40000-303                      | Engineering Fees             |                                | \$9,415.50   | R-010640-000- | WAYZ.BLVD./SUPERIOR |
| E 430-40000-303                      | Engineering Fees             |                                | \$9,415.50   | R-010640-000- | WAYZ.BLVD./SUPERIOR |
| <b>Total WSB &amp; ASSOCIATES</b>    |                              |                                | \$23,427.00  |               |                     |
| <b>20100 Accounts Payable</b>        |                              |                                | \$119,447.10 |               |                     |

**Fund Summary****20100 Accounts Payable**

|                      |              |
|----------------------|--------------|
| 101 GENERAL FUND     | \$66,466.32  |
| 314 WIDSTEN          | \$4,768.76   |
| 316 BAY CENTER       | \$14,583.36  |
| 401 PERM IMPROVEMENT | \$48,530.00  |
| 430 STREET CIP       | \$40,766.00  |
| 610 WATER FUND       | \$2,288.16   |
| 620 SEWER FUND       | \$148.52     |
| 630 MOTOR VEHICLE    | \$1,198.04   |
| 640 LIQUOR           | \$48,304.52  |
| 650 SOLID WASTE      | \$5,752.52   |
| 670 STORMWATER       | \$6,088.00   |
|                      | \$238,894.20 |

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**10100 Anchor Bank**

Paid Chk# 108356 1/10/2018 AEM FINANCIAL SOLUTIONS

|                                      |                              |                   |        |                           |
|--------------------------------------|------------------------------|-------------------|--------|---------------------------|
| E 101-41500-301                      | Auditing and Acct g Services | \$4,817.00        | 392900 | FINANCE DIRECTOR SERVICES |
| <b>Total AEM FINANCIAL SOLUTIONS</b> |                              | <b>\$4,817.00</b> |        |                           |

Paid Chk# 108357 1/10/2018 ALLDATA

|                      |                             |                   |           |                             |
|----------------------|-----------------------------|-------------------|-----------|-----------------------------|
| E 101-43100-240      | Small Tools and Minor Equip | \$300.00          | 100669416 | MECHANIC COMPUTER DIAGNOSIS |
| E 101-45200-240      | Small Tools and Minor Equip | \$300.00          | 100669416 | MECHANIC COMPUTER DIAGNOSIS |
| E 101-42100-240      | Small Tools and Minor Equip | \$300.00          | 100669416 | MECHANIC COMPUTER DIAGNOSIS |
| E 610-40000-240      | Small Tools and Minor Equip | \$300.00          | 100669416 | MECHANIC COMPUTER DIAGNOSIS |
| E 620-40000-240      | Small Tools and Minor Equip | \$300.00          | 100669416 | MECHANIC COMPUTER DIAGNOSIS |
| <b>Total ALLDATA</b> |                             | <b>\$1,500.00</b> |           |                             |

Paid Chk# 108358 1/10/2018 ASSOCIATED BENEFITS AND RISK

|                                           |             |                 |      |                         |
|-------------------------------------------|-------------|-----------------|------|-------------------------|
| E 101-41500-302                           | Consultants | \$541.00        | 7604 | INSURANCE / HR RESOURCE |
| <b>Total ASSOCIATED BENEFITS AND RISK</b> |             | <b>\$541.00</b> |      |                         |

Paid Chk# 108359 1/10/2018 AVESIS ESSENTIAL BENEFITS

|                                        |                  |                |         |             |
|----------------------------------------|------------------|----------------|---------|-------------|
| G 101-21722                            | Vision Insurance | \$81.05        | 1856627 | VISION INS. |
| <b>Total AVESIS ESSENTIAL BENEFITS</b> |                  | <b>\$81.05</b> |         |             |

Paid Chk# 108360 1/10/2018 BERRY COFFEE COMPANY

|                                   |                              |                 |        |          |
|-----------------------------------|------------------------------|-----------------|--------|----------|
| E 101-41940-210                   | Operating Supplies (GENERAL) | \$292.70        | 525411 | SUPPLIES |
| <b>Total BERRY COFFEE COMPANY</b> |                              | <b>\$292.70</b> |        |          |

Paid Chk# 108361 1/10/2018 CASH - ANCHOR BANK

|                                 |     |                   |          |          |
|---------------------------------|-----|-------------------|----------|----------|
| G 640-10150                     | ATM | \$9,000.00        | ATM FILL | ATM FILL |
| <b>Total CASH - ANCHOR BANK</b> |     | <b>\$9,000.00</b> |          |          |

Paid Chk# 108362 1/10/2018 CENTERPOINT ENERGY

|                                 |                           |                   |  |         |
|---------------------------------|---------------------------|-------------------|--|---------|
| E 101-41940-383                 | Fuel, oil and natural gas | \$2,578.44        |  | SERVICE |
| E 610-40000-383                 | Fuel, oil and natural gas | \$59.09           |  | SERVICE |
| E 640-47000-383                 | Fuel, oil and natural gas | \$226.92          |  | SERVICE |
| E 640-48000-383                 | Fuel, oil and natural gas | \$907.67          |  | SERVICE |
| E 101-41940-383                 | Fuel, oil and natural gas | \$45.71           |  | SERVICE |
| E 101-42200-383                 | Fuel, oil and natural gas | \$665.16          |  | SERVICE |
| <b>Total CENTERPOINT ENERGY</b> |                           | <b>\$4,482.99</b> |  |         |

Paid Chk# 108363 1/10/2018 CULLIGAN-BOTTLED WATER

|                                     |               |                 |         |          |
|-------------------------------------|---------------|-----------------|---------|----------|
| E 101-41940-499                     | Miscellaneous | \$108.98        | 2195027 | SUPPLIES |
| <b>Total CULLIGAN-BOTTLED WATER</b> |               | <b>\$108.98</b> |         |          |

Paid Chk# 108364 1/10/2018 CUMMINS NPOWER, LLC

|                                  |                              |                |           |       |
|----------------------------------|------------------------------|----------------|-----------|-------|
| E 620-40000-210                  | Operating Supplies (GENERAL) | \$55.10        | 100-19874 | PARTS |
| <b>Total CUMMINS NPOWER, LLC</b> |                              | <b>\$55.10</b> |           |       |

Paid Chk# 108365 1/10/2018 ECM PUBLISHERS, INC.

|                                   |                       |                |        |          |
|-----------------------------------|-----------------------|----------------|--------|----------|
| E 101-41500-350                   | Printing & Publishing | \$94.00        | 562709 | LEGAL AD |
| <b>Total ECM PUBLISHERS, INC.</b> |                       | <b>\$94.00</b> |        |          |

Paid Chk# 108366 1/10/2018 ESG COMPANY, INC.

|                                |                 |                |        |       |
|--------------------------------|-----------------|----------------|--------|-------|
| E 101-45200-221                | Equipment Parts | \$50.00        | 042112 | PARTS |
| <b>Total ESG COMPANY, INC.</b> |                 | <b>\$50.00</b> |        |       |

Paid Chk# 108367 1/10/2018 FORMS &amp; SYSTEMS OF MINNESOTA

|                                               |                              |                |        |             |
|-----------------------------------------------|------------------------------|----------------|--------|-------------|
| E 101-42100-210                               | Operating Supplies (GENERAL) | \$86.83        | 157795 | PD SUPPLIES |
| <b>Total FORMS &amp; SYSTEMS OF MINNESOTA</b> |                              | <b>\$86.83</b> |        |             |

Paid Chk# 108368 1/10/2018 GARELICK STEEL CO.

01-16-2018 CC MEETING PACKET

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|---------------------------------------------|------------------------------|---------------------------------------|------------|-------------------------------------------------|----------------------------------|
| E 101-45200-210                             | Operating Supplies (GENERAL) |                                       | \$76.50    | 396147                                          | SUPPLIES                         |
| <b>Total GARELICK STEEL CO.</b>             |                              |                                       | \$76.50    |                                                 |                                  |
| Paid Chk# 108369                            | 1/10/2018                    | <b>GRAINGER, INC.</b>                 |            |                                                 |                                  |
| E 610-40000-210                             | Operating Supplies (GENERAL) |                                       | \$20.55    | 9656136653                                      | SUPPLIES                         |
| E 620-40000-210                             | Operating Supplies (GENERAL) |                                       | \$10.05    | 9656136661                                      | SUPPLIES                         |
| <b>Total GRAINGER, INC.</b>                 |                              |                                       | \$30.60    |                                                 |                                  |
| Paid Chk# 108370                            | 1/10/2018                    | <b>HENNEPIN COUNTY ASSESSORS OFFI</b> |            |                                                 |                                  |
| E 101-41550-302                             | Consultants                  |                                       | \$7,000.00 | 1000102672                                      | 1ST HALF 2018 ASSESSING SERVICES |
| <b>Total HENNEPIN COUNTY ASSESSORS OFFI</b> |                              |                                       | \$7,000.00 |                                                 |                                  |
| Paid Chk# 108371                            | 1/10/2018                    | <b>INTOXIMETERS</b>                   |            |                                                 |                                  |
| E 101-42100-210                             | Operating Supplies (GENERAL) |                                       | \$152.00   | 584770                                          | PD SUPPLIES                      |
| <b>Total INTOXIMETERS</b>                   |                              |                                       | \$152.00   |                                                 |                                  |
| Paid Chk# 108372                            | 1/10/2018                    | <b>JIMMY'S JOHNNYS</b>                |            |                                                 |                                  |
| E 101-45200-415                             | Other Equipment Rentals      |                                       | \$230.00   | 127201                                          | PARKS SERVICE                    |
| <b>Total JIMMY'S JOHNNYS</b>                |                              |                                       | \$230.00   |                                                 |                                  |
| Paid Chk# 108373                            | 1/10/2018                    | <b>KLAPPRICH, KURT</b>                |            |                                                 |                                  |
| E 101-45200-210                             | Operating Supplies (GENERAL) |                                       | \$42.91    | REIMB.                                          | SUPPLIES & MTG.MEALS             |
| E 101-45200-331                             | Mileage & Expense Account    |                                       | \$38.25    | REIMB.                                          | SUPPLIES & MTG.MEALS             |
| <b>Total KLAPPRICH, KURT</b>                |                              |                                       | \$81.16    |                                                 |                                  |
| Paid Chk# 108374                            | 1/10/2018                    | <b>LOFFLER COMPANIES, INC.</b>        |            |                                                 |                                  |
| E 101-41500-311                             | Data Processing              |                                       | \$4,905.00 | 2706124                                         | NETWORK SUPPORT                  |
| <b>Total LOFFLER COMPANIES, INC.</b>        |                              |                                       | \$4,905.00 |                                                 |                                  |
| Paid Chk# 108375                            | 1/10/2018                    | <b>MANSFIELD OIL COMPANY</b>          |            |                                                 |                                  |
| E 101-49200-212                             | Motor Fuels                  |                                       | \$1,089.26 | 20563782                                        | FUEL                             |
| <b>Total MANSFIELD OIL COMPANY</b>          |                              |                                       | \$1,089.26 |                                                 |                                  |
| Paid Chk# 108376                            | 1/10/2018                    | <b>MDRA</b>                           |            |                                                 |                                  |
| E 630-40000-433                             | Dues, Licensing & Seminars   |                                       | \$455.00   | 2018 DUES                                       | 2018 MV DUES                     |
| <b>Total MDRA</b>                           |                              |                                       | \$455.00   |                                                 |                                  |
| Paid Chk# 108377                            | 1/10/2018                    | <b>MEDIACOM</b>                       |            |                                                 |                                  |
| E 101-41940-321                             | Telephone                    |                                       | \$47.08    |                                                 | DEPOT SERVICE                    |
| <b>Total MEDIACOM</b>                       |                              |                                       | \$47.08    |                                                 |                                  |
| Paid Chk# 108378                            | 1/10/2018                    | <b>METRO CITIES</b>                   |            |                                                 |                                  |
| E 101-41500-433                             | Dues, Licensing & Seminars   |                                       | \$2,116.00 | 88                                              | 2018 MEMBERSHIP DUES             |
| <b>Total METRO CITIES</b>                   |                              |                                       | \$2,116.00 |                                                 |                                  |
| Paid Chk# 108379                            | 1/10/2018                    | <b>MINNESOTA EQUIPMENT</b>            |            |                                                 |                                  |
| E 101-45200-222                             | Repair & Maint - Equip       |                                       | \$5.66     | P64539                                          | PARTS                            |
| <b>Total MINNESOTA EQUIPMENT</b>            |                              |                                       | \$5.66     |                                                 |                                  |
| Paid Chk# 108380                            | 1/10/2018                    | <b>MN BATTERY LLC</b>                 |            |                                                 |                                  |
| E 101-45200-222                             | Repair & Maint - Equip       |                                       | \$99.50    | 19205                                           | PARTS                            |
| <b>Total MN BATTERY LLC</b>                 |                              |                                       | \$99.50    |                                                 |                                  |
| Paid Chk# 108381                            | 1/10/2018                    | <b>MN NCPERS LIFE INSURANCE</b>       |            |                                                 |                                  |
| G 101-21715                                 | PERA Term Life               |                                       | \$48.00    | 1/2018                                          | LIFE INS.-JAN.2018               |
| <b>Total MN NCPERS LIFE INSURANCE</b>       |                              |                                       | \$48.00    |                                                 |                                  |
| Paid Chk# 108382                            | 1/10/2018                    | <b>MN POLLUTION CONTROL AGENCY</b>    |            |                                                 |                                  |
| E 620-40000-433                             | Dues, Licensing & Seminars   |                                       | \$390.00   | REGISTRATIO SEMINAR REGISTRATION MEETING PACKET |                                  |

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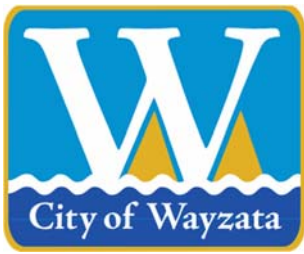
January 2018

|                 |                                    |           | Check Amt                         | Invoice      | Comment            |
|-----------------|------------------------------------|-----------|-----------------------------------|--------------|--------------------|
| <b>Total</b>    | <b>MN POLLUTION CONTROL AGENCY</b> |           | <b>\$390.00</b>                   |              |                    |
| Paid Chk#       | 108383                             | 1/10/2018 | <b>MN RURAL WATER ASSOCIATION</b> |              |                    |
| E 610-40000-433 | Dues, Licensing & Seminars         |           | \$125.00                          | 2018         | 2018 MEMBERSHIP    |
| E 620-40000-433 | Dues, Licensing & Seminars         |           | \$125.00                          | 2018         | 2018 MEMBERSHIP    |
| <b>Total</b>    | <b>MN RURAL WATER ASSOCIATION</b>  |           | <b>\$250.00</b>                   |              |                    |
| Paid Chk#       | 108384                             | 1/10/2018 | <b>MYHRAN, BENNETT</b>            |              |                    |
| E 101-45200-331 | Mileage & Expense Account          |           | \$9.20                            | REIMB.       | PARKING            |
| <b>Total</b>    | <b>MYHRAN, BENNETT</b>             |           | <b>\$9.20</b>                     |              |                    |
| Paid Chk#       | 108385                             | 1/10/2018 | <b>NAPA AUTO PARTS-WATERTOWN</b>  |              |                    |
| E 101-42100-404 | Repairs/Maint - Machin/Equip       |           | \$223.12                          | 491137       | PD PARTS/REPAIRS   |
| <b>Total</b>    | <b>NAPA AUTO PARTS-WATERTOWN</b>   |           | <b>\$223.12</b>                   |              |                    |
| Paid Chk#       | 108386                             | 1/10/2018 | <b>PAKOR INC.</b>                 |              |                    |
| E 630-40000-540 | Equipment                          |           | \$1,927.47                        | 8027365      | MV PASSPORT CAMERA |
| <b>Total</b>    | <b>PAKOR INC.</b>                  |           | <b>\$1,927.47</b>                 |              |                    |
| Paid Chk#       | 108387                             | 1/10/2018 | <b>PIRTEK</b>                     |              |                    |
| E 620-40000-210 | Operating Supplies (GENERAL)       |           | \$49.66                           | S2628641.001 | SUPPLIES           |
| <b>Total</b>    | <b>PIRTEK</b>                      |           | <b>\$49.66</b>                    |              |                    |
| Paid Chk#       | 108388                             | 1/10/2018 | <b>STREICHER S</b>                |              |                    |
| E 101-42100-217 | Uniforms                           |           | \$22.98                           | 11294788     | PD UNIFORMS        |
| <b>Total</b>    | <b>STREICHER S</b>                 |           | <b>\$22.98</b>                    |              |                    |
| Paid Chk#       | 108389                             | 1/10/2018 | <b>XCEL ENERGY</b>                |              |                    |
| E 101-45203-381 | Electric Utilities                 |           | \$5,554.01                        |              | SERVICE            |
| E 101-41940-381 | Electric Utilities                 |           | \$4,232.83                        |              | SERVICE            |
| E 101-42200-381 | Electric Utilities                 |           | \$284.85                          |              | SERVICE            |
| E 610-40000-381 | Electric Utilities                 |           | \$5,370.18                        |              | SERVICE            |
| E 640-47000-381 | Electric Utilities                 |           | \$1,306.03                        |              | SERVICE            |
| E 640-48000-381 | Electric Utilities                 |           | \$3,047.39                        |              | SERVICE            |
| E 620-40000-381 | Electric Utilities                 |           | \$1,568.02                        |              | SERVICE            |
| E 101-41940-381 | Electric Utilities                 |           | \$17.92                           |              | SERVICE            |
| <b>Total</b>    | <b>XCEL ENERGY</b>                 |           | <b>\$21,381.23</b>                |              |                    |
| <b>10100</b>    | <b>Anchor Bank</b>                 |           | <b>\$61,699.07</b>                |              |                    |

**Fund Summary**

|              |                    |                    |
|--------------|--------------------|--------------------|
| <b>10100</b> | <b>Anchor Bank</b> |                    |
| 101          | GENERAL FUND       | \$36,455.94        |
| 610          | WATER FUND         | \$5,874.82         |
| 620          | SEWER FUND         | \$2,497.83         |
| 630          | MOTOR VEHICLE      | \$2,382.47         |
| 640          | LIQUOR             | \$14,488.01        |
|              |                    | <b>\$61,699.07</b> |





## City of Wayzata City Council Agenda Report

|                                                                       |                        |
|-----------------------------------------------------------------------|------------------------|
| <b>MEETING DATE:</b> January 16, 2018                                 | <b>AGENDA ITEM:</b> 7c |
| <b>TITLE:</b> Approval of Municipal Licenses                          |                        |
| <b>PROPOSED MOTION:</b> To approve the Municipal Licenses as attached |                        |
| <b>PREPARED BY:</b> Lori Krismer, Office Assistant                    |                        |
| <b>REVIEWED BY:</b> Becky Malone, City Clerk                          |                        |

**ACTION REQUESTED:**

Staff recommends approval of the Municipal Licenses.

**FINANCIAL OR BUDGET CONSIDERATION:**

N/A

**BACKGROUND:**

N/A

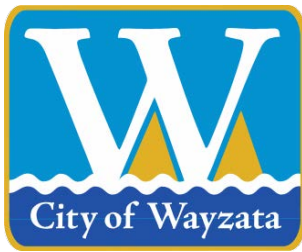
**ATTACHMENTS:**

1. List of Municipal Licenses Which Received Administrative Approval (informational only)

01/16/2018

**THE FOLLOWING MUNICIPAL LICENSES  
WERE APPROVED ADMINISTRATIVELY**

| <b>2018 Tree Removal and Treatment License</b>                                   |                   |
|----------------------------------------------------------------------------------|-------------------|
| Aaspen Tree Service, LLC                                                         | Wayzata, MN       |
| Bartlett Tree Expert Company                                                     | Minnetonka, MN    |
| North Star Tree Care, Inc                                                        | Pierz, MN         |
| Ryan's Tree Care, LLC                                                            | Wayzata, MN       |
| <b>2018 Gas Fitter's License</b>                                                 |                   |
| Associated Mechanical Contractors, Inc.                                          | Shakopee, MN      |
| B&D Plumbing, Heating & A/C                                                      | St. Michael, MN   |
| Centerpoint Energy Minnesota Gas                                                 | Golden Valley, MN |
| Egan Company                                                                     | Brooklyn Park, MN |
| Heating & Cooling Two, Inc.                                                      | Maple Grove, MN   |
| Metro Air                                                                        | Prior Lake, MN    |
| Practical Systems                                                                | Hopkins, MN       |
| Ron's Mechanical                                                                 | Shakopee, MN      |
| <b>2018 Itinerant Food License for the Wayzata Chilly Open on 2/9/18-2/10/18</b> |                   |
| Greater Wayzata Area Chamber of Commerce                                         | Wayzata, MN       |



## City of Wayzata City Council Agenda Report

|                                                                       |                        |
|-----------------------------------------------------------------------|------------------------|
| <b>MEETING DATE:</b> January 16, 2018                                 | <b>AGENDA ITEM:</b> 7d |
| <b>TITLE:</b> Police Activity Report                                  |                        |
| <b>PROPOSED MOTION:</b> N/A                                           |                        |
| <b>PREPARED BY:</b> Heather McKown, Administrative Records Specialist |                        |
| <b>REVIEWED BY:</b> Jeffrey Dahl, City Manager                        |                        |

**ACTION REQUESTED:**

The attached December 2017 Police Activity Report is for informational purposes only.

**FINANCIAL OR BUDGET CONSIDERATION:**

N/A

**BACKGROUND:**

N/A

**ATTACHMENTS:**

1. December 2017 Police Activity Report

**WAYZATA POLICE DEPARTMENT  
ACTIVITY REPORT – DECEMBER, 2017**

---

**DWI** **Reported: 12-31-2017 2321**  
46 year old male from Plymouth arrested for 3rd degree DWI. Refused to test.  
**Addresses Involved**  
1900 block of Wayzata Blvd W, Long Lake, MN 55356  
**Names Involved**  
(Arrested) Raddatz, John James (Age:46)

---

**Counterfeit** **Reported: 12-31-2017 2057**  
Report of an attempt to pass counterfeit currency for purchases. No loss reported.  
**Addresses Involved**  
1000 block of Wayzata Blvd E, Wayzata, MN 55391

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**Domestic** **Reported: 12-31-2017 2023**  
Report of a verbal domestic. Parties separated for the night.  
**Addresses Involved**  
300 block of Lakeview Ave , Long Lake, MN 55356

---

**Counterfeit** **Reported: 12-30-2017 1557**  
Report of counterfeit currency used for purchases. This case is under investigation.  
**Addresses Involved**  
1000 block of Wayzata Blvd E, Wayzata, MN 55391

---

**Theft** **Reported: 12-28-2017 1155**  
Report of a theft of jewelry. This case is under investigation.  
**Addresses Involved**  
800 block of Lake St E, Wayzata, MN 55391

---

**Domestic Assault** **Reported: 12-28-2017 0522**  
Report of a physical domestic. Charges pending.  
**Addresses Involved**  
100 block of Walker Ave N, Wayzata, MN 55391

---

**DWI** **Reported: 12-27-2017 2149**  
29 year old male from Eagan arrested for driving under the influence of alcohol. Tested .17  
**Addresses Involved**  
Hwy 12 & Carlson Pkwy, Minnetonka, MN 55305  
**Names Involved**  
(Arrested) Valerius, Brian Lee (Age:29)

---

**Domestic Assault** **Reported: 12-27-2017 2035**  
34 year old male from Wayzata arrested for domestic assault.  
**Addresses Involved**  
100 block of Broadway Ave N , Wayzata, MN 55391  
**Names Involved**  
(Arrested) Painter, Keith Thomas (Age:35)

---

**Damage to Property - Criminal** **Reported: 12-26-2017 0837**  
Report of damage to property. Unknown loss at this time.  
**Addresses Involved**  
100 block of Central Ave N, Wayzata, MN 55391

---

**Animal** **Reported: 12-25-2017 0937**  
Dog located running at large. Dog was impounded and later released to the owner.  
**Addresses Involved**  
Wayzata Blvd W & Martha Lane, Long Lake, MN 55356

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**Animal** **Reported: 12-24-2017 1321**  
Barking dog complaint. Dog owner was advised.  
**Addresses Involved**  
2000 block of Orchard Lane, Long Lake, MN 55356

---

**DWI** **Reported: 12-24-2017 0145**  
27 year old female from Mound arrested for driving while under the influence of alcohol. Tested .14  
**Addresses Involved**  
Co Rd 15 W & Hillside Dr W, Wayzata, MN 55391  
**Names Involved**  
(Arrested) Wallis, Kayla Marie (Age:27)

---

**Crime Against Government** **Reported: 12-22-2017 1330**  
Report of an alleged Non-Citizen Voter Registration Violation. This case is under investigation.  
**Addresses Involved**  
600 block of Rice St E, Wayzata, MN 55391

---

**Fraud** **Reported: 12-22-2017 1244**  
Report of an attempted scam. No loss occurred at this time.  
**Addresses Involved**  
400 block of Lake St E, Wayzata, MN 55391

---

**Domestic Assault** **Reported: 12-20-2017 2325**  
Report of a physical domestic. Charges pending.  
**Addresses Involved**  
1400 block of Wayzata Blvd E, Wayzata, MN 55391

---

**Open Door** **Reported: 12-20-2017 2135**  
Officer located an open gate. Checked the area and secured the gate.  
**Addresses Involved**  
2400 block of Industrial Blvd W, Long Lake, MN 55356

---

**Disturbance** **Reported: 12-20-2017 1558**  
Report of a customer acting strange. Business did not wish to have officers take any action.  
**Addresses Involved**  
1800 block of Wayzata Blvd W, Long Lake, MN 55356

---

**Fraud** **Reported: 12-20-2017 1432**  
Report of a fraudulent charge. No loss reported at this time. Information only.  
**Addresses Involved**  
2400 block of Wayzata Blvd W, Long Lake, MN 55356

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**Theft** **Reported: 12-20-2017 0020**  
Report of gas drive off. Loss \$69.70  
**Addresses Involved**  
2400 block of Industrial Blvd W, Long Lake, MN 55356

---

**Damage to Property** **Reported: 12-18-2017 2225**  
Report of damage to a vehicle. No loss reported at this time.  
**Addresses Involved**  
100 block of Brown Rd N, Long Lake, MN 55391

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**Domestic Assault** **Reported: 12-18-2017 1128**  
Report of a domestic assault. Charges pending.  
**Addresses Involved**  
100 block of Broadway Ave N, Wayzata, MN 55391

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**Burglary-Commercial****Reported:** 12-17-2017 1526

Report of multiple storage units that were burglarized. Unknown loss at this time.

**Addresses Involved**2300 block of Daniels St, Long Lake, MN 55356

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**Warrant****Reported:** 12-17-2017 0237

22 year old female from Richfield arrested on an outstanding warrant. Driver cited for driving without a valid license.

**Addresses Involved**

I 394 &amp; I 494, Wayzata, MN 55391

**Names Involved**(Arrested) Correa, Jessica Solis (Age:22)

---

**Disturbance****Reported:** 12-17-2017 0006

Report of a noise disturbance. Resident was advised.

**Addresses Involved**1800 block of Watertown Rd, Long Lake, MN 55356

---

**DWI****Reported:** 12-16-2017 1632

58 year old female from Wayzata arrested for driving under the influence of alcohol. Tested .25

**Addresses Involved**

Broadway Ave S &amp; Lake St E, Wayzata, MN 55391

**Names Involved**(Arrested) Smith, Patty Diane (Age:58)

---

**DWI****Reported:** 12-15-2017 2339

28 year old male from St Bonifacius arrested for driving under the influence of alcohol. Refused to test.

**Addresses Involved**

Hwy 12 &amp; Wayzata Blvd W, Wayzata, MN 55391

**Names Involved**(Arrested) Giffin, Blake Edward (Age:28)

---

**Disturbance****Reported:** 12-15-2017 1629

Report of a possible fight in the hallway. Officer was advised it was a person yelling on their phone.

**Addresses Involved**100 block of Grand Ave S, Wayzata, MN 55391

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**Theft****Reported:** 12-13-2017 0900

Report of an attempted identity theft. No loss at this time.

**Addresses Involved**300 block of Wolf Pointe Trail, Long Lake, MN 55356

---

**Suspicious****Reported:** 12-11-2017 0100

Report of someone entering a storage trailer. No loss reported.

**Addresses Involved**2200 block of Daniels St, Long Lake, MN 55356

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**Recovered****Reported:** 12-11-2017 2024

Recovered stolen vehicle. Vehicle was released to owner.

**Addresses Involved**1300 block of Wayzata Blvd E, Wayzata, MN 55391

---

**Burglary-Commercial****Reported:** 12-09-2017 1038

Report of a burglary. No loss reported at this time. This case is under investigation.

**Addresses Involved**2300 block of Daniels St, Long Lake, MN 55356

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**Burglary-Commercial****Reported:** 12-07-2017 1839

Report of a burglary. No loss reported at this time. This case is under investigation.

**Addresses Involved**2300 block Daniels St, Long Lake, MN 55356

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**Controlled Substance** **Reported: 12-07-2017 1256**

Report of a forged prescription. This case is under investigation.

**Addresses Involved**

1000 block of Wayzata Blvd E, Wayzata, MN 55391  
-----

**Burglary-Residential** **Reported: 12-06-2017 1927**

Report of a residential burglary. Charges pending.

**Addresses Involved**

800 block of Rice St E, Wayzata, MN 55391  
-----

**Domestic Assault** **Reported: 12-06-2017 1221**

Report of a domestic assault. Charges pending.

**Addresses Involved**

100 block of Grand Ave S, Wayzata, MN 55391  
-----

**Theft from Vehicle** **Reported: 12-04-2017 0908**

Theft of clothes from vehicle. Unknown loss at this time.

**Addresses Involved**

300 block of Broadway Ave S, Wayzata, MN 55391  
-----

**Theft from Vehicle** **Reported: 12-04-2017 0637**

Theft of power tools. Loss approximately \$1,000.

**Addresses Involved**

900 block of Wayzata Blvd E, Wayzata, MN 55391  
-----

**Fraud** **Reported: 12-04-2017 1409**

Report of an IRS Scam. Unknown loss at this time.

**Addresses Involved**

1100 block of Wayzata Blvd E, Wayzata, MN 55391  
-----

**Disorderly Conduct** **Reported: 12-03-2017 1123**

Report of disorderly conduct by another driver. This case is under investigation.

**Addresses Involved**

Ferndale Rd S & Lake St E, Wayzata, MN 55391  
-----

**Disturbance** **Reported: 12-02-2017 0414**

Report of yelling coming from a neighboring apartment. Residents advised.

**Addresses Involved**

400 block of Wayzata Blvd E, Wayzata, MN 55391  
-----

**Fraud** **Reported: 12-01-2017 1333**

Report of a possible scam on Craigslist. No loss at this time.

**Addresses Involved**

1200 block of Wayzata Boulevard E, Wayzata, MN 55391 USA  
-----

**Terroristic Threats** **Reported: 12-01-2017 1448**

Report of a terroristic threat. This case is under investigation.

**Addresses Involved**

1400 block of Wayzata Blvd E, Wayzata, MN 55391  
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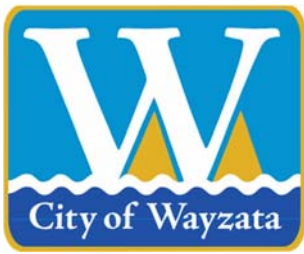
**TRAFFIC – DECEMBER, 2017**

|                  |    |
|------------------|----|
| CITATIONS        | 61 |
| WRITTEN WARNINGS | 7  |
| VERBAL WARNINGS  | 84 |

| Description                             | Dec 2017 |
|-----------------------------------------|----------|
| MISSING PERSON                          | 2        |
| MISSING ANIMAL                          | 2        |
| MISSING/LOST PROPERTY                   | 2        |
| FOUND ANIMAL                            | 2        |
| FOUND PROPERTY                          | 4        |
| ABANDONED VEHICLE                       | 4        |
| RECOVERED STOLEN PROPERTY               | 2        |
| SAFEKEEPING & DISPOSAL                  | 3        |
| PIMV                                    | 4        |
| PDMV                                    | 25       |
| H & R PDMV                              | 4        |
| PDMV & DEER                             | 1        |
| Other Fire/Smoke                        | 3        |
| FIRE ALARM                              | 12       |
| GAS LEAK/SMELL                          | 1        |
| HAZ ROAD CONDITION                      | 7        |
| OTHER MEDICAL                           | 36       |
| 72 Hour Hold/Emergency Admission        | 7        |
| WELFARE CHECK - ADULT                   | 12       |
| WELFARE CHECK - JUV                     | 5        |
| MENTAL HEALTH ISSUE                     | 1        |
| INFO REC'D                              | 15       |
| VERBAL DOMESTIC                         | 2        |
| CIVIL MATTER                            | 7        |
| DISTURBANCE/FIGHT/LOUD PARTY/HARASSMENT | 11       |
| RECEIVE COURT ORDER/OF                  | 2        |
| SUSPICION                               | 13       |
| OPEN DOOR/WINDOW                        | 2        |
| SCAM/FRAUD ATTEMPT                      | 2        |
| SHOTS FIRED                             | 1        |
| MISC. JUVENILE PROBLEM                  | 1        |
| DRIVING/TRAFFIC COMPLAINT               | 29       |
| PARKING COMPL                           | 3        |
| HOUSE/BUSINESS CHECKS                   | 35       |
| RECORD CHECKS                           | 12       |
| OTHER PERMITS                           | 2        |
| FIREARM PERMIT                          | 4        |
| HC SHERIFFS PERMIT TO CARRY             | 4        |
| LIQUOR LICENSE CHECKS/PERMIT            | 7        |
| PARKING PERMIT                          | 1        |
| ANIMAL COMPLAINT/CHECK                  | 7        |
| ANIMAL IMPOUND                          | 1        |
| DOG LICENSE ISSUED                      | 14       |
| KENNEL APP/LICENSE                      | 1        |
| POLICE ESCORT/STAND-BY                  | 2        |
| ADULT PROTECTION ASSIST                 | 3        |
| ASSIST CHILD PROTECTION                 | 5        |
| MOTORIST ASSIST/STALL                   | 19       |
| UTILITY PROBLEM                         | 3        |



|                                                |    |
|------------------------------------------------|----|
| PUBLIC ASSIST                                  | 14 |
| LOCKOUT                                        | 12 |
| BUSINESS ALARM                                 | 24 |
| HOME ALARM                                     | 17 |
| 911 HANG-UP                                    | 6  |
| ASSIST OTHER DEPT                              | 21 |
| WARRANT/ATTEMPT/ARREST                         | 1  |
| TRAFFIC CONTROL / DIRECT ENFORCEMENT           | 4  |
| DEPARTMENT DELIVERIES                          | 2  |
| ADMINISTRATIVE DUTIES                          | 1  |
| CASE FOLLOW UP                                 | 3  |
| ASLT-UNK DEGREE-UNK ACT-NO WEAPON-ADLT-FAM     | 1  |
| TERR THREATS-INFLT BH-EXPLOS INCEND-ADLT-STR   | 1  |
| DOM ASLT-GM-HANDS FIST FEET-AD-FAM             | 1  |
| DOM ASLT-MS-INFLT BODILY HARM-OTH WEAP-AD-FAM  | 1  |
| DOM ASLT-MS-INFLT BODILY HARM-HANDS-AD-FAM     | 1  |
| ASLT-DOMESTIC-MS-INFLT BODLY HRM-HNDS-ADLT-AC  | 5  |
| BURG 1-OCC RES FRC-D-UNK WEAP-INT COM OTH PERS | 1  |
| BURG 2-UNOCC NRES FRC-N-UNK WEAP-COM THEFT     | 3  |
| CNTRFT-GM-UTT POSS-PLC-US CURRNCY SCURTY-BUS   | 2  |
| DRUGS-UNK CAT-FG PRSCR-SYNTH-UNK CHAR          | 1  |
| DRUGS-SMALL AMOUNT MARIJUANA-POSSESSION        | 1  |
| DRUGS-SM AMT IN MOT VEH-POSS-MARIJ-UNK         | 1  |
| CON SUB 5-POSSESS-BARBIT-NOT APPLICABLE        | 1  |
| CON SUB 5-FG PRSCR-OPIUM-UNK                   | 1  |
| TRAFFIC-MS-RECKLESS DRIVING                    | 1  |
| TRAF-AC-FE-1ST DEG DWI-UI ALCOHOL-MV           | 1  |
| TRAF-AC-GM-2ND DEG DWI-10 OR MORE WIN 2 HRS-MV | 1  |
| TRAF-AC-GM-3RD DEG DWI-UI ALCOHOL-MV           | 1  |
| TRAF-AC-GM-3RD DEG DWI-REFUSAL TO TEST-MV      | 1  |
| TRAF-ACC-M-4TH DEG DWI-UI ALCOHOL-MV           | 1  |
| JUVENILE-CURFEW                                | 1  |
| DISTURB PEACE-UNK LVL-DISORDERLY CONDUCT       | 2  |
| PROP DAMAGE-UNK LVL-PRIVATE-UNK INTENT         | 2  |
| THEFT-UNK LVL VAL-FRM BUILDING-OTH PROP        | 1  |
| THEFT-UNK LVL VAL-FRM MOTOR VEHICLE-OTH PROP   | 1  |
| THEFT-1001-5000 DLRS FE-BLDG-OTHER PROPERTY    | 1  |
| THEFT-501-1000 DLRS GM-VEHICLE-OTHER           | 1  |
| THEFT-500 OR LESS MS-SELF SERVE GAS-GAS ONLY   | 1  |
| FRAUD-UNK-FIN-TRANS-CARD-USE-FRGD-UNK-LOSS     | 1  |
| THEFT-UNK LVL-IDENTITY THEFT-UNK LOSS          | 1  |
| THEFT-FE-SWINDLE-OR-TRICK-UNK LOSS             | 1  |
| WEAPONS-MS-POINTS-FIREARM-NO CHAR              | 1  |
| CRIM AGNST GOVN-UNK LVL-VIOL OF ELECTION LAWS  | 1  |



## City of Wayzata City Council Agenda Report

|                                                      |                        |
|------------------------------------------------------|------------------------|
| <b>MEETING DATE:</b> January 16, 2018                | <b>AGENDA ITEM:</b> 7e |
| <b>TITLE:</b> Building Activity Report               |                        |
| <b>PROPOSED MOTION:</b> N/A                          |                        |
| <b>PREPARED BY:</b> Jason Wagner, Building Inspector |                        |
| <b>REVIEWED BY:</b> Jeffrey Dahl, City Manager       |                        |

**ACTION REQUESTED:**

The attached December 2017 Building Activity Report is for informational purposes only.

**FINANCIAL OR BUDGET CONSIDERATION:**

N/A

**BACKGROUND:**

N/A

**ATTACHMENTS:**

1. December Building Activity Report

| YTD-2016 | Jul-17 | Aug-17 | Sep-17 | Oct-17 | Nov-17 | Dec-17 | YTD-2017 |
|----------|--------|--------|--------|--------|--------|--------|----------|
|----------|--------|--------|--------|--------|--------|--------|----------|

## BUILDING CONSTRUCTION

|                         |                 |                |                |                |                |                |                 |                  |
|-------------------------|-----------------|----------------|----------------|----------------|----------------|----------------|-----------------|------------------|
| NUMBER OF BLDG. PERMITS | 192             | 20             | 21             | 17             | 20             | 18             | 15              | 215              |
| PROJECT VALUE           | \$75,533,798.11 | \$1,719,188.00 | \$2,640,434.00 | \$3,056,050.00 | \$2,674,553.00 | \$5,364,745.00 | \$ 3,573,100.00 | \$ 28,875,736.83 |
| BUILDING PERMIT FEE     | \$395,100.25    | \$14,884.90    | \$21,323.50    | \$19,669.25    | \$20,682.25    | \$35,271.96    | \$ 24,275.25    | \$ 222,413.86    |
| PLAN CHECK FEE          | \$235,706.39    | \$8,347.12     | \$7,268.04     | \$11,432.77    | \$11,621.97    | \$21,661.24    | \$ 15,029.80    | \$ 115,265.50    |

## EXTERIOR REPAIR

|                   |                |             |              |              |              |             |               |                 |
|-------------------|----------------|-------------|--------------|--------------|--------------|-------------|---------------|-----------------|
| NUMBER OF PERMITS | 110            | 6           | 10           | 7            | 8            | 4           | 2             | 97              |
| PROJECT VALUE     | \$2,835,501.49 | \$48,105.00 | \$230,718.54 | \$149,047.47 | \$124,845.00 | \$81,970.64 | \$ 142,739.00 | \$ 1,679,115.13 |
| PERMIT FEE        | \$42,251.50    | \$ 1,017.75 | \$3,285.50   | \$ 2,193.75  | \$ 2,187.25  | \$1,305.25  | \$ 1,686.00   | \$ 27,009.48    |

## MECHANICAL

|                   |                |           |           |            |            |            |               |                 |
|-------------------|----------------|-----------|-----------|------------|------------|------------|---------------|-----------------|
| NUMBER OF PERMITS | 183            | 14        | 11        | 14         | 18         | 18         | 18            | 180             |
| PROJECT VALUE     | \$4,370,422.74 | 56,521.12 | 98,463.00 | 314,383.00 | 104,203.00 | 177,384.50 | \$ 656,203.00 | \$ 2,795,262.62 |
| PERMIT FEE        | \$74,964.87    | 1,211.69  | 1,977.25  | 5,666.96   | 2,084.06   | 3,366.71   | \$ 10,644.06  | \$ 49,682.00    |

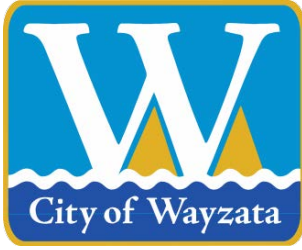
## PLUMBING

|                   |                |              |              |              |              |             |               |                 |
|-------------------|----------------|--------------|--------------|--------------|--------------|-------------|---------------|-----------------|
| NUMBER OF PERMITS | 159            | 11           | 18           | 21           | 24           | 8           | 19            | 193             |
| PROJECT VALUE     | \$2,880,924.19 | \$129,210.00 | \$149,945.55 | \$123,955.00 | \$196,061.00 | \$87,550.00 | \$ 118,499.00 | \$ 1,712,520.25 |
| PERMIT FEE        | \$50,633.18    | \$2,636.11   | \$2,966.83   | \$2,572.40   | \$3,983.40   | \$1,775.00  | \$ 2,454.98   | \$ 33,715.08    |

|                    |              |             |             |             |             |             |             |              |
|--------------------|--------------|-------------|-------------|-------------|-------------|-------------|-------------|--------------|
| TOTAL # OF PERMITS | 644          | 51          | 60          | 59          | 70          | 48          | 54          | 685          |
| TOTAL INCOME       | \$798,656.19 | \$28,097.57 | \$53,172.85 | \$41,535.13 | \$40,558.93 | \$63,380.16 | \$54,090.09 | \$464,437.65 |

## NUMBER OF INSPECTIONS

|                        |      |     |     |     |     |     |     |      |
|------------------------|------|-----|-----|-----|-----|-----|-----|------|
| BUILDING               | 776  | 55  | 62  | 50  | 47  | 52  | 58  | 699  |
| EXTERIOR               | 180  | 16  | 4   | 14  | 2   | 11  | 4   | 118  |
| HVAC                   | 380  | 18  | 18  | 22  | 35  | 17  | 20  | 382  |
| PLUMBING               | 332  | 20  | 17  | 21  | 29  | 22  | 22  | 328  |
| OTHER                  | 3    |     |     |     |     |     |     |      |
| TOTAL # OF INSPECTIONS | 1671 | 109 | 101 | 107 | 113 | 102 | 104 | 1527 |



## City of Wayzata City Council Agenda Report

|                                                                                                     |                        |
|-----------------------------------------------------------------------------------------------------|------------------------|
| <b>MEETING DATE:</b> January 16, 2018                                                               | <b>AGENDA ITEM:</b> 7f |
| <b>TITLE:</b> Mediacom Quarterly Customer Service Report                                            |                        |
| <b>PROPOSED MOTION:</b> To Accept the 4 <sup>th</sup> Quarter Customer Service Report from Mediacom |                        |
| <b>PREPARED BY:</b> Kristin Classey, Communications Specialist                                      |                        |
| <b>REVIEWED BY:</b> Jeffrey Dahl, City Manager                                                      |                        |

**ACTION REQUESTED:**

Review and accept the newly revised Customer Service Report from Mediacom for 4<sup>th</sup> quarter 2017.

**FINANCIAL OR BUDGET CONSIDERATION:**

Cable franchise fees are expected to generate approximately \$67,000 in revenues to the Cable TV Fund. This amount is up slightly from 2016. The revenue generated is used to pay for A/V equipment at City Hall and personnel costs of our Communications Specialist and Cable TV Consultants.

**BACKGROUND:**

The Franchise Agreement between the City and Mediacom allows for requests by the City for quarterly customer service reports. Staff has reviewed the latest report, believes that it is satisfactory, and meets the requirements for the franchise agreement customer service report. In addition, staff has reviewed complaints received from the form on the City's website and one resident complaint of a technical issue for internet outages was received three times (10/30/17, 11/6/17, 11/15/17) in the 4<sup>th</sup> quarter.

**ATTACHMENTS:**

1. Mediacom complaints from Wayzata Website spreadsheet
2. 4<sup>th</sup> Quarter Customer Service Report from Mediacom

| Submission Date  | What is your requested resolution? (if any)                                                                                                                                                                                                                                                                                                      | Service Address | What is the general nature of your complaint?                                         | When was the first time you contacted Mediacom about the issue? | Please provide specific details regarding your concern:                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
|------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------|---------------------------------------------------------------------------------------|-----------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 10/30/2017 9:52  | A new line to our house has been the diagnosis. We were told on 10/4 that a new line would be dropped on 10/25. Now, Mediacom told us that it will be dropped in 40 days. This is completely unacceptable, and we are very disappointed in the level of customer service. My husband is a radiologist and needs dependable internet for his job. | 715 Rice st.    | Technical Problem, Customer Service, Technical Quality/Outages                        | 1-Jun-17                                                        | We have had continual, daily outages of internet. This has occurred from June through today, 10/31/17. A ticket for us was finally opened in August. After a VERY LONG diagnosis period, it was determined that we need a new line to our house. There are notes on our account to document everything.                                                                                                                                                                                                                                                                                                                                                                                                              |
| 11/6/2017 17:07  | A new line to our house is required.                                                                                                                                                                                                                                                                                                             | 715 Rice St.    | Service Response Time, Technical Quality/Outages                                      | Jun-17                                                          | This is the 2nd form that i've submitted. Someone from Mediacom came to the house on 11/3 to lay a new line, but he didn't exactly understand his assignment. He left, and we still have frequent internet outages. This has been going on for far too long! There is a long history of complaints about this issue.                                                                                                                                                                                                                                                                                                                                                                                                 |
| 11/15/2017 20:44 | FIX THE LONGSTANDING ISSUES                                                                                                                                                                                                                                                                                                                      | 715 Rice St.    | Technical Problem, Customer Service, Service Response Time, Technical Quality/Outages | Jun-17                                                          | This is the third time I've submitted a written complaint. Erik, the regional supervisor was attentive last week, and he told me to call him with any additional issues, if I should have any. I called him on Saturday, after an overnight outage, and we continue to have daily internet outages since then. He has been unresponsive to my calls. His VM box is now full and I can't leave my 4th (or 5th) message to him. We have been told that it must be a maintenance issue, or a tap problem... Surely, someone must be able to resolve this issue. It's been 5 months of this. Not only does this need to get resolved asap, but we should be given a refund for 5 months of constant interrupted service. |



**Theresa Sunde**  
*Senior Manager, Government Relations*

VIA Email- [communications@wayzata.org](mailto:communications@wayzata.org)

January 8, 2018

Mr. Jeffrey Dahl  
City Manager  
City of Wayzata  
600 Rice Street  
Wayzata, MN 55391-1734

**RE: Mediacom Quarterly Customer Service Report; Q4 2017**

Dear Mr. Dahl:

As requested by your December 4, 2017 letter and in accordance with 7.4(c) of the Franchise Agreement, Mediacom Minnesota LLC ("Mediacom") hereby submits a quarterly customer service compliance report for Q4 2017. The report, which consists of narrative responses and supporting exhibits, demonstrates compliance with the terms and provisions of Section 5.3 of the Franchise Agreement. In addition, as agreed, responses that typically remain unchanged over time (for example, Mediacom's billing policy) state "no change from Q3 2017 report."

Sincerely,

A handwritten signature in blue ink that reads "Theresa Sunde". The signature is fluid and cursive, with the first name "Theresa" being more prominent than the last name "Sunde".

Theresa Sunde

Enclosures

cc: David Schelzel, City Attorney, City of Wayzata  
Bill Jensen, GVP, Mediacom Lakes Region  
Thomas J. Larsen, SVP, Government and Public Relations, Mediacom  
Bruce Gluckman, Deputy General Counsel, Mediacom  
Jenna Comizio Guarino, Senior Director, Legal Affairs, Mediacom

## **MEDIACOM QUARTERLY CUSTOMER SERVICE REPORT Q4 2017 WAYZATA, MN**

Section 5.3 of the Franchise Agreement requires Mediacom to comply with the following consumer protection standards for Cable Service under Normal Operating Conditions<sup>1</sup>:

**(a) Cable System office hours and telephone availability.**

- (i) Grantee will maintain a local, toll-free or collect call telephone access line which will be available to its Subscribers twenty-four (24) hours a day, seven (7) days a week.

**RESPONSE:** *No change from Q3 2017 Report.*

1. Trained Grantee representatives will be available to respond to customer telephone inquiries during Normal Business Hours.

**RESPONSE:** *No change from Q3 2017 Report.*

2. After Normal Business Hours, the access line may be answered by a service or an automated response system, including an answering machine. Inquiries received after Normal Business Hours must be responded to by a trained Grantee representative on the next business day.

**RESPONSE:** *No change from Q3 2017 Report.*

- (ii) Under Normal Operating Conditions, telephone answer time by a customer representative, including wait time, shall not exceed thirty (30) seconds when the connection is made. If the call needs to be transferred, transfer time shall not exceed thirty (30) seconds. These standards shall be met no less than ninety percent (90%) of the time under Normal Operating Conditions, measured on a quarterly basis.

**RESPONSE:** *Under Normal Operating Conditions, no less than 90% of the time, Mediacom meets these standards. The chart attached in **Exhibit A** demonstrates compliance with this obligation. In Q4, 99.7% of telephone calls were answered in 30 seconds or less; if a call needed to be transferred, the average wait time was 16.5 seconds.*

- (iii) Grantee shall not be required to acquire equipment or perform surveys to measure compliance with the telephone answering standards above unless an historical record of complaints indicates a clear failure to comply.

**RESPONSE:** *Mediacom has no historical record of complaints indicating a clear failure to comply with the telephone answering standards listed in (ii) above.*

- (iv) Under Normal Operating Conditions, the customer will receive a busy signal less than three percent (3%) of the time.

**RESPONSE:** *Under Normal Operating Conditions, when calling Mediacom customers receive a busy signal less than three percent (3%) of the time. The chart attached in **Exhibit B** shows that in Q4 customers in Wayzata received a busy signal 0.29% of the time.*

- (v) Customer service center and bill payment locations will be open at least during Normal Business Hours and will be conveniently located.

**RESPONSE:** *No change from Q3 2017 Report.*

<sup>1</sup> Normal Operating Conditions is defined in the Franchise Agreement as "...those service conditions which are within the control of the Grantee. Those conditions which are not within the control of the Grantee include, but are not limited to, natural disasters, civil disturbances, power outages, telephone network outages, and severe or unusual weather conditions. Those conditions which are ordinarily within the control of the Grantee include, but are not limited to, special promotions, pay-per-view events, rate increases, regular peak or seasonal demand periods, and maintenance or upgrade of the System."

**(b) Installations, Outages and Service Calls.**

Under Normal Operating Conditions, each of the following standards will be met no less than ninety-five percent (95%) of the time measured on a quarterly basis:

(i) Standard Installations will be performed within seven (7) business days after an order has been placed. "Standard" Installations are those that are located up to one hundred twenty-five (125) feet from the existing distribution system.

**RESPONSE:** Under Normal Operating Conditions, no less than 95% of the time measured on a quarterly basis, Mediacom performs standard installations within 7 business days after an order has been placed. In some cases, customers specifically request a date that is more than 7 business days after the date the order is placed. For the purposes of this report, we believe this requirement addresses only those appointments where Mediacom chooses the installation date. In **Q4**, Mediacom performed all standard installations within 7 business days after an order has been placed, **100%** of the time. The chart attached in **Exhibit C** demonstrates compliance with this subsection; this information is derived from our order and billing system, CSG. As shown in the chart, of the **45** installation orders placed during **Q4**, **all 45** were completed within 7 business days or less.

(ii) Excluding conditions beyond the control of Grantee, Grantee will begin working on "Service Interruptions" promptly and in no event later than twenty-four (24) hours after the interruption becomes known. Grantee must begin actions to correct other Service problems the next business day after notification of the Service problem.

**RESPONSE:** Under Normal Operating Conditions, no less than 95% of the time measured on a quarterly basis, Mediacom begins working on Service Interruptions no later than 24 hours after the interruption is known to Mediacom. In **Q4**, there were two (2) service interruptions affecting Wayzata. Mediacom responded and began working on all service interruptions within 24 hours after the interruption was known to Mediacom in both cases. The chart attached in **Exhibit D** demonstrates compliance with this subsection. As shown in the chart, response time (the period of time from when the interruption is known to Mediacom and when a technician is on site) was no longer than fifty-one minutes (0h:51m).

(iii) The "appointment window" alternatives for Installations, Service calls, and other Installation activities will be either a specific time or, at maximum, a four (4) hour time block during Normal Business Hours. (Grantee may schedule Service calls and other Installation activities outside of Normal Business Hours for the express convenience of the customer.)

**RESPONSE:** No change from Q3 2017 Report. See **Exhibit E** for scheduled appointment windows.

(iv) Grantee may not cancel an appointment with a customer after the close of business on the business day prior to the scheduled appointment.

**RESPONSE:** No change from Q3 2017 Report.

(v) If Grantee's representative is running late for an appointment with a customer and will not be able to keep the appointment as scheduled, the customer will be contacted. The appointment will be rescheduled, as necessary, at a time which is convenient for the customer.

**RESPONSE:** No change from Q3 2017 Report.

**(c) Communications between Grantee and Subscribers.**

Grantee shall comply with the provisions of 47 CFR §76.1601-1604 regarding communications with Subscribers in the City:

(i) **Refunds.** Refund checks will be issued promptly, but no later than either:

1. The customer's next billing cycle following resolution of the request or thirty (30) days, whichever is earlier, or
2. The return of the equipment supplied by Grantee if Cable Service is terminated.



**RESPONSE:** No change from Q3 2017 Report.

(ii) **Credits.** Credits for Cable Service will be issued no later than the customer's next billing cycle following the determination that a credit is warranted.

**RESPONSE:** No change from Q3 2017 Report.

**(d) Billing.**

(i) Consistent with 47 C.F.R. 76.1619, bills will be clear, concise and understandable. Bills must be fully itemized, with itemizations including, but not limited to, Basic Cable Service and premium Cable Service charges and equipment charges. Bills will also clearly delineate all activity during the billing period, including optional charges, rebates and credits.

**RESPONSE:** No change from Q3 2017 Report.

(ii) In case of a billing dispute, Grantee must respond to a written complaint from a Subscriber within thirty (30) days.

**RESPONSE:** In Q4 2017, Mediacom did not receive a written complaint regarding a billing dispute from a Wayzata subscriber.

**(e) Subscriber Information.**

Grantee will provide written information on each of the following areas at the time of Installation of Service, at least annually to all Subscribers, and at any time upon request:

- (i) Products and Services offered;
- (ii) Prices and options for programming services and conditions of subscription to programming and other services;
- (iii) Installation and Service maintenance policies;
- (iv) Instructions on how to use the Cable Service;
- (v) Channel positions of programming carried on the System; and
- (vi) Billing and complaint procedures, including the address and telephone number of the City's cable office.

**RESPONSE:** No change from Q3 2017 Report.

Subscribers shall be advised of the procedures for resolution of complaints about the quality of the television signal delivered by Grantee, including the address of the responsible officer of the City. Subscribers will be notified of any changes in rates, programming services or Channel positions as soon as possible in writing. Notice must be given to Subscribers a minimum of thirty (30) days in advance of such changes if the change is within the control of Grantee. In addition, Grantee shall notify Subscribers thirty (30) days in advance of any significant changes in the information required by this Section 5.3(e).

**RESPONSE:** No change from Q3 2017 Report.

**(f) Notice or Rate Programming Change.** In addition to the requirement of this subparagraph (f) regarding advance notification to Subscribers of any changes in rates, programming services or Channel positions, Grantee shall give thirty (30) days written notice to both Subscribers and the City before implementing any rate or Service change consistent with applicable federal law. Such notice shall state the precise amount of any rate change and briefly explain in readily understandable fashion the cause of the rate change (e.g., inflation, change in external costs or the addition/deletion of Channels). When the change involves the addition or deletion of Channels, each Channel added or deleted must be separately identified. For purposes of the carriage of digital broadcast signals, Grantee need only identify for Subscribers, the television signal added and not whether that signal may be multiplexed during certain dayparts.

**RESPONSE:** No change from Q3 2017 Report.

**(g) Subscriber Contracts.** Grantee shall, upon written request, provide the City with any standard form residential Subscriber contract utilized by Grantee. If no such written contract exists, Grantee shall file with the City a document completely and concisely stating the length and terms of the Subscriber contract offered to customers. The length and terms of any standard form Subscriber contract(s) shall be available for public inspection during Normal Business Hours. A list of Grantee's current Subscriber rates and charges for Cable Service shall be maintained on file with City and shall be available for public inspection.

**RESPONSE:** *No change from Q3 2017 Report.*

**(h) Refund Policy.** If a Subscriber's Cable Service is interrupted or discontinued, without cause, for twenty-four (24) or more consecutive hours, Grantee shall, upon request by the Subscriber, credit such Subscriber pro rata for such interruption. For this purpose, every month will be assumed to have thirty (30) days.

**RESPONSE:** *No change from Q3 2017 Report.*

**(i) Late Fees.** Grantee shall comply with all applicable state and federal laws with respect to any assessment, charge, cost, fee or sum, however characterized, that Grantee imposes upon a Subscriber for late payment of a bill. The City reserves the right to enforce Grantee's compliance with all Applicable Laws to the maximum extent legally permissible.

**RESPONSE:** *No change from Q3 2017 Report.*

**(j) Disputes.** All Subscribers and members of the general public may direct complaints, regarding Grantee's Service or performance to the chief administrative officer of the City or the chief administrative officer's designee, which may be a board or Commission of the City.

**RESPONSE:** *No change from Q3 2017 Report.*

**(k) Failure to Resolve Complaints.** Grantee shall resolve a complaint within thirty (30) days. In addition, Grantee shall respond to written complaints from the City in a timely manner, and provide a copy of each response to the City within fifteen (15) days.

**RESPONSE:** *No change from Q3 2017 Report.*

**(l) Notification of Complaint Procedure.** Grantee shall have printed clearly and prominently on each Subscriber bill and in the customer service agreement provided for in Section 5.3(e), the twenty-four (24) hour Grantee phone number for Subscriber complaints. Additionally, Grantee shall provide information to customers concerning the procedures to follow when they are unsatisfied with measures taken by Grantee to remedy their complaint. This information will include the phone number of the City office or Person designated to handle complaints. Additionally, Grantee shall state that complaints should be made to Grantee prior to contacting the City.

**RESPONSE:** *No change from Q3 2017 Report.*

**(m) Grantee Identification.** Grantee shall provide all customer service technicians and all other Grantee employees entering private property with appropriate picture identification so that Grantee employees may be easily identified by the property owners and Subscribers.

**RESPONSE:** *No change from Q3 2017 Report.*

**EXHIBIT A**

**5.3(a)(ii) Telephone Answer Time**

**Q4 2017 Wayzata, MN**

| <b>Month</b>     | <b>Total Calls Answered*</b> | <b>% Busy Signal</b> | <b>% Answered in 30 Seconds</b> | <b>Automated Resolved*</b> | <b>Calls Transferred to Agents Answered*</b> | <b>Avg Wait Time For Calls Trans to Agent (Sec)*</b> | <b>Q Calls Abandoned*</b> | <b>% Abandon*</b> |
|------------------|------------------------------|----------------------|---------------------------------|----------------------------|----------------------------------------------|------------------------------------------------------|---------------------------|-------------------|
| October          | 13,221                       | 0.3%                 | 99.7%                           | 3,945                      | 9,276                                        | 12.8                                                 | 116                       | 2.0               |
| November         | 12,178                       | 0.4%                 | 99.6%                           | 4,045                      | 8,133                                        | 8.1                                                  | 81                        | 1.9               |
| December         | 11,981                       | 0.2%                 | 99.8%                           | 4,016                      | 7,965                                        | 28.5                                                 | 111                       | 2.0               |
| <b>Q4 Totals</b> | <b>37,380</b>                | <b>0.3%</b>          | <b>99.7%</b>                    | <b>12,006</b>              | <b>25,374</b>                                | <b>16.5</b>                                          | <b>308</b>                | <b>2.0%</b>       |

\* These statistics also include Minnesota calling areas that are outside of the Wayzata franchise area.

**Exhibit B**

**5.3(a)(iv) Busy Signal**

**Q4 2017 Wayzata, MN**

| <b>Month</b>                                             | <b>Sum of Completed Calls</b> | <b>Sum of Busy Signal</b> |
|----------------------------------------------------------|-------------------------------|---------------------------|
| <b>October</b>                                           | 2483                          | 7                         |
| <b>November</b>                                          | 2524                          | 9                         |
| <b>December</b>                                          | 2460                          | 6                         |
| <b>Grand Total</b>                                       | <b>7467</b>                   | <b>22</b>                 |
| <b>Percentage of time customer received busy signal:</b> |                               | <b>0.29%</b>              |

**Exhibit C**

**5.3(b)(i) Standard Installations**

**Q4 2017 Wayzata, MN**

| <b>Number of Days<br/>from Order Date</b> | <b>Number of<br/>Installations<br/>Completed</b> | <b>Percentage of Total<br/>Completed<br/>Installations</b> |
|-------------------------------------------|--------------------------------------------------|------------------------------------------------------------|
| 1                                         | 11                                               | 24%                                                        |
| 2                                         | 16                                               | 36%                                                        |
| 3                                         | 2                                                | 4%                                                         |
| 4                                         | 5                                                | 11%                                                        |
| 5                                         | 6                                                | 13%                                                        |
| 6                                         | 4                                                | 9%                                                         |
| 7                                         | 1                                                | 2%                                                         |
| <b>Grand Total</b>                        | <b>45</b>                                        | <b>100%</b>                                                |

**Exhibit D**

**5.3 (b)(ii) Service Interruptions**

**Q4 2017 Wayzata, MN**

| <b>Start Date</b> | <b>Tech Contacted</b> | <b>Tech On Site</b> | <b>Response Time (H:M)</b> | <b>End Date</b>  | <b>Duration (H:M)</b> | <b>Primary Resolution Code</b> | <b>Type</b>           |
|-------------------|-----------------------|---------------------|----------------------------|------------------|-----------------------|--------------------------------|-----------------------|
| 11/1/17 7:09 PM   | 11/1/17 7:09 PM       | 11/1/17 8:00 PM     | 0:51                       | 11/1/17 8:56 PM  | 1:47                  | Plant Coaxial Connector        | All Services - Outage |
| 11/28/17 2:53 PM  | 11/28/17 2:53 PM      | 11/28/17 3:20 PM    | 0:27                       | 11/28/17 4:55 PM | 2:02                  | Plant Power Supply             | All Services - Outage |

**Exhibit E**

**5.3(b)(iii) Appointment Windows**

| <b>WZ/MA</b> | <b>QC/SC</b>       | <b>Time Slot</b> |
|--------------|--------------------|------------------|
| 76MOUND      | 21 - POSITIVE WORK | 8:30-9:00        |
| 76MOUND      | 21 - POSITIVE WORK | 8:00-12:00       |
| 76MOUND      | 21 - POSITIVE WORK | 1:00-1:30        |
| 76MOUND      | 21 - POSITIVE WORK | 1:00-5:00        |
| 76MOUND      | 21 - POSITIVE WORK | 5:30-6:00        |
| 76MOUND      | 21 - POSITIVE WORK | 5:00-7:00        |
| 76MOUND      | 23 - TROUBLE CALL  | 8:00-8:30        |
| 76MOUND      | 23 - TROUBLE CALL  | 8:00-12:00       |
| 76MOUND      | 23 - TROUBLE CALL  | 1:00-5:00        |
| 76MOUND      | 23 - TROUBLE CALL  | 6:00-6:30        |
| 76MOUND      | 23 - TROUBLE CALL  | 5:00-7:00        |

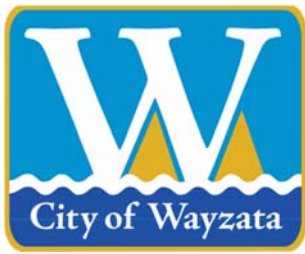
**Exhibit F**

**5.3(d)(ii) Billing Dispute Complaints**

**Q4 2017 Wayzata, MN**

**NONE**





## City of Wayzata City Council Agenda Report

|                                                                                                                                                                                                        |                        |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------|
| <b>MEETING DATE:</b> January 16, 2018                                                                                                                                                                  | <b>AGENDA ITEM:</b> 7g |
| <b>TITLE:</b> Intergovernmental Cooperative Agreement with the City of Bloomington                                                                                                                     |                        |
| <b>PROPOSED MOTION:</b> To Approve the Intergovernmental Cooperative Agreement Regarding Public Safety with the City of Bloomington, Minnesota related to the 2018 National Football League Super Bowl |                        |
| <b>PREPARED BY:</b> Michael Risvold, Chief of Police                                                                                                                                                   |                        |
| <b>REVIEWED BY:</b> Jeffrey Dahl, City Manager                                                                                                                                                         |                        |

**ACTION REQUESTED:**

Staff recommends approval of the Intergovernmental Cooperative Agreement with the City of Bloomington.

**FINANCIAL OR BUDGET CONSIDERATION:**

None. As per the attached agreement, costs will be reimbursed by the City of Bloomington.

**BACKGROUND:**

The City of Bloomington is requesting mutual aid in the form of officers to work overtime shifts for various Super Bowl related activities in their City between January 26, 2018 and February 5, 2018. Officers will be scheduled voluntarily on their regular days off, so this will not impact coverage in Wayzata or Long Lake. All details are contained in the agreement.

**ATTACHMENTS:**

1. Draft Intergovernmental Cooperative Agreement with City of Bloomington, undated
2. Mutual Aid Request Letter from the City of Bloomington, dated December 29, 2018

**INTERGOVERNMENTAL COOPERATIVE AGREEMENT REGARDING PUBLIC  
SAFETY IN BLOOMINGTON, MINNESOTA, RELATED TO THE  
2018 NATIONAL FOOTBALL LEAGUE SUPER BOWL**

**THIS INTERGOVERNMENTAL COOPERATIVE AGREEMENT REGARDING PUBLIC SAFETY IN BLOOMINGTON, MINNESOTA, RELATED TO THE 2018 NATIONAL FOOTBALL LEAGUE SUPER BOWL** (hereinafter referred to as the “Agreement”), is made effective, except as otherwise made operationally effective as set forth in Section 5 herein, on this \_\_\_\_\_ day of December, 2017, by and between the **CITY OF BLOOMINGTON**, a home rule charter city and a Minnesota municipal corporation (“City”) acting through its Police Department (“BPD”) and the **CITY OF \_\_\_\_\_**, a Minnesota municipal corporation acting through its Police Department (“Provider”). City, BPD, and each Provider may be referred to individually as a “Party” or collectively as the “Parties” to this Agreement.

**WHEREAS**, the City is the location of several events occurring before, during, and after the 2018 National Football League Super Bowl from Friday, January 26, 2018, through Monday, February 5, 2018 (“Event”); and

**WHEREAS**, a Unified Command structure (as that term is defined in Section 2.4) is needed to ensure the level of security coordination required for the Event; and

**WHEREAS**, the BPD will be the lead law enforcement agency for the Event in the City of Bloomington. When BPD is the lead law enforcement agency its duties will include making staff assignments and to administer and manage the Unified Command; and

**WHEREAS**, the City has agreed to serve as the fiscal agent for law enforcement costs for the Event by entering into this Agreement with the “Provider”; and

**WHEREAS**, the City is in need of procuring additional extra duty and contract overtime law enforcement personnel to provide the public safety measures required for such a large and unique Event; and

**WHEREAS**, at the request of the City, the Provider is willing to provide the services of the law enforcement personnel identified in this Agreement to the City to assist the BPD with public safety services during the Event.

**NOW, THEREFORE**, pursuant to the authority contained in Minnesota Statutes Section 471.59 (“Joint Exercise of Powers”) or Minnesota Statutes Sections 626.76 and 626.77, or both or all, and in consideration of the mutual covenants herein contained and the benefits that each party hereto shall derive hereby, the Parties agree as follows:

## **1. PURPOSE OF THE AGREEMENT**

- 1.1 The purpose of this Agreement is to set forth the terms and conditions whereby the Provider will provide the City with Licensed Peace Officers to be assigned to one or more of the Event locations identified on Exhibit A attached hereto to assist the BPD through the use of a unified command center (as defined in Section 2.4) to provide law enforcement and security services (“Services”) during the term of the Event.
- 1.2 Provider will exercise its best efforts to assist with Event security. The Parties acknowledge and agree that resource availability requires Provider to exercise its best judgment in prioritizing and responding to the public safety needs of its jurisdiction including, but not limited to, the Event. That prioritization decision belongs solely to Provider. The Provider may, at any time, recall the Provider’s resources when, it is considered to be in Provider’s best interest to do so.
- 1.3 Provider’s resources shall be full-time, Licensed Peace Officers and each such Licensed Peace Officer must meet the following criteria as defined in Minnesota Statutes Sections 626.84, Subdivision 1(c) and 471.59, Subdivision 12.

## **2. ADDITIONAL CRITERIA OF LICENSED PEACE OFFICERS; PROVIDER SCOPE OF SERVICE**

- 2.1 In addition to meeting the criteria set forth in Section 1 of this Agreement, the Provider agrees that each of the Licensed Peace Officers shall also meet the following criteria:
  - 2.1.1. That each Licensed Peace Officer shall by reason of experience, training, and physical fitness be deemed by the Provider of being capable of performing public safety and law enforcement duties for the Event; and
  - 2.1.2 That each Licensed Peace Officer meets the Police Officer Standards and Training (POST) requirements and other standards required by the Provider. Throughout the term of this Agreement, the Provider shall promptly notify the BPD in the event that any licensed peace officer is no longer satisfies the POST or other standards established by the Provider; and
  - 2.1.3 That unless otherwise provided or requested by the BPD, each Licensed Peace Officer shall be equipped or supplied, or both, by Provider at Provider’s own expense, with a seasonally appropriate patrol uniform of the day and equipment, including but not limited to service belts with Provider radio equipment, service weapon, and personal soft ballistic body

armor, and traffic vest.

- 2.2 Provider acknowledges and agrees that at any time during the term of this Agreement the City has the sole discretion to decline to accept or use, or both, any of Provider's Licensed Peace Officers or other law enforcement resources without cause or explanation.
- 2.3 The Provider agrees as follows:
  - 2.3.1 As requested by BPD, Provider shall list information on each of Provider's Licensed Peace Officers no later than thirty (30) days before the Event that includes, but is not limited to, name, rank, agency, badge number, photo, cell phone number, and emergency contact information. Said information shall be used strictly for law enforcement purposes related to the Event and each Party will hold the data in the same classification as the other does under the Minnesota Government Data Practices Act, Minnesota Statutes Chapter 13 ("MGDPA"); and
  - 2.3.2. That upon reasonable advance written notification from the BPD, each of Provider's Licensed Peace Officers or other law enforcement resources so designated by the BPD shall participate in orientation training activities related to Event security, that are coordinated or conducted by the BPD or its designee; and
  - 2.3.3. That each Licensed Peace Officer shall be assigned by the BPD, as determined and required by the BPD, to any Event-related assignment based on the Licensed Peace Officer's skill-set and known duty assignment as well as the needs of the operation; including, but not limited to, foot patrol, motorized patrol, static posts at outdoor perimeters, general security inside or outside venues, and traffic control; and
  - 2.3.4. That Licensed Peace Officers participating in the Event may, if so determined by the BPD, be placed in an "On Assignment" status by BPD in which the Licensed Peace Officer should be physically proximate to the Event location, so as to be able to physically report in a timely manner to such duty post assigned by the BPD and prepared to undertake the specific job task or responsibility assigned by the BPD; and
  - 2.3.5. That at the request of the BPD, Provider will designate personnel that participated in or provided Event security to further participate in and/or provide information to and otherwise cooperate with the BPD in any "after action activities" following the conclusion of a training session or actual Event security. "After action activities" may include, but not be limited to post training session meetings and revisions of training protocols and post

Event security meetings, evaluations, mediation or court proceedings.

- 2.4 Provider acknowledges and agrees that at all times during any required training session or during the Event each of Provider's Licensed Peace Officers or other law enforcement resources and employees, regardless of rank or job title held as an employee of the Provider, shall be subject to a structure of supervision, command and control coordinated through a unified law enforcement command and following unified command principles and practices established throughout the law enforcement community (herein referred to as "Unified Command").
- 2.5 The Provider agrees to exercise reasonable efforts to cooperate and provide the City, with any other information reasonably requested by the City that the City deems necessary to facilitate and enable compliance with the terms and conditions contained in this Agreement.
- 2.6 Event staffing levels will be determined by the BPD as the lead law enforcement agency and fiscal agent.
- 2.7 The Provider will comply with the statutes and rules requiring the preservation of evidence including, but not limited to, Minnesota Statutes Sections 590.10 and 626.04. Provider must preserve all handwritten notes, photographs, incident reports, video recordings, statements, audio recordings, personal notes, interview audio, text messages, cell phone videos, removable electronic media, squad car videos, any other video recordings, emails, voice mails, computer files and all Work Product, Supporting Documentation and Business Records as those terms are defined in Section 8.1 of this Agreement.
- 2.8 The BPD will maintain a list of Licensed Peace Officers assigned to the Event. Provider will be responsible for providing accurate lists of its Licensed Peace Officers that will be assignable to the Event as a result of signing this Agreement.

### **3 CITY RESPONSIBILITIES**

- 3.1 The City will be solely responsible for all communications with the Minnesota Host Committee, which that is coordinating the official National Football League activities occurring in Minneapolis, St Paul, and Bloomington ("Host Committee") within the same general time period as the Event covered by this Agreement. However, this Agreement only applies to the Event locations listed in Exhibit A.
- 3.2 City agrees that it will provide or facilitate any necessary training to prepare for providing Event security. The substance of the training, if necessary; including the locations, dates, and times, shall be detailed in a separate writing provided from the BPD to the Provider.

- 3.3 The person responsible on behalf of the BPD for the daily operation, coordination and implementation of this Agreement, which responsibilities shall include, but not limited to, determining the assignments of the Provider's law enforcement resources, shall be BPD Deputy Chief of Police Mike Hartley (hereinafter referred to as the "Coordinator"). Except as otherwise provided in this Agreement, all contacts or inquiries made by the Provider with regard to this Agreement shall be made directly to the Coordinator or the Coordinator's designee.
- 3.4 The City will develop and provide to each Provider an adequate supply of the standard incident report form to be used by the City and Providers that provide Services at the Event under the direction of the Unified Command.
- 3.5 The City will provide to Provider, the "claims procedure" as indicated in Exhibit C hereto that will be used by third party claimants who file claims against the City or against any Provider

#### **4. COMPENSATION AND PAYMENT PROCESS**

- 4.1 The sole source of funds to reimburse each Provider performing under this Agreement shall be funds provided to BPD by private entities requesting public safety and security at their facilities during the Event.
- 4.2 For and in consideration of the Provider performing under this Agreement, the Provider will be reimbursed for said Services at the rates and in the manner as indicated in attached Exhibit B. All of a Provider's Licensed Peace Officers and other law enforcement resources that (a) perform law enforcement services within the Provider's jurisdiction; and (b) are subject only to the Provider's authority and are therefore not under the Unified Command, are not eligible to have Provider's costs reimbursed pursuant to this Agreement.
- 4.3 The BPD will prepare and include in Exhibit B eligibility guidelines for cost reimbursement and a checklist for the preparation and submission of the reimbursement request.
- 4.4 Provider may submit any questions regarding the cost reimbursement process to Sue LeGrand or her designee at: [slegrand@bloomingtonmn.gov](mailto:slegrand@bloomingtonmn.gov).
- 4.5 For any disputed amounts, the Provider shall provide the BPD with written notice of the dispute, including the date, amount, and reasons for dispute within fifteen (15) days after receipt of the Reimbursement Summary Report. The BPD and Provider shall memorialize the resolution of the dispute in writing and follow the dispute resolution procedure in Section 13 of this Agreement.

5. **TERM OF AGREEMENT**

This Agreement shall be effective as of the date indicated on the first page so that the Parties can undertake planning for all Event-related activity and shall expire on March 1, 2018, or the date to which law enforcement resources or Services are extended, whichever is later, unless terminated earlier in accordance with the provisions in Section 6. Except for the provision of orientation training as discussed and to be scheduled pursuant to Section 3.3 of this Agreement, Services furnished by the Provider for the Event shall begin on January 26, 2018, and shall terminate on February 5, 2018, unless terminated sooner or extended in whole or in part as provided herein.

6. **TERMINATION**

6.1 Termination by the City. The City may terminate this Agreement upon providing to the Provider fifteen (15) days advance written notice for any of the reasons stated below:

6.1.1 Cancellation of Super Bowl LII; or

6.1.2 Failure by the Provider to perform any material term under this Agreement and failure to cure the default within the time requested by the City; or

6.1.2 Without cause prior to the initial orientation training session.

6.2 Termination by the Provider. The Provider may terminate this Agreement upon providing to the City not less than thirty (30) days advance written notice for any of the reasons stated below:

6.2.1 Cancellation of Super Bowl LII; or

6.2.2 Without cause prior to the initial orientation training session.

6.3 In the event of a termination, each Party shall fully discharge all obligations owed to the other Party accruing prior to the date of such termination, and, except as otherwise provided herein, each Party shall be released from all obligations, which would otherwise accrue subsequent to the date of termination.

7. **AGREEMENT MANAGEMENT**

7.1 The Provider has identified the following person[s] as persons to contact only with regard to the following matters regarding the Agreement:

(List names) (List responsibilities)

## 8. **WORK PRODUCT, RECORDS, DISSEMINATION OF INFORMATION**

- 8.1 For purposes of this Agreement, the following words and phrases shall have the meanings set forth in this section, except where the context clearly indicates that a different meaning is intended.

*“Work Product”* shall mean any report, including incident reports, recommendation, paper, presentation, drawing, demonstration, or other materials, whether in written, electronic, or other format that are used or belong to BPD or results from Provider's Services under this Agreement.

*“Supporting Documentation”* shall mean any surveys, questionnaires, notes, research, papers, analyses, whether in written, electronic, or in other format and other evidences used to generate any and all work performed and Work Product generated under this Agreement.

*“Business Records”* shall mean any books, documents, papers, account records and other evidences, whether written, electronic, or in other format, belonging to BPD or Provider and pertain to work performed under this Agreement.

- 8.2 Subject to applicable law, including but not limited to the Minnesota Official Records Act, Minnesota Statutes Section 15.17, and the MGDPA, all deliverable Work Product, Supporting Documentation and Business Records or copies thereof, that are needed from or result from the Provider's Services under this Agreement shall be delivered to the City either pursuant to this Agreement or upon reasonable request of the City and shall become the property of the City after delivery.
- 8.3 The City and the Provider each agrees not to release, transmit, disclose or otherwise disseminate information associated with or generated as a result of the work performed (i.e. Work Product, Supporting Documentation and Business Records) under this Agreement without notice to the other. Except as otherwise required by and subject to federal or state law, or both, neither the City nor the Provider shall release, transmit, disclose or disseminate any Work Product, Supporting Documentation, or Business Records, which shall be classified as “security information”, “security service” or “security service data”, defined under Minnesota Statutes Sections 13.37 and 13.861 or any like data, as defined or required, or both, in all federal, state, and local laws or ordinances, and all applicable rules, regulations, and standards.
- 8.4 In the event of termination, all Work Product, Supporting Documentation, and Business Records prepared by the Provider under this Agreement shall be delivered to the City by the Provider by the termination date.



- 8.5 Both the City and the Provider agree to maintain all Business Records in such a manner as will readily conform to the terms of this Agreement and to make such materials available at its office at all reasonable times during this Agreement period and for six (6) years from the date of the final payment under the contract for audit or inspection by the City, the Provider, the Auditor of the State of Minnesota, or other duly authorized representative.
- 8.6 Both the City and the Provider agree to abide strictly by the MGDPA and, in particular, Minnesota Statutes Sections 13.05, subds. 6 and 11; 13.37, Subd. 1(a) and 1(b), 138.17, and 15.17. All of the data created, collected, received, stored, used, maintained, or disseminated by the Provider or the City in performing functions under this Agreement is subject to the requirements of the MGDPA and both the City and the Provider must comply with those requirements. If any provision of this Agreement is in conflict with the MGDPA or other Minnesota state laws, state law shall control.

**9. INSURANCE; LIABILITY; MUTUAL RESPONSIBILITY; NO WAIVER OF IMMUNITIES**

- 9.1 Insurance Coverage for Event. Subject to the limitations below, the City agrees to defend and indemnify the Provider against any claims brought, or actions filed, against the Provider, or any Licensed Police Officer of the Provider for the injury to, death of, or damage to the property of any third person(s) arising out of the performance and provide of assistance to the City pursuant this Agreement.
- 9.1.1 Provider understands and agrees that the City's municipal liability policy issued through the League of Minnesota Cities Insurance Trust ("LMCIT Policy") will be the primary policy as it relates to defense and indemnification of claims and lawsuits arising out of the Provider's actions, and Provider agrees to cooperate with the City and the League of Minnesota Cities Insurance Trust in all claims and suits arising out of this Agreement.
- 9.1.2 Provider understands and agrees that the City will not defend or indemnify Provider, its officers or employees, for any claims or lawsuits that do not take place during the term of the Agreement; or any claim or lawsuit that would be considered as a result of a "covered event" as defined by the law enforcement liability policy purchased through the Host Committee and administered by the City of Minneapolis for specific Super Bowl related events authorized by the National Football League.
- 9.1.3 Provider agrees to be bound by the terms and conditions contained in the

LMCIT Policy.

- 9.1.4 Provider agrees that it will cooperate with the League of Minnesota Cities Insurance Trust and with the City by reasonably and timely responding to the League of Minnesota Cities Insurance Trust's request(s) for information or to appear at meetings or judicially mandated hearings.
- 9.2 Liability Coverage as Sole Source for Liability and Indemnity. Provider hereto agrees that it will only seek recovery for any liability incurred in carrying out the terms of this Agreement from the LMCIT policy set out in Section 9.1 of this Agreement.
  - 9.2.1 If Provider's liability is not subject to recovery through the LMCIT Policy, then the Provider agrees that it will otherwise be responsible for its own acts or omissions, or both, and those of its officials, employees, representatives and agents in carrying out the terms of this Agreement, whether those acts or omissions occur within or outside of the jurisdiction or geographic limits of the City of Bloomington.
  - 9.2.2 In the unlikely event that the aggregate amount of any one or all claims arising from one occurrence exceeds \$2 million, then each Party agrees that it will otherwise be responsible for its own acts or omissions, or both, and those of its officials, employees, representatives and agents in carrying out the terms of this Agreement, whether those acts or omissions occur within or outside the of the jurisdiction or geographic limits of the City of Bloomington.
- 9.3 Further Limitation On Provider Liability. It is understood and agreed that the liability of a Provider that is a municipality, county or similar political subdivision shall be limited by the provisions of Minnesota Statutes Chapter 466 (Tort Liability, Political Subdivisions) and by other applicable law. Nothing contained in this Agreement shall waive or amend, nor shall be construed to waive or amend any defense or immunity that either Party, its respective officials and employees, may have under said Chapter 466, Section 471.59 subd. 1a, and any common-law immunity or limitation of liability, all of which are hereby reserved by the Parties that have entered into this Agreement.
- 9.4 Provider Workers' Compensation Insurance Required. Except as expressly provided herein, each Party shall be responsible for injuries or death of its own personnel. Each Party will maintain workers' compensation insurance or self-insurance coverage, covering its own personnel while they are providing assistance pursuant to this Agreement. Except as expressly provided herein, each Party waives the right to sue any other Party for any workers' compensation benefits paid to its own employee or volunteer or their dependents.

- 9.5 Provider Responsible for Own Equipment. Except as expressly provided herein, each Party shall be responsible for damages to or loss of its own equipment. Except as expressly provided herein, each Party waives the right to sue any other Party for any damages to, or loss of its equipment.
- 9.6 Provider Rendering First Aid. Except for immediate first aid rendered by a Provider at the scene of an accident or occurrence, no other medical assistance, expenses or aid is covered under this Agreement.
- 9.7 Except for the foregoing, the Parties intend that this Agreement will not benefit or create any right or cause of action in or on behalf of any person or entity other than the Parties.

## **10. INDEPENDENT CONTRACTORS**

Provider in its relationship with the City under this Agreement is an independent contractor. No Provider, its Licensed Peace Officers or other law enforcement resources shall be considered an employee of the City. The City, its Licensed Peace Officers or other law enforcement resources shall not be considered employees of the Provider.

## **11. SUBCONTRACTING**

The City and Provider agree that no Services will be subcontracted and agree not to enter into any subcontracts to provide any Services under this Agreement.

## **12. ASSIGNMENT**

Neither the City nor the Provider will assign or transfer any interest in this Agreement without the consent of the other Party.

## **13. DISPUTE RESOLUTION**

The City and the Provider each agree to cooperate and negotiate in good faith to resolve any disputes that arise regarding the terms of this Agreement and the performance of the Services. If good faith negotiations fail to resolve a dispute, then the Parties will use mediation services to attempt to resolve the dispute. The City and Provider will equally share the expense of the mediator.

The Parties will select a mediator by each submitting three names in rank order of preference to the other Party. If there is no common name on each Party's list, then a neutral, third party, law enforcement representative that is not a party to this Agreement will select a mediator for the Parties. If mediation fails to resolve a dispute between Parties, then the Parties may exercise their legal or equitable rights.

**14. AUDIT OF AGREEMENT RECORDS**

Pursuant to Minnesota Statutes Section 16C.05, both the City's and the Provider's books, records, documents, and accounting procedures and practices with respect to any matter covered by this Agreement shall be made available to the State of Minnesota Office of the State Auditor upon written notice, at any time during normal business hours, for the purpose of auditing, examining or making excerpts or transcripts of relevant data.

**15. AMENDMENT OR CHANGES TO AGREEMENT**

15.1 Any alterations, amendments, deletions, or waivers of the provisions of this Agreement shall be valid only when reduced to writing and duly signed by the Parties hereto; after all appropriate and necessary authority has been acquired by each such Party.

15.2 Modifications or additional schedules shall not be construed to adversely affect vested rights or causes of action which have accrued prior to the effective date of such amendment, modification, or supplement. The term "Agreement" as used herein shall be deemed to include any future amendments, modifications, and additional schedules made in accordance herewith.

**16. NOTICES**

Except as otherwise stated in this Agreement, all notice or demand to be given under this Agreement shall be delivered in person or deposited in United States First Class Mail, Return Receipt Requested. Any notices or other communications shall be addressed as follows:

City: Jeff Potts, Chief of Police, City of Bloomington, 1800 West Old Shakopee Road, Bloomington, MN 55431, jpotts@bloomingtonmn.gov; or

Provider: \_\_\_\_\_;

or such other contact information as either party may provide to the other by notice given in accordance with this provision. Nothing in this Section 16 shall prohibit a Party from contemporaneously providing the communication by electronic mail when such occurs at the same time as depositing in United States Mail.

**17. CHOICE OF LAW AND VENUE**

This Agreement shall be governed by and construed in accordance with the laws of the state of Minnesota. Any disputes, controversies, or claims arising out of this Agreement shall be heard in the state or federal courts of Hennepin County, Minnesota, and all

parties to this Agreement waive any objection to the jurisdiction of these courts, whether based on convenience or otherwise.

**18. ENTIRE AGREEMENT**

It is understood and agreed that this entire Agreement supersedes all oral agreements and negotiations between the parties hereto relating to the subject matters herein. All items that are referenced or that are attached are incorporated and made a part of this Agreement. If there is any conflict between the terms of this Agreement and referenced or attached items, the terms of this Agreement shall prevail.

The matters set forth in the “WHEREAS” clauses at the beginning of this Agreement are true and correct and by this reference incorporated into and made a part of this Agreement.

**19. AGREEMENT NOT EXCLUSIVE**

The City retains the right to contract with other public safety and security providers for other matters or for the Event, in the City’s sole discretion.

**20. NO DISCRIMINATION**

Provider agrees not to discriminate in providing the Services under this Agreement on the basis of race, color, sex, creed, national origin, disability, age, sexual orientation, status with regard to public assistance, or religion. Provider agrees to hold harmless and indemnify the City from costs, including but not limited to damages, attorney's fees and staff time, in any action or proceeding brought alleging a violation of these laws by the Provider or its Licensed Police Officer(s).

**21. PUBLICITY**

The Parties shall develop language to use when discussing this Agreement. Provider agrees that any publicity regarding the Services or the subject matter of this Agreement must not be released unless it complies with the approved language.

**22. WAIVER**

Failure of a Party to enforce any provision of this Agreement does not affect the rights of the Parties to enforce such provision in another circumstance. No waiver of any provision or of any breach of this Agreement shall constitute a waiver of any other provisions or any other or further breach, and no such waiver shall be effective unless made in writing and signed by an authorized representative of the party to be charged with such a waiver.

**23. SEVERABILITY**

In the event that any provision of this Agreement shall be illegal or otherwise unenforceable, such provision shall be severed, and the balance of the Agreement shall continue in full force and effect and will be construed and enforced as if such invalid or unenforceable provision had not been included.

24. **INTERCHANGE OF GOVERNMENT EMPLOYEES**

The Parties shall cooperate in achieving the objectives of this Agreement pursuant to Minnesota Statutes Sections 15.51 through 15.57.

25. **COMPLIANCE WITH LAWS**

The Parties shall comply with all applicable federal, state, and local statutes, regulations, rules and ordinances currently in force or later enacted including but not limited to the MGDPA, Minnesota Statutes Section 471.425, subd. 4a, and as applicable, non-discrimination and affirmative action laws and policies.

**REMAINDER OF THIS PAGE IS BLANK**

**IN WITNESS WHEREOF**, the parties hereto are authorized signatories and have executed this Agreement the day and year first above written.

**CITY OF \_\_\_\_\_**

By: \_\_\_\_\_  
Its: \_\_\_\_\_

Date: \_\_\_\_\_

By: \_\_\_\_\_  
Its: \_\_\_\_\_

Date: \_\_\_\_\_

By: \_\_\_\_\_  
Its: \_\_\_\_\_

Date: \_\_\_\_\_

**CITY OF BLOOMINGTON**

By: \_\_\_\_\_  
Its: City Manager, James D. Verbrugge

Date: \_\_\_\_\_

By: \_\_\_\_\_  
Its: Police Chief, Jeffrey D. Potts

Date: \_\_\_\_\_

Reviewed and Approved By:

By: \_\_\_\_\_  
Its: City Attorney

**EXHIBIT A**  
**EVENT LOCATIONS**

[CITY TO ADD]



## EXHIBIT B

### EVENT REIMBURSEMENT GUIDELINES

**Reimbursement Period:** Friday, January 26, 2018, through Monday, February 5, 2018.

1. Bloomington Police Department (“BPD”) will serve as fiscal agent for purposes of this Agreement.
2. Reimbursement will be for hours worked in direct support of the BPD.
3. Reimbursement will occur only for hours worked consistent with official operational plans approved by BPD.
4. There will be no reimbursement for non-personnel costs, backfill, pre-Event training, equipment, and other expenses including but not limited to travel costs, fuel, mileage, per diem, etc.
5. Reimbursement will occur only for state, county, and local law enforcement personnel participating in Event security details.
6. To the extent possible, law enforcement personnel will be notified of their daily and hourly schedule 15 to 30 days prior to the Reimbursement Period. There will be no reimbursement for any changes to the schedule or for any scheduled off days during this period or for off hours where personnel are not actively assigned to an event detail.
7. No officer will be assigned to a shift that begins in less than 96 hours without the Provider’s prior approval.
8. Providers and personnel assigned to the event must adhere to all BPD requirements in order to be eligible for reimbursement.
9. If certain Event Services are cancelled within 24 hours of when the law enforcement officer’s shift is scheduled to begin, then that Licensed Police Officer will be compensated for 3 hours of time. If certain Event Services are cancelled more than 24 hours of when the law enforcement officer’s shift is scheduled to begin, then that Licensed Police Officer will not be compensated.
10. For reimbursement purposes, a law enforcement officer’s shift begins and ends when he/she checks in/out on site.
11. Provider must submit to the City an **Officer Pay Rate Information Form** in the format set out in Exhibit D (“Form”), attached and incorporated hereto, that lists the 2018 regular (100%) pay rates with associated badge numbers for all Licensed Police Officers providing Services pursuant to this Agreement. Provider must submit the **Form** to Sue LeGrand at [slegrand@bloomingtonmn.gov](mailto:slegrand@bloomingtonmn.gov) on or before January 15, 2018.
12. Reimbursement will be paid at time and a half of the Licensed Police Officer’s pay rate as stated on the **Form**, plus a 17.5% fringe for PERA and Medicare related costs. These rates are all-inclusive and will not be adjusted.

13. On or before February 9, 2018 (covering pay period 1/26/18-1/28/18) and on or before February 23, 2018 (covering pay period 1/29/18-2/5/18), the City will provide a **Reimbursement Summary Report** (“Report”) to the Provider reflecting the dates and hours of service performed by Provider’s Licensed Police Officers.
  - a. Within five (5) days of receipt of the **Report** from the City, Provider shall review the Report for accuracy and indicate to the City which hours were straight time and which hours were overtime, then return the completed Report to Sue LeGrand at [slegrand@bloomingtonmn.gov](mailto:slegrand@bloomingtonmn.gov).
  - b. Provider will submit an invoice along with a copy of the **Report** to BPD. Thereafter, BPD will review the documentation and work with Provider to address any discrepancies.
  - c. BPD will issue reimbursement to Provider consistent with this Agreement within forty-five (45) days of receipt of the Provider’s invoice, **Report** copy, and documentation.
14. Any variation from the above guidelines must be approved by the Bloomington Police Department.

## **EXHIBIT C**

### **CLAIMS PROCEDURE FOR CLAIMS**

All claims will be submitted to the City on its standardized “Claim Form” found on its website (<https://www.bloomingtonmn.gov/sites/default/files/claimform.pdf> ). Once received and recorded by the City, the City will forward the Claim Form on to the League of Minnesota Cities Insurance Trust (“LMCIT”) for investigation and determination of liability. Acceptance or denial of a claim may be appealed through the City’s Risk and Litigation Manager. Her contact information is [alarson@bloomingtonmn.gov](mailto:alarson@bloomingtonmn.gov) or 952-563-4932.

## EXHIBIT D

### OFFICER PAY RATE INFORMATION FORM

|                           |  |
|---------------------------|--|
| <b>Provider (Agency):</b> |  |
| <b>Contact Name:</b>      |  |
| <b>Phone #:</b>           |  |
| <b>Email:</b>             |  |

| Badge # | Officer Name | Regular Hourly Rate |
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December 29, 2017

Chief Michael Risvold  
Wayzata Police Department  
600 Rice Street East  
Wayzata, MN 55391

Dear Chief Risvold:

As the Twin Cities area prepares for the arrival of Super Bowl LII, the Bloomington Police Department continues to plan for the numerous related events occurring in our city. We are anticipating having a high demand for Contractual Overtime (COT), or extra duty jobs, at the Mall of America, NFL team hotels, and other area hotels and venues in our hospitality industry. The addition of numerous Super Bowl related assignments to our current day to day staffing needs leaves us unable to meet all of those additional COT demands on our own. We are reaching out to you, our neighboring agencies, in an effort to secure sworn personnel to assist us with these extra duty assignments.

The assigning of work details and the reimbursement process will be similar as years past when there was a staffing surge at the Mall of America following threats of terror. There will be additional fine points relating to schedules and work details as we get closer to the event but here is some initial information.

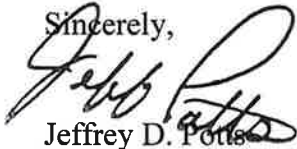
- Officers should be available, preferably on days off, from January 26<sup>th</sup> to February 5<sup>th</sup>. The assignments could fall anywhere within a 24 hour period. Shift lengths could be from 4-12 hours.
- Outside Departments will provide a list of personnel; which includes their badge #, name and overtime pay rates, and who are available for each day and time during that 10 day period. A Bloomington Special Events Sergeant will then schedule the events. Officers will be given advance notice of their work schedule and will not be assigned events within 96 hours of the event without the officer's approval.
- These assignments are generally indoors but officers may be assigned to work a traffic detail and should have access to all of their cold weather gear in the event they have an outside assignment.
- Officers will be in full uniform unless otherwise noted for the specific event.
- Reimbursement will be at 1 ½ times the Officers rate of pay plus a 17.5% fringe that covers PERA and Medicare.

- It must be understood that the list of available personnel available to work Bloomington COT is separate from the Minneapolis list of sanctioned Super Bowl events. Outside Departments working Bloomington COT events are not covered by the Super Bowl Host Committee's Joint Powers agreement (JPA) or its insurance. The City of Bloomington has agreed to assume liability for all claims asserted against the Outside Department's personnel provided that the damages or injuries arise out of the course and scope of the COT assignment. The assumption of liability does not extend to Property damage or Workers' Compensation claims as outlined in the JPA between the parties.

We look forward to partnering with your agency as we provide a high level of public safety at the events surrounding Super Bowl LII. To initiate this process, please find attached a Cooperative Agreement for your consideration and an invitation to attend an upcoming In-service.

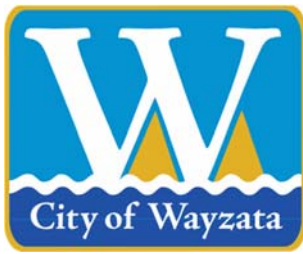
Should you have any questions, please do not hesitate to contact Deputy Chief Mike Hartley at [mhartley@BloomingtonMN.gov](mailto:mhartley@BloomingtonMN.gov) or 952-563-8824. Additionally, I am always available for questions; [jpotts@BloomingtonMN.gov](mailto:jpotts@BloomingtonMN.gov) or 952-563-8601.

Sincerely,



Jeffrey D. Potts  
Chief of Police

Cc: Deputy Chief Mike Hartley  
Sergeant McCullough



# City of Wayzata City Council Agenda Report

|                                                                     |                        |
|---------------------------------------------------------------------|------------------------|
| <b>MEETING DATE:</b> January 16, 2018                               | <b>AGENDA ITEM:</b> 7h |
| <b>TITLE:</b> Approval of House Plans at 1058 Circle Dr E           |                        |
| <b>PROPOSED MOTION:</b> To Approve House Plans at 1058 Circle Dr E  |                        |
| <b>PREPARED BY:</b> Jeff Thomson, Director of Planning and Building |                        |
| <b>REVIEWED BY:</b> Jeffrey Dahl, City Manager                      |                        |

**ACTION REQUESTED:**

The City Council should consider approval of the house plans at 1058 Circle Dr E, based on the finding that the design meets the standards of City Code Section 805.14.E.8 and 805.14.E.9, and satisfies the conditions of Resolution No. 50-2008, as recommended by the Planning Commission.

**FINANCIAL OR BUDGET CONSIDERATION:**

The development application does not have any impact on the City budget.

**BACKGROUND:**Application Overview

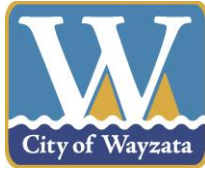
The applicant, Streeter & Associates, and the property owners, Jason Schneiderman & Natalie Stob, have submitted a development application to construct a new house at 1058 Circle Dr E. The applicants are requesting approval of the house as required by the City Council Resolution approving the 2008 subdivision of the property.

Planning Commission Review

The Planning Commission reviewed the house plans at its meeting on January 9, 2017. At that meeting, the Planning Commission voted six in favor and zero opposed to recommend the City Council approve the house plans. The Planning Commission also encouraged the applicant to consider planting additional trees along the front of the property.

**ATTACHMENTS:**

1. January 16, 2018 staff report
2. Proposed Plans
3. City Council Resolution approving 2008 subdivision



**Staff Report  
January 16, 2018**

**Project Name** Schneiderman Stob Residence  
**Applicant** Streeter & Associates  
**Addresses of Request:** 1058 Circle Dr E  
**Prepared by:** Jeff Thomson, Director of Planning and Building  
**“60 Day” Deadline:** February 3, 2018

---

**Development Application**

Introduction

The applicant, Streeter & Associates, and the property owners, Jason Schneiderman & Natalie Stob, have submitted a development application to construct a new house at 1058 Circle Dr E.

Application Requests

The property is part of a three lot subdivision that was approved by the City Council in December 2008. The subdivision was subsequently filed at Hennepin County, but the lot has remained vacant since that time. As a condition of the 2008 approval, the property owners are required to submit plan for review and approval by the Planning Commission and City Council, “depicting architectural appearance, scale, mass, construction materials, proportion and scale of roof line and functional plan of the building proposed to demonstrate similarity to the characteristics and quality of the existing homes in the neighborhood.” The property owners have purchased the vacant lot for construction of a single family home, and have submitted the plans for review and approval by the Planning Commission and City Council.

Property Information

The property identification number and owner of the property are as follows:

| Address          | PID               | Owner                             |
|------------------|-------------------|-----------------------------------|
| 1058 Circle Dr E | 06-117-22-41-0073 | Jason Schneiderman & Natalie Stob |

The current zoning and comprehensive plan land use designation for the property are as follows:



|                        |                                                 |
|------------------------|-------------------------------------------------|
| Current zoning:        | R-3A/Single and Two Family Residential District |
| Comp plan designation: | Low Density Single Family                       |
| Overlay districts:     | None                                            |

### Project Location

The property is located on the east side of Circle Dr E between Circle A Dr and Central Ave S:

*Map 1: Project Location*



### Adjacent Land Uses.

The following table outlines the uses, zoning, and Comprehensive Plan land use designations for adjacent properties:

| Direction | Adjacent Use       | Zoning                                          | Comp Plan Land Use Designation |
|-----------|--------------------|-------------------------------------------------|--------------------------------|
| North     | Circle Dr E        | N/A                                             | N/A                            |
|           | Single family home | R-3A/Single and Two Family Residential District | Low Density Single Family      |

|       |                    |                                                 |                           |
|-------|--------------------|-------------------------------------------------|---------------------------|
| East  | Single family home | R-3A/Single and Two Family Residential District | Low Density Single Family |
| South | Single family home | R-3A/Single and Two Family Residential District | Low Density Single Family |
| West  | Single family home | R-3A/Single and Two Family Residential District | Low Density Single Family |

*Map 2: Adjacent Land Uses*

Zoning



Comp Plan Land Use Designation



# **Analysis of Application**

## Proposed Plans

The applicant has submitted detailed house plans, including a site plan, building elevations, and floor plans. The proposed house would be one story with a tuck-under garage. The house would include 3,724 gross square feet, and 3,062 finished square feet, with a two story garage on the lower level. The exterior materials consist of Hardie board lap siding, black metal panels, and stone veneer. The proposed house would meet all of the R-3A zoning requirements.

## Zoning

The proposed house meets all of the requirements of the R-3A zoning district:

|                    | R-3A Requirements  | Proposed                       |
|--------------------|--------------------|--------------------------------|
| Front yard setback | 20 ft. (min)       | 20 ft.                         |
| Side yard setback  | 10 ft. (min)       | 10 ft. (east)<br>10 ft. (west) |
| Rear yard setback  | 20 ft. (min)       | 37 ft.                         |
| Lot coverage       | 30% (max.)         | 23.4%                          |
| Impervious surface | 35% (max.)         | 32.9%                          |
| Building height    | 32 ft. (max.)      | 27 ft.                         |
| Garage size        | 750 sq. ft. (max.) | 592 sq. ft.                    |

### Tree Preservation

The application materials include a tree inventory of the property. There are nine trees on the property that meet the minimum size requirements as either significant or heritage trees. The plans indicate that five significant trees would be removed for construction of the home and associated grading. The one heritage tree on the property – a 32 inch oak on the back of the lot – would be preserved. For construction of a home on a vacant lot, the City's tree preservation ordinance allows for removal of up to 25 percent of the inches of significant trees before mitigation is required. Based on the proposed tree removal, 18 inches of trees would need to be replaced on the site as part of a landscaping plan. The proposed plans provide that 10 trees would be planted, including three white spire birch, six 10-foot spruce trees, and a 12-foot white pine. The proposed tree replacement meets the ordinance requirements.

### **Applicable Code Provisions for Review**

#### Preliminary Plat Criteria (Section 805.14.E)

The City Council condition requiring review and approval of the home design on Lot 2 is based on the ordinance criteria for preliminary plat review, which include the following factor:

8. The architectural appearance, scale, mass, construction materials, proportion and scale of roof line and functional plan of a building proposed on a lot to be divided or combined shall be similar to the characteristics and quality of existing development in the City, a neighborhood or commercial area.
9. The design, scale and massing of buildings proposed on a subdivided or combined lot shall be subject to the architectural guidelines and criteria for the Downtown Architectural District, Commercial and Institutional Architectural Districts, and Residential Architectural Districts and the Design Review Board/City Council review process outline in Section 9 of the Wayzata Zoning Ordinance.

### **Action Steps**

After considering the items outlined in this report, the City Council should consider a motion which approves the house plans for 1058 Circle Dr E, based on the finding that the design meets the standards of City Code Section 805.14.E.8 and 805.14.E.9, and

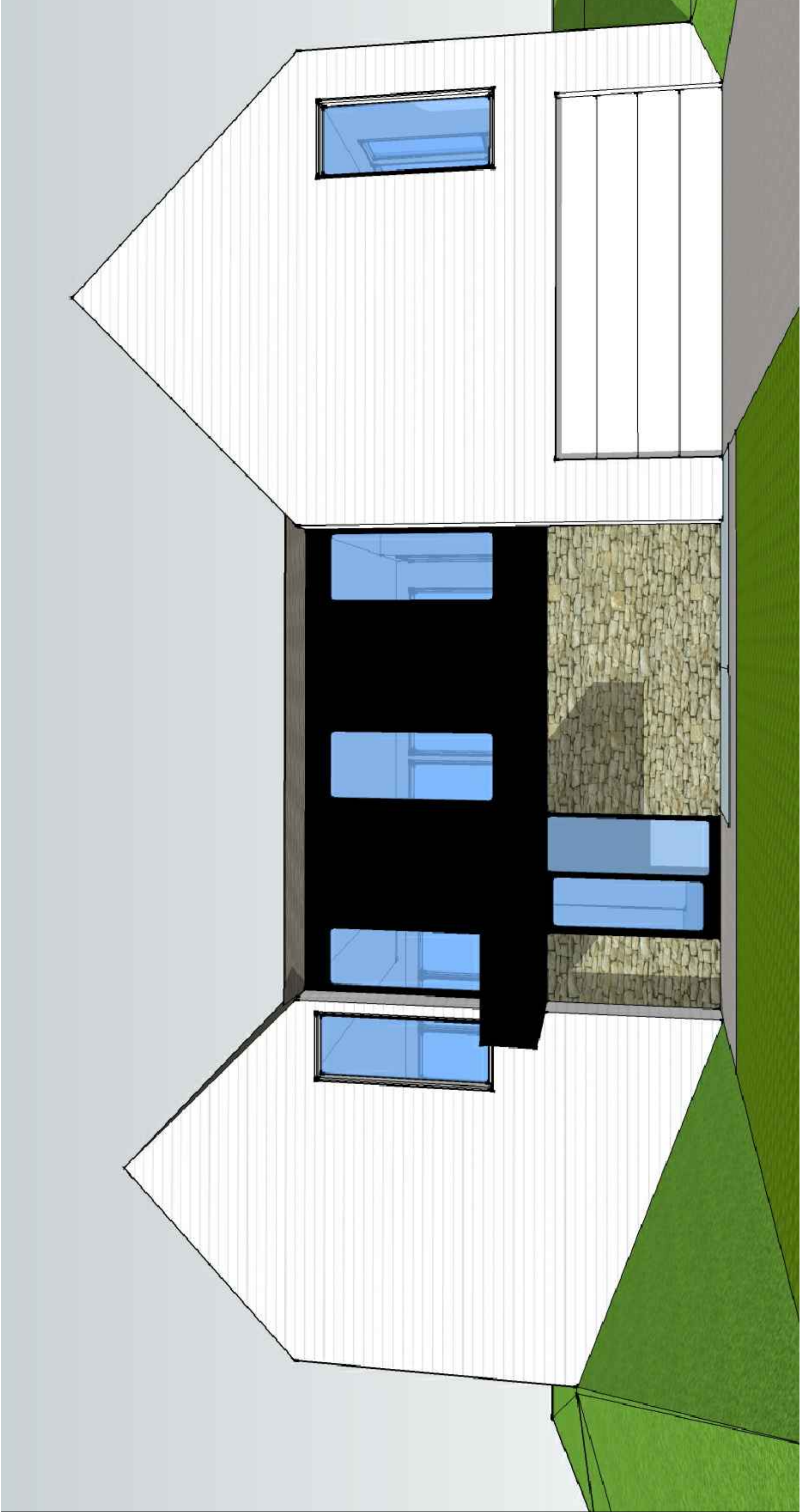
satisfies the conditions of Resolution No. 50-2008 approving the Ramsland Knoll subdivision.

**Attachments**

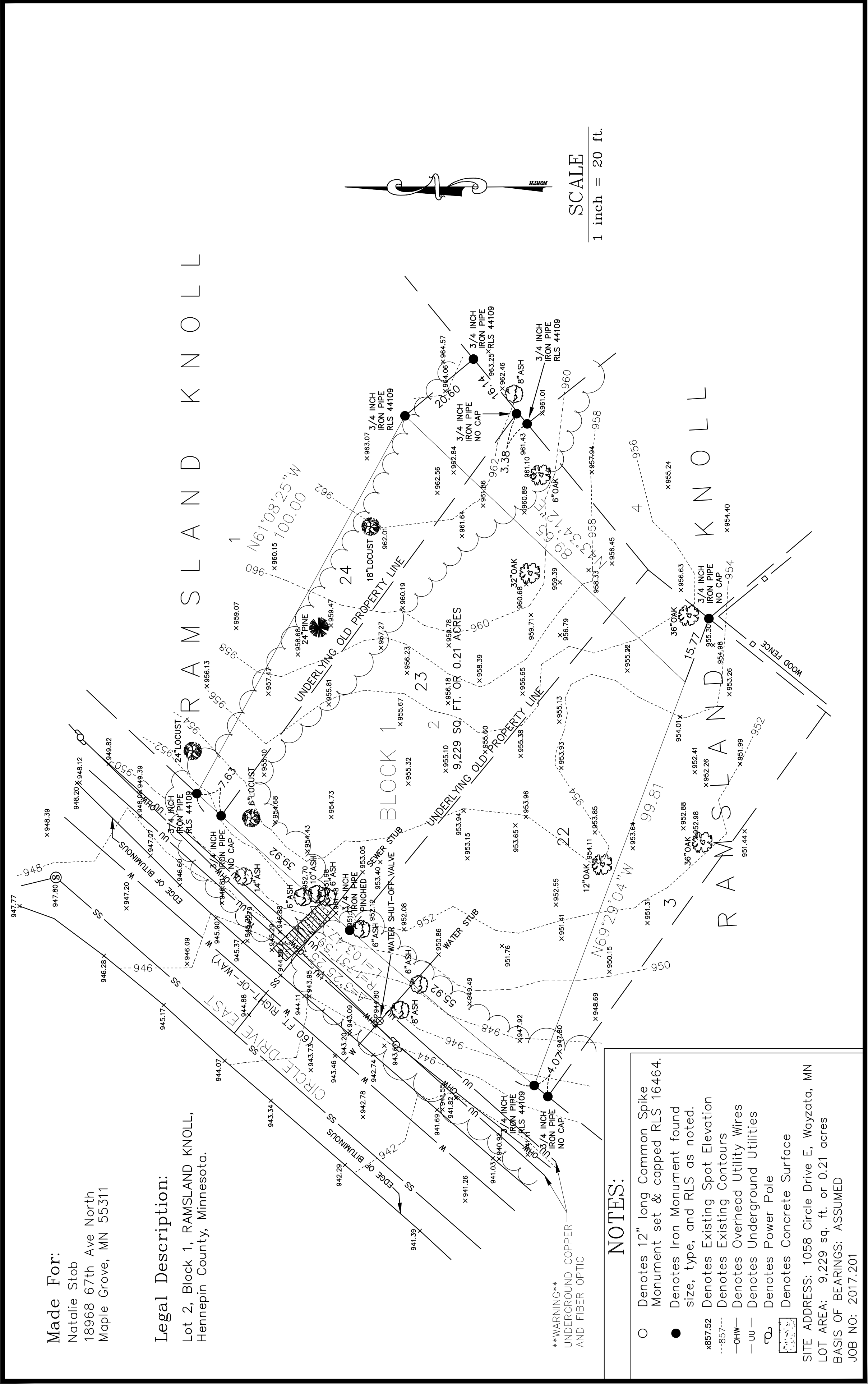
Proposed Plans

City Council Resolution Approving 2008 Subdivision











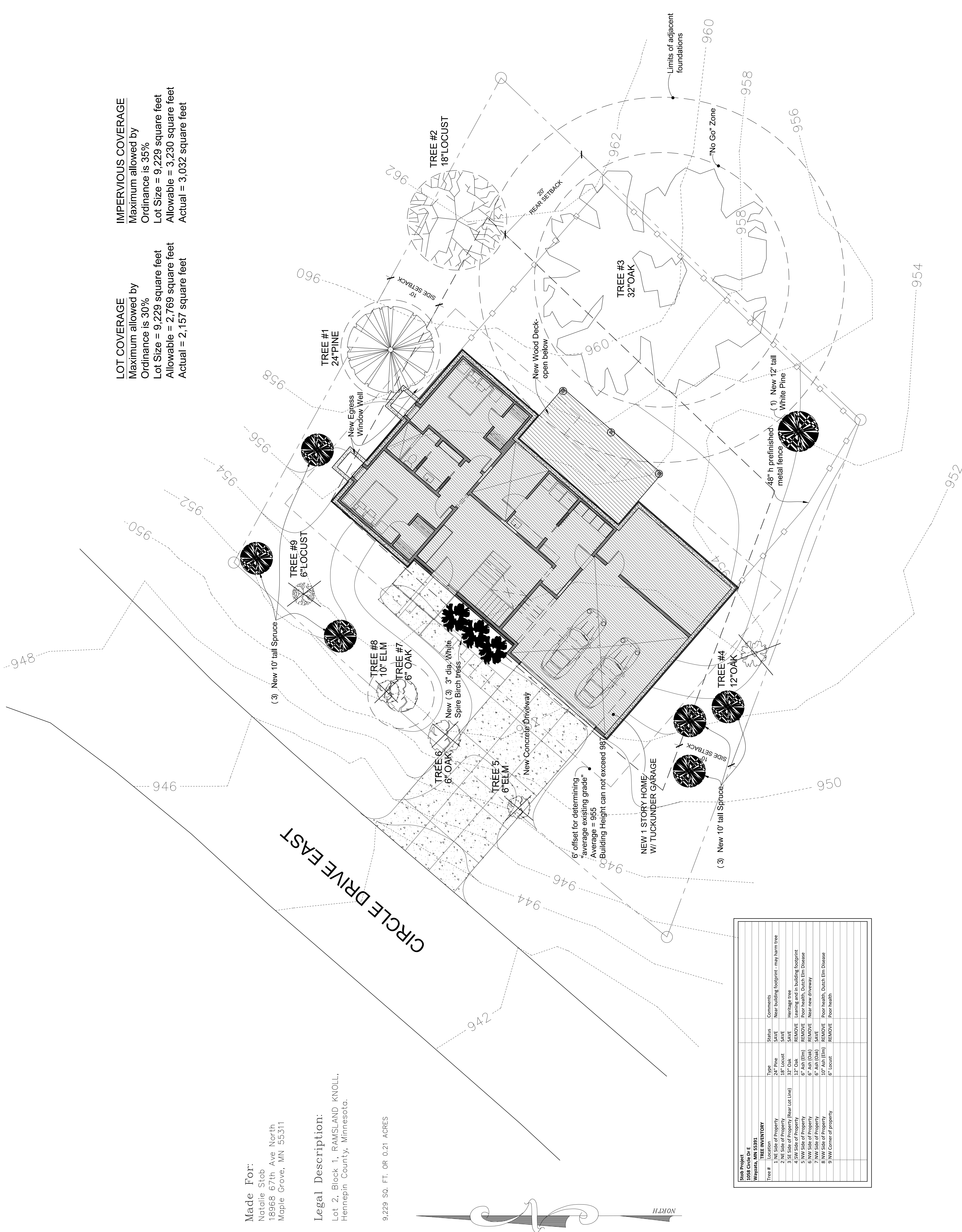
**LOT COVERAGE**  
Maximum allowed by Ordinance is 30%  
Lot Size = 9,229 square feet  
Allowable = 2,769 square feet  
Actual = 2,157 square feet

**IMPERVIOUS COVERAGE**  
Maximum allowed by Ordinance is 35%  
Lot Size = 9,229 square feet  
Allowable = 3,230 square feet  
Actual = 3,032 square feet

Made For:  
Natalie Stob  
18968 67th Ave North  
Maple Grove, MN 55311

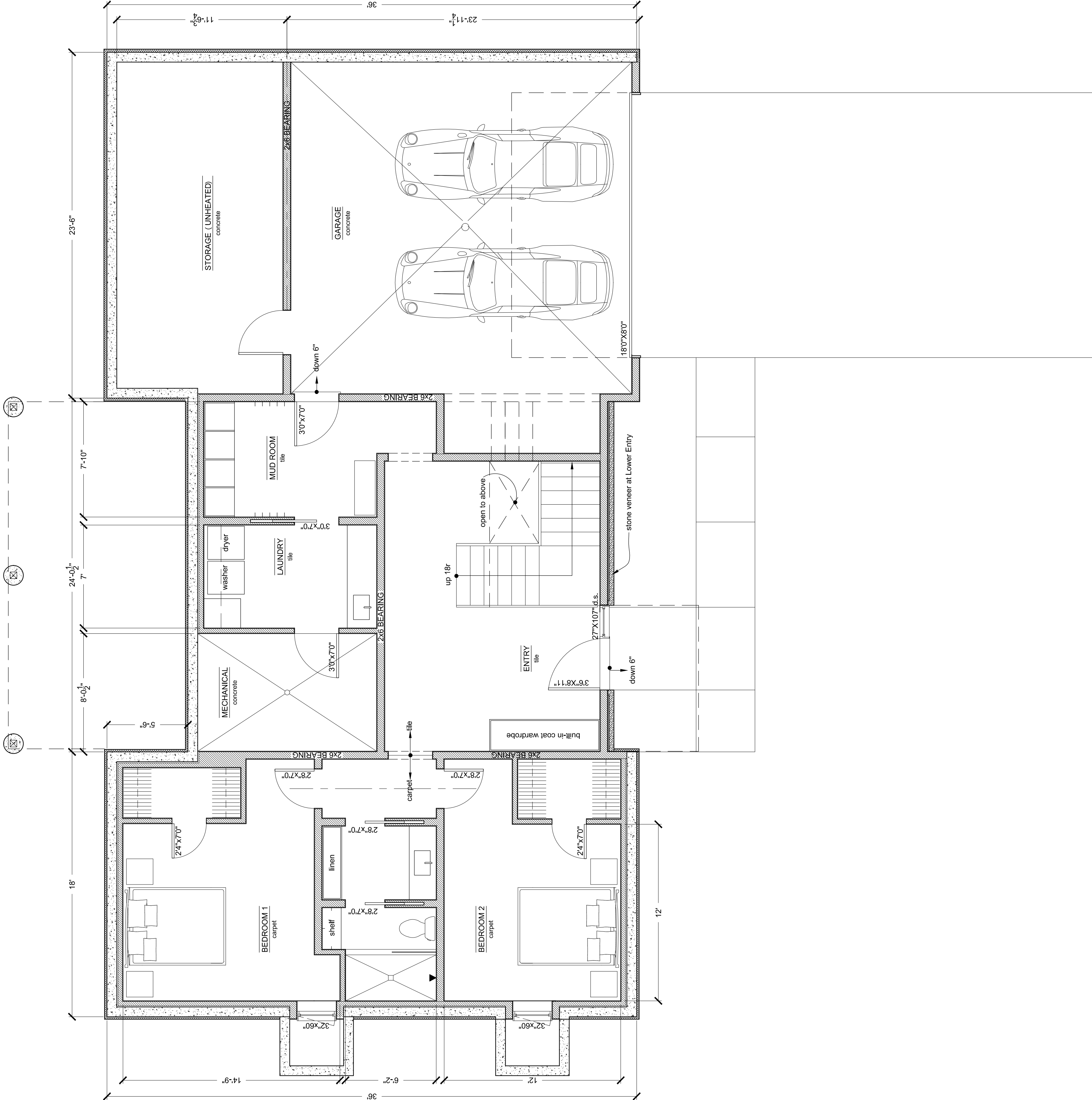
Legal Description:  
Lot 2, Block 1, RAMSLAND KNOLL,  
Hennepin County, Minnesota.

9,229 SQ. FT. OR 0.21 ACRES



| Site Project                            |                                     |                |        |
|-----------------------------------------|-------------------------------------|----------------|--------|
| 1058 Circle Dr E                        |                                     |                |        |
| Wayzata, MN 55391                       |                                     |                |        |
| Tree #                                  | Location                            | Type           | Status |
| TREE INVENTORY                          |                                     |                |        |
| 1                                       | NE Side of Property                 | 24\" Pine      | SAVE   |
| 2                                       | NE Side of Property                 | 18\" Locust    | SAVE   |
| 3                                       | SE Side of Property (Rear Lot Line) | 32\" Oak       | SAVE   |
| 4                                       | SW Side of Property                 | 13\" Oak       | REMOVE |
| 5                                       | NW Side of Property                 | 6\" Ash (Elm)  | REMOVE |
| 6                                       | NW Side of Property                 | 6\" Ash (Elm)  | REMOVE |
| 7                                       | NW Side of Property                 | 6\" Ash (Oak)  | SAVE   |
| 8                                       | NW Side of Property                 | 10\" Ash (Elm) | REMOVE |
| 9                                       | NW Corner of property               | 6\" Locust     | REMOVE |
| Comments:                               |                                     |                |        |
| Near Building Footprint - may harm tree |                                     |                |        |
| Heritage tree                           |                                     |                |        |
| Leaning and in building footprint       |                                     |                |        |
| Poor health, Dutch Elm Disease          |                                     |                |        |
| Near new driveway                       |                                     |                |        |
| Near new driveway                       |                                     |                |        |
| Poor health, Dutch Elm Disease          |                                     |                |        |
| Poor health                             |                                     |                |        |





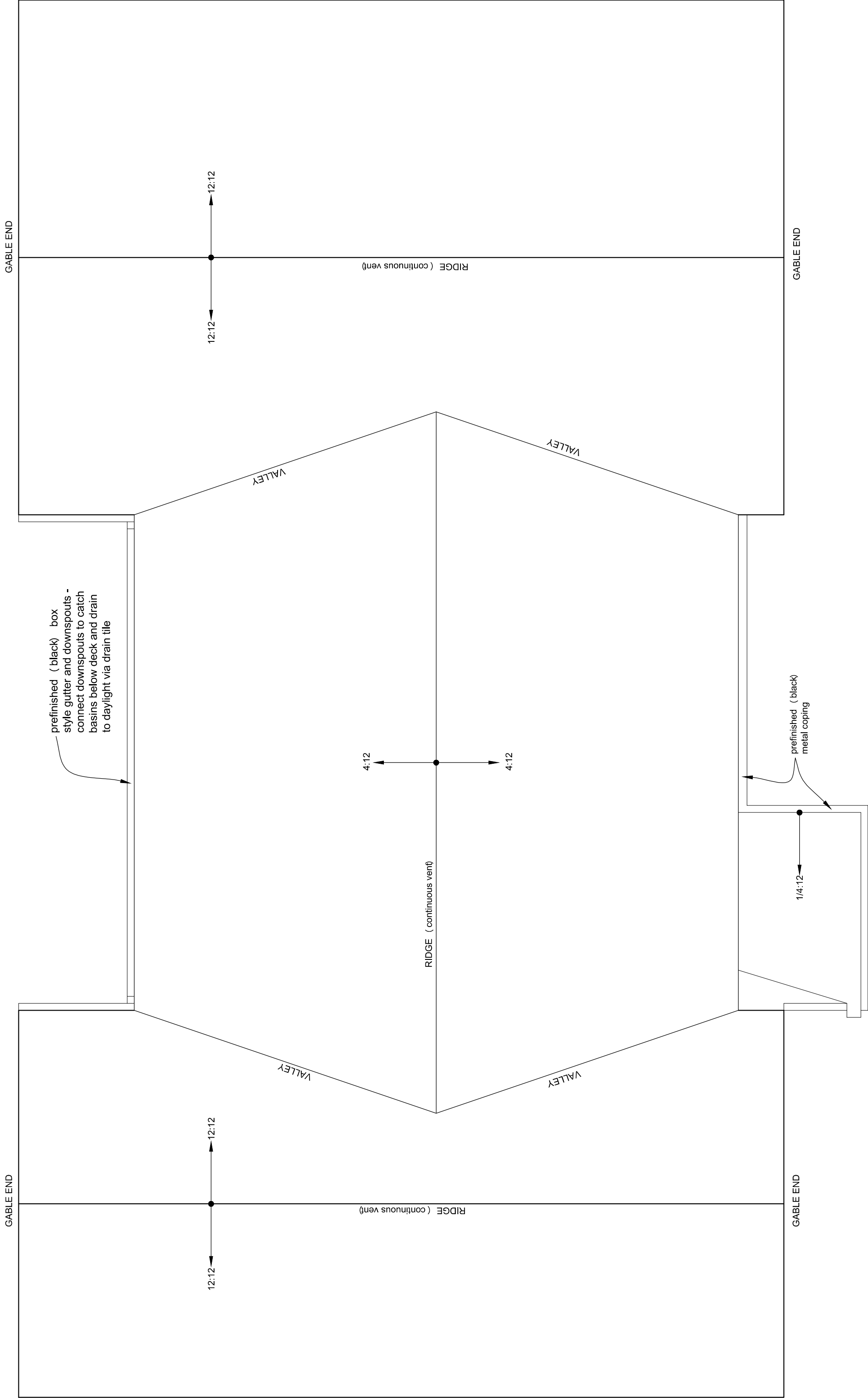
LOWER LEVEL FLOOR PLAN

Scale :  $\frac{1}{4}" = 1'-0"$   
Garage = 565 sf  
Finished = 1133 sf  
Unfinished = 97 sf  
Storage = 252 sf









1

A1.3

ROOF PLAN

Scale :  $\frac{1}{4}"=1'-0"$









PROJECT DIRECTOR:  
Julie Lindemann  
julie@elevationhomes.com

ARCHITECT:  
Bill Castaldi, AIA

STRUCT. ENGINEER:  
Align Structural  
Christian Soterman, PE

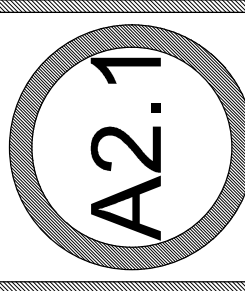
SHEET INDEX

- A0.0 COVER
- A0.1 EXIST. SURVEY
- A0.2 SITE PLAN
- A1.0 LOWER PLAN
- A1.1 MAIN PLAN
- A1.2 UPPER PLAN
- A1.3 ROOF PLAN
- A2.0 INT. ELEV.
- A2.1 EXT. ELEV.
- A2.2 EXT. ELEV.

ISSUED FOR:

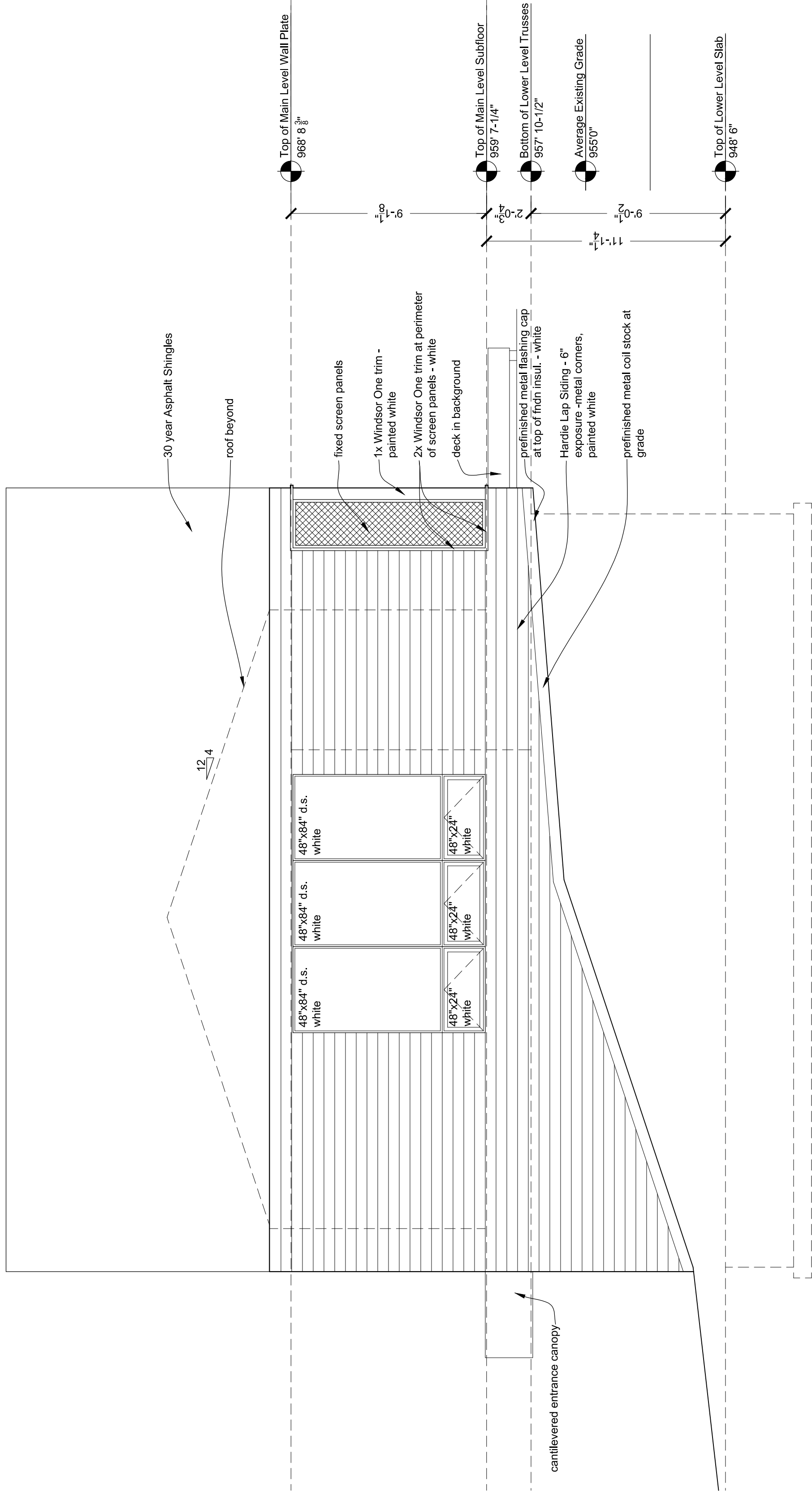
11-02-17 PRELIM. EST.  
11-06-17 CITY SUBMITTAL  
11-27-17 REVISED CITY  
07-31-18 REVISED

PROPOSED NEW CONSTRUCTION OF:  
**STOB RESIDENCE**  
1058 Circle Drive E  
WAYZATA, MN

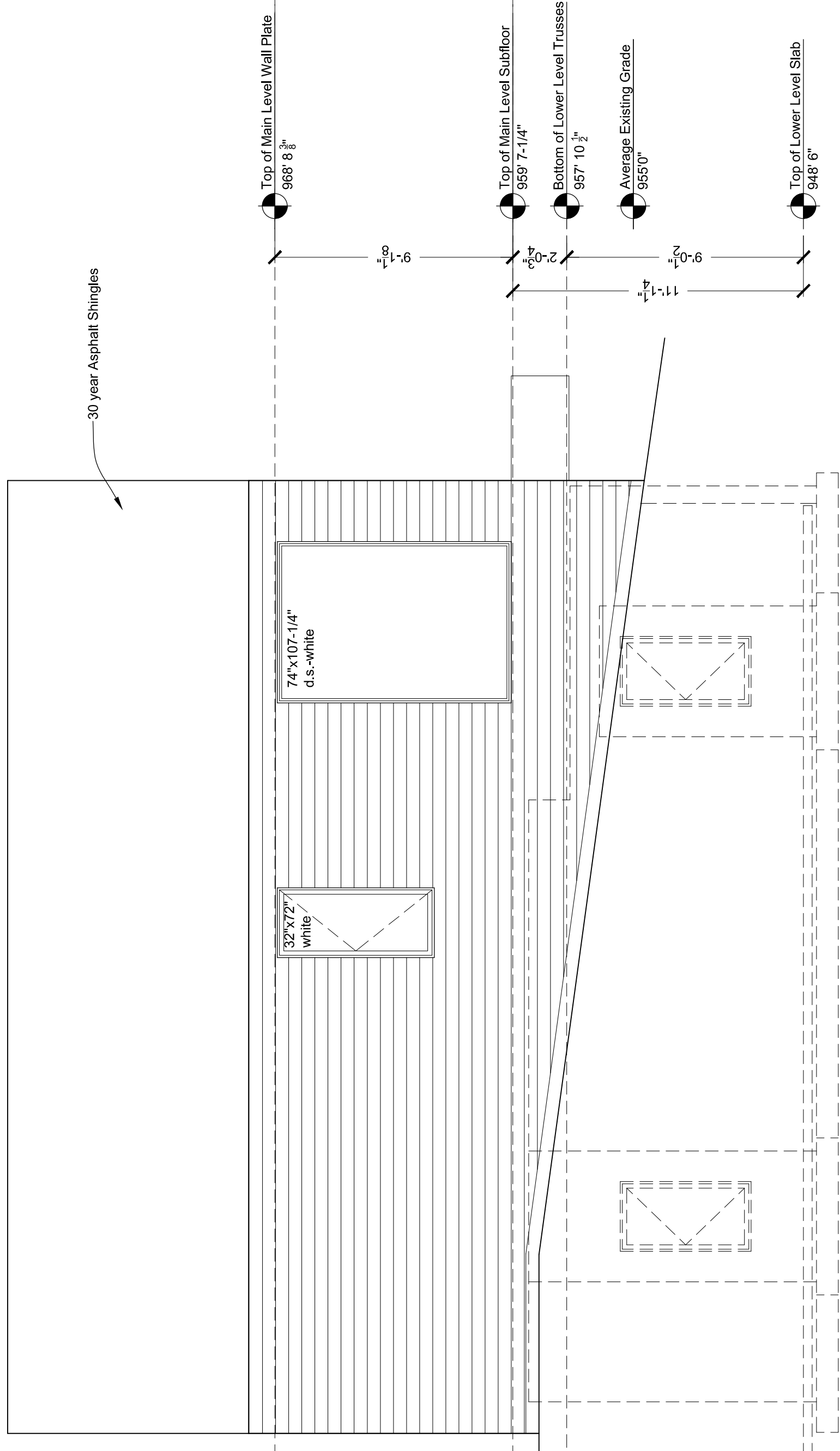


11-02-17 PRELIM. EST.  
11-06-17 CITY SUBMITTAL  
11-27-17 REVISED CITY  
07-31-18 REVISED

Highest Allowed Peak  
987' 0"

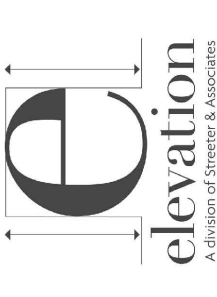


1  
A2.1  
SOUTH EXTERIOR ELEVATION  
Scale : 1/4"=1'-0"



1  
A2.1  
NORTH EXTERIOR ELEVATION  
Scale : 1/4"=1'-0"





PROJECT DIRECTOR:  
Julie Lindemann  
julie@elevationhomes.com

ARCHITECT:  
Bill Castaldi, AIA

STRUCT. ENGINEER:  
Align Structural  
Christian Solterman, PE

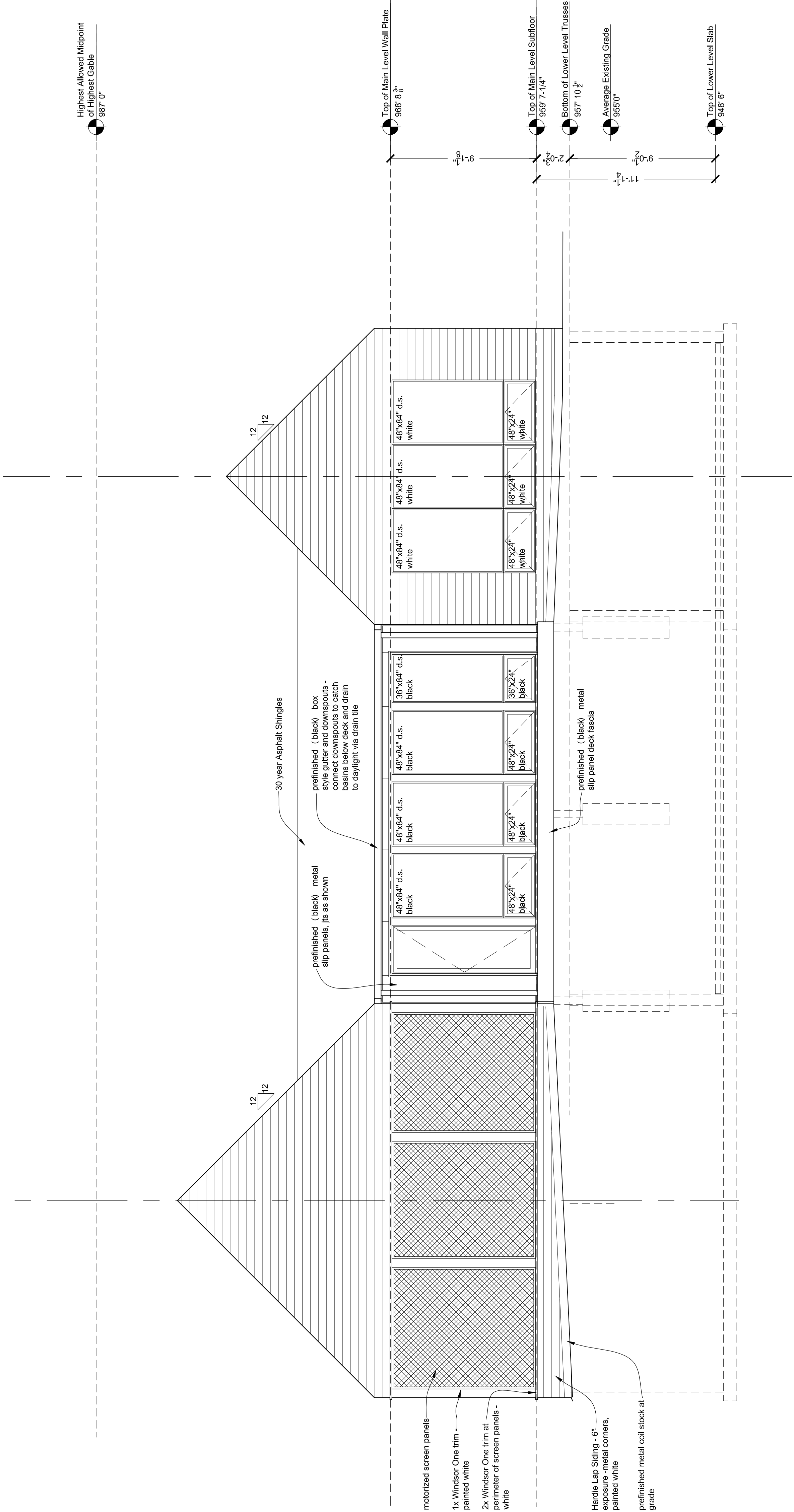
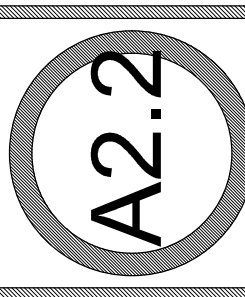
SHEET INDEX

- A0.0 COVER
- A0.1 EXIST. SURVEY
- A0.2 SITE PLAN
- A1.0 LOWER PLAN
- A1.1 MAIN PLAN
- A1.2 UPPER PLAN
- A1.3 COFFER PLAN
- A2.0 EXTERIOR ELEV.
- A2.1 EXT. ELEV.
- A2.2 EXT. ELEV.

ISSUED FOR:

11-02-17 PRELIM. EST.  
11-06-17 CITY SUBMITTAL  
11-27-17 REVISED CITY  
07-31-18 REVISED

STOP RESIDENCE  
PROPOSED NEW CONSTRUCTION OF:  
1058 Circle Drive E  
WAYZATA, MN



EAST EXTERIOR ELEVATION  
Scale - 1/4"=1'-0"

1  
A2.2

## RESOLUTION NO. 50-2008

### RESOLUTION APPROVING, WITH CONDITIONS, PRELIMINARY AND FINAL PLAT SUBDIVISION AT 1052 CIRCLE DRIVE E AND 1066 CIRCLE DRIVE E

**BE IT RESOLVED** by the City Council of Wayzata, Minnesota as follows:

#### **Section 1. BACKGROUND**

1.1 Development Application. Rolf and Janet Skjei, and Steve Cool (collectively, "the Applicant") have submitted a Development Application (the "Application") to subdivide the 1052 Circle Drive E into 3 buildable parcels, with a portion of land from the adjacent 1066 Circle Drive E (the "Subdivision" or the "Preliminary/Final Plat" or the "Project"). The Project would require the removal of the existing structure on the Property and a subdivision of the parcel.

1.2 Legal Description. The property identification numbers and owners of the properties involved in the Application are (collectively, the "Property"):

|                     |                   |                      |
|---------------------|-------------------|----------------------|
| 1052 Circle Drive E | 06-117-22-41-0043 | Rolf and Janet Skjei |
| 1066 Circle Drive E | 06-117-22-41-0048 | Steven J Cool        |

1.3 Land Use. The Property is located within the R-3A, Single and Two Family Residential District, as defined in Section 801.55 of the Wayzata Zoning Ordinance. The Property is guided for Low Density Single Family Residential use in the Wayzata Comprehensive Plan, and located within Planning District 7, as outlined in the Comprehensive Plan. The Property is located within the Shoreland Overlay District, as defined in Section 801.91 of the Wayzata Zoning Ordinance.

1.4 Notice. Notice of a public hearing on the Application was published in the Sun Sailor on October 23, 2008. A copy of the notice was also mailed to all property owners located within 350 feet of the Property on October 23, 2008.

1.5 Planning Commission Action. A public hearing on the Application was held at the Planning Commission's November 3, 2008 meeting at which the Planning Commission voted seven (7) in favor and zero (0) opposed to adopt findings and recommend that the City Council approve the Preliminary/Final Plat requested in the Application.

## Section 2. STANDARDS

2.1 Subdivision Approval Required. Chapter 805 of the Wayzata City Code, (the "Subdivision Ordinance") sets forth the procedure and substantive review criteria for applications for a subdivision. A subdivision is defined in the Subdivision Ordinance as (i) the division of land into two or more lots or (ii) the combination of two or more lots. Section 805.08.yy.<sup>1</sup> Before any plat can be recorded or of any validity, it must be referred to the City Planning Commission and approved by the City Council as having fulfilled the requirements of the Subdivision Ordinance. Section 805.03.

A. Goals. Under Section 805.2.b of the Subdivision Ordinance, subdivisions approved under the Subdivision Ordinance must be guided by the following:

1. Preserve and enhance Wayzata's "small town" character (Comprehensive Plan).
2. Respect the existing scale, character and pattern of the City, recognizing existing neighborhoods and commercial areas (Wayzata Physical Plan).
3. Support a pedestrian environment at a human, not automotive scale (Wayzata Physical Plan).
4. Relate development/redevelopment to the natural characteristics of the land to enhance the development through the preservation of attractive natural amenities (i.e., lakes, wetlands, creeks, wooded areas, slopes, etc.) (Comprehensive Plan).

B. Criteria for Approval. Under Section 805.14.e of the Subdivision Ordinance, the Planning Commission must consider the possible adverse effects of a preliminary plat and report its findings and recommendation to City Council. Its judgment must be based upon, but not limited to, the following factors:

1. The proposed subdivision or lot combination shall be consistent with the Wayzata Comprehensive Plan.
2. Building pads that result from a subdivision or lot combination shall preserve sensitive areas such as lakes, streams, wetlands, wildlife habitat, trees and vegetation, scenic points, historical locations, or similar community assets.

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<sup>1</sup> All sections cited in this Report are of the Wayzata Subdivision Ordinance, ch. 805 of City Code, unless otherwise noted.

3. Building pads that result from subdivision or lot combination shall be selected and located with respect to natural topography to minimize filling or grading.
4. Existing stands of significant trees shall be retained where possible. Building pads that result from a subdivision or lot combination shall be sensitively integrated into existing trees.
5. The creation of a lot or lots shall not adversely impact the scale, pattern or character of the City, its neighborhoods, or its commercial areas.
6. The design of a lot, the building pad, and the site layout shall respond to and be reflective of the surrounding lots and neighborhood character.
7. The lot size that results from a subdivision or lot combination shall not be dissimilar from adjacent lots or lots found in the surrounding neighborhood or commercial area.
8. The architectural appearance, scale, mass, construction materials, proportion and scale of roof line and functional plan of a building proposed on a lot to be divided or combined shall be similar to the characteristics and quality of existing development in the City, a neighborhood or commercial area.
9. The proposed lot layout and building pads shall conform with all relevant performance standards.
10. The proposed subdivision or lot combination shall not tend to or actually depreciate the values of neighboring properties in the area in which the subdivision or lot combination is proposed.
11. The proposed subdivision or lot combination shall be accommodated with existing public services, primarily related to transportation and utility systems, and will not overburden the City's service capacity.

2.2 Concurrent Preliminary/Final Plat.

Section 805.15 of the Subdivision Ordinance allows the City to review the preliminary and final plat simultaneously. The final plat shall incorporate all changes, modifications, and revisions required by the City. Otherwise, it shall conform to the approved preliminary plat.

2.3 Parkland Dedication. Section 805.37 of the Subdivision Ordinance requires that all newly created lots dedicate land, or fees in lieu of land, for public park and



recreation purposes in accordance to the criteria and formula listed in Section 805.37.

### **Section 3. FINDINGS**

The City Council of the City of Wayzata hereby confirms and memorializes that the Preliminary/Final Plat requested in the Application meet the applicable requirements of Wayzata's Zoning and Subdivision Ordinances, based upon the following findings of fact made on the record (as well as all Application materials, staff reports, public comment presented at the hearing, and the Report and Recommendation of the Planning Commission):

#### **3.1 Preliminary and Final Plat Subdivision.**

- A. Goals. The Subdivision is not inconsistent with the goals of the Subdivision Ordinance.
- B. Criteria for Approval.
  - 1. The Subdivision is not inconsistent with the Wayzata Comprehensive Plan.
  - 2. Building pads that result from the Subdivision would not negatively impact any sensitive areas. As a condition of approval, further review and approval of the plans for development within the Subdivision that would impact sensitive areas would be required.
  - 3. Building pads that result from the Subdivision would be selected and located with respect to natural topography to minimize filling or grading. As a condition of approval, further review and approval of the plans for development within the Subdivision that would impact filling and grading would be required.
  - 4. Existing significant trees would be retained where possible on the Property. As a condition of approval, further review and approval of the plans for development within the Subdivision that would impact the existing trees on the Property would be required.
  - 5. The Subdivision would not adversely impact the scale, pattern or character of the City, its neighborhoods, or its commercial areas as it would be consistent with the surrounding area.
  - 6. The design of a lot, the potential building pads, and the site layout of the Preliminary/Final Plat responds to and is reflective of the surrounding lots and neighborhood character.

7. The lot size that results from the Subdivision would not be dissimilar from adjacent lots or lots found in the surrounding neighborhood.
  8. The architectural appearance, scale, mass, construction materials, proportion and scale of roof line and functional plan of the buildings for the new lot created by the Subdivision will be similar to the characteristics and quality of existing development in the City and neighborhood. As a condition of approval, further review and approval of the building and architectural plans for development would be required.
  9. The proposed lot layout and building pads of the Subdivision would conform will all relevant performance standards in the R-3A Zoning District.
  10. The Subdivision would not tend to or actually depreciate the values of neighboring properties in the area in which the Subdivision is proposed.
  11. The Subdivision would be accommodated with existing public services, primarily related to transportation and utility systems, and will not overburden the City's service capacity.
- C. Parkland Dedication. The Applicant shall be required to pay a minimum of two thousand five hundred dollars (\$2,500.00) or ten percent (10%) of the determined land value, whichever is greater, for Parkland Dedication fees, as required under Section 805.37(i)(1) of the Subdivision Ordinance for the creation of a new single-family lot.

#### Section 4. CITY COUNCIL ACTION

- 4.1 Preliminary and Final Plat Subdivision. Based on the Findings of this Resolution, the request for approval of the Preliminary/Final Plat, as set forth in the Application is **APPROVED** subject to all of the following conditions (failure to comply with any one of these conditions shall result in the revocation of this approval):
- A. Park Dedication fees must be paid as required by the Subdivision Ordinance, in an amount of two thousand five hundred dollars (\$2,500.00) per lot or ten percent (10%) of the determined land value, whichever is greater, to be paid at the time of recording of the final plat for the Subdivision.
  - B. That all expenses of the City of Wayzata, including consultant, expert, legal, and planning fees incurred be fully reimbursed by the Applicants.

- C. The Applicant must apply for and obtain all necessary building permits from the City, prior to commencement of any construction activity on the Property.
- D. Tree Preservation Plans must be prepared for each lot and submitted to the City for review prior to the submission of building permits by either the Applicant or a future owner.
- E. Grading, Drainage, and Erosion Plans must be prepared and submitted to the City for review by the Applicant or a future owner prior to the submission of building permits and be coordinate with the Tree Preservation Plan for each lot.
- F. A Final Plat document shall be submitted to the City Council for review and approval.
- G. The Applicant must record the Final Plat document with the appropriate Hennepin County officials, and provide a recorded copy to the City.
- H. Prior to issuance of building permits, the Applicant or future homeowner shall submit plans for review and approval by the Planning Commission and the City Council depicting architectural appearance, scale, mass, construction materials, proportion and scale of roof line and functional plan of the buildings proposed to demonstrate similarity to the characteristics and quality of the existing homes in the neighborhood as required under Section 805.14.e.8 and 805.14.e.9.

Adopted by the Wayzata City Council this 1st day of December, 2008.

ATTEST:

  
\_\_\_\_\_  
City Manager Allan Orsen

  
\_\_\_\_\_  
Mayor Andrew Humphrey

**ACTION ON THIS RESOLUTION:**

Motion for adoption: Bader

Seconded by: Bangert

Voted in favor of: Amdal, Bader, Bangert, Humphrey, Willcox

Voted against: None

Abstained: None

Absent: None

Resolution adopted.

I hereby certify that the foregoing is a true and correct copy of a resolution adopted by the City Council of the City of Wayzata, Minnesota, at a duly authorized meeting held on December 1, 2008.



Sandy Langley, City Clerk  
SEAL



## City of Wayzata City Council Agenda Report

|                                                                                             |                        |
|---------------------------------------------------------------------------------------------|------------------------|
| <b>MEETING DATE:</b> January 16, 2018                                                       | <b>AGENDA ITEM:</b> 7i |
| <b>TITLE:</b> Approval of 2018 Lease Agreement with Wayzata Historical Society              |                        |
| <b>PROPOSED MOTION:</b> To Approve the 2018 Lease Agreement with Wayzata Historical Society |                        |
| <b>PREPARED BY:</b> Kathy Ovshak, Senior Accountant                                         |                        |
| <b>REVIEWED BY:</b> Jeffrey Dahl, City Manager                                              |                        |

**ACTION REQUESTED:**

Staff recommends approval of the attached Lease Agreement with Wayzata Historical Society located in the Depot at 402 Lake Street East.

**FINANCIAL OR BUDGET CONSIDERATION:**

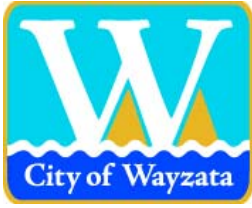
The 2018 Lease Agreement has a rate increase of 2%, based on CPI, which equates to a \$25.00 annual increase. Annual rent will be \$1,276, which is paid on a quarterly basis of \$319.00 each quarter.

**BACKGROUND:**

Rent increases are every other year based on CPI.

**ATTACHMENTS:**

1. 2018 Lease Agreement with Wayzata Historical Society



**City of Wayzata**  
600 Rice Street  
Wayzata, MN 55391-1734

---

**Mayor:**  
Ken Willcox

**City Council:**  
Bridget Anderson  
Johanna McCarthy  
Andrew Mullin  
Steven Tyacke

**City Manager:**  
Jeffrey Dahl

## LEASE

THIS LEASE, entered into this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by and between the City of Wayzata, a municipal corporation (hereinafter "Lessor"), and the Wayzata Historical Society, a Minnesota non-profit corporation ("Lessee").

WITNESSETH, in consideration of the covenants and agreements of the respective parties herein contained, the parties hereto agree as follows:

1. **Premises.** Lessor does hereby demise and let unto Lessee and the Lessee leases and hires from Lessor those certain premises located in that building commonly known as the Wayzata Depot, 402 E. Lake Street, Wayzata, MN. The finished office space (800 sq. ft.), together with access to all common areas, including restrooms (200 sq. ft.), and storage space as needed in basement.
2. **Tenn.** The lease period shall commence in the year 2018 on the first day of January, and shall terminate on the 31st day of December, provided that either party may cancel this lease by giving the other party no less than ninety (90) days written notice thereof and provided further that any cancellation date shall be effective no earlier than July 1. Said term shall be automatically renewed for like periods of time unless terminated as provided above.
3. **Rent.** As rent therefore Lessee covenants to pay Lessor an annual rent of \$1,276.00 payable in quarterly installments of \$319.00 on or before the first day of each quarter.
4. **Purpose.** The leased property shall be used for the normal purposes of Lessee, together with incidental storage in conjunction therewith.
5. **Sublease.** Lessee shall not assign this lease or sublet all or any part of said premises without the written consent of Lessor.
6. **Fire.** If the premises becomes untenable or unfit for occupancy in whole or in part by the total or partial destruction of said building by fire or other casualty and Lessor shall fail or refuse within 10 days thereafter to agree in writing to restore the same within 90 days after such loss, this lease may be terminated by either Lessor or Lessee by notice in writing. If Lessor agrees in writing within 10 days after such loss, the rent to be paid hereunder pending such restoration shall be abated in proportion that the impairment of the use of said premises to Lessee bears to the total rent to be paid during the term of the lease.
7. **Utilities.** Lessor will provide for electricity, natural gas, water and sewer to the premises. Lessee will pay for telephone, cable TV, and other personal choice amenities used on the premises by the Lessee.
8. **Furnishing.** The premises are leased unfinished with the exception of the wooden depot benches. All other furnishings shall belong to and be the responsibility of Lessee.

9. Additional Interior Improvements. Lessee may make, at its own expense and with the written consent of Lessor for improvements costing more than \$500.00, such further and additional interior improvements in the leased premises as it shall deem necessary and proper.
10. Janitor. Lessee will provide its own janitorial services at its own expense for the demised premises and for the restroom facilities adjacent thereto. Lessor shall at its own expense provide maintenance, including snow removal and cleaning for the driveways, the roof, the exterior of the building, the lawns and the parking area. Lessee will keep the leased premises in a neat, clean and respectable condition. Lessor will replace glass broken on the premises during the term on the lease.
11. Insurance. Lessee hereby holds Lessor harmless from any and all liability that may arise out of Lessee's use or occupancy of said premises, and Lessee will obtain, at its own expense, policies of liability insurance with the Lessor endorsed thereon as an additional insured in an amount not less than \$1,000,000 per person injured and \$2,000,000 per accident. Lessee will furnish Lessor appropriate certificates showing such coverage and that the City be listed as additional insured.
- Lessor will, at his own expense, obtain fire and extended coverage insurance on the entire building and such contents thereof as are owned by Lessor. Lessor shall obtain waiver of subrogation clauses on such policies so as to relieve Lessee of any liability to Lessor or any other person for causes or events for which Lessor was covered under such policies.
12. Entry by Lessor. Lessor may at all reasonable times enter said premises to inspect the same and to maintain and make repairs therein.
13. Repairs. Lessor shall make all necessary structural repairs and repairs to the exterior of the building except as specifically provided above.
14. Binding Effect. This agreement shall be binding upon the successors and assigns of the parties hereto.

IN WITNESS WHEREOF, the parties hereto have caused the foregoing agreement to be executed the day and year first above written.

CITY OF WAYZATA, MINNESOTA (Lessor)

By \_\_\_\_\_  
Ken Willcox, Mayor

And - - - - -  
Jeffrey Dahl, City Manager

WAYZATA HISTORICAL SOCIETY (Lessee)

By \_\_\_\_\_  
Joanie Holst, President

And - - - - -  
Andy L. Bond, Treasurer



## City of Wayzata City Council Agenda Report

|                                                                                                                            |                        |
|----------------------------------------------------------------------------------------------------------------------------|------------------------|
| <b>MEETING DATE:</b> January 16, 2018                                                                                      | <b>AGENDA ITEM:</b> 7j |
| <b>TITLE:</b> Approval of 2018 Use Agreement and License Agreement with Lake Minnetonka Conservation District              |                        |
| <b>PROPOSED MOTION:</b> To Approve the 2018 Use Agreement and License Agreement with Lake Minnetonka Conservation District |                        |
| <b>PREPARED BY:</b> Kathy Ovshak, Senior Accountant                                                                        |                        |
| <b>REVIEWED BY:</b> Jeffrey Dahl, City Manager                                                                             |                        |

**ACTION REQUESTED:**

Staff recommends approval of the attached Use Agreement and License Agreement with Lake Minnetonka Conservation District.

**FINANCIAL OR BUDGET CONSIDERATION:**

The 2018 Use Agreement has a rate increase of 2%, based on CPI, which equates to a \$66.00 dollar annual increase. The Annual Community Room Use amount for 2018 will be \$3,385.00.

**BACKGROUND:**

Increases are calculated every year based on CPI.

**ATTACHMENTS:**

1. 2018 Use Agreement with Lake Minnetonka Conservation District
2. 2018 License Agreement with Lake Minnetonka Conservation District



# AGREEMENT

This Agreement made and entered into by and between the City of Wayzata, a municipal corporation, hereinafter referred to as "Landlord"; and the Lake Minnetonka Conservation District, a Minnesota municipal corporation (the "LMCD").

## WITNESSETH:

Landlord and LMCD enter into this Agreement for the use of meeting space in the Wayzata City Hall Community Room located at 600 Rice Street, Wayzata, Minnesota, 55391;

Now, therefore, the parties mutually agree as follows:

Landlord hereby agrees to allow LMCD to use the Community Room in accordance with the City's "Community Room Policy" and the following terms:

- A. LMCD agrees to schedule the community room through the City of Wayzata per the Wayzata Community Room Scheduling and Use Policy rules. (Two meetings per month, set-up time starting at 4 PM, provide own DVD's, tapes etc., vacuum if needed, empty trash and recycling if full from meeting.) The City reserves the right to revoke permission to use the Community Room on a Monday – Thursday evening if the Community Room is needed for a City Council, Planning Commission, or other City government meeting.
- B. LMCD agrees to return the Community Room back to its standard configuration after each use.
- C. LMCD agrees to be responsible for any liability, damage or loss to the City from the LMCD's use of the Community Room as follows: The LMCD agrees to save harmless, protect, and indemnify the City and its employees, Council Members and agents from and against any and all losses, damages, claims, suites or actions judgments, and costs that may arise or grow out of any injury to or death of persons or damage to property, arising out of and attributable to the acts or omissions of, or use by the LMCD, its agents, servants, employees, or guests of the Community Room and the contents therein except as may be the result of the City's sole negligence. The City shall not be responsible for the loss of or damage to property or injury to person, occurring in or about the Community Room while in use by the LMCD. The LMCD agrees that if the LMCD, or its agents or employees cause any damage to the Community Room or contents therein, normal wear and tear exempted, it shall immediately repair such damage or replace such equipment or personal property so damaged. Nothing herein shall be deemed a waiver by the LMCD of the limitations on liability set forth in Minnesota Statutes, Chapter 466.
- D. For the calendar year 2018, LMCD agrees to pay the sum of Three Thousand Three Hundred Nineteen dollars (\$3,385.00) for the use of the Wayzata Community Room. Effective for subsequent years, Landlord shall, at its sole discretion, have the right to make reasonable adjustments to the room use fee.
- E. LMCD shall have the right to terminate its use of the Community Room upon 30-days written notice to Landlord.

The effective date of this Agreement is January 1, 2018.

City of Wayzata

Lake Minnetonka Conservation District

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
Date

\_\_\_\_\_  
Chair

\_\_\_\_\_  
Date

\_\_\_\_\_  
City Manager

\_\_\_\_\_  
Date

\_\_\_\_\_  
Executive Director

\_\_\_\_\_  
Date

## LICENSE AGREEMENT

(Wayzata City Hall Cable Television Video Production Studio)

This License Agreement ("Agreement") is made as of the \_\_\_\_\_ day of \_\_\_\_\_, 201\_\_\_\_ by and between the Lake Minnetonka Conservation District, a Minnesota municipal corporation (the "LMCD") and the City of Wayzata, a Minnesota municipal corporation (the "City").

### WITNESSETH

WHEREAS, THE City owns and operates a cable television/video production facility (the "Studio") (for purposes of this Agreement the Studio shall be defined to include all equipment and personal property located within the Studio), which said facility located in the Wayzata City Hall located at 600 Rice Street East, Wayzata Minnesota; and

WHEREAS, the LMCD desires to broadcast the LMCD meetings from the Wayzata City Hall Community Room by using the Studio; and

WHEREAS, the City is willing to allow the LMCD to use the Studio so long as the LMCD enters into this Agreement;

NOW, THEREFORE, in consideration of mutual covenants herein contained, and in consideration of **One Dollar** and other good and valuable consideration, the receipt and sufficiency which is hereby acknowledged by the parties, the parties agree as follows:

1. License. The City hereby licenses to the LMCD for the use of the Studio and the equipment and improvements located within the Studio as well as other personal property located within the Studio. Such use shall be on a nonexclusive basis subject to the approval of the City, within the City's sole discretion.
2. Purpose. The LMCD agrees that it shall use the Studio for the sole purpose of producing LMCD meetings that are held in the Wayzata City Hall Community Room.
3. Personnel. As a condition of the license granted by the City to the LMCD under this Agreement, the LMCD agrees that any time it uses the Studio, the Studio will only be used by a videographer who will be under the direct supervision of LMCD Executive Director. One videographer shall be assigned to produce LMCD meetings in the Wayzata City Hall Community Room who will be fully trained in by City employees before broadcasting any meetings. Such personnel may be employees of LMCD or independent contractors. Such videographer must be approved by the City in the City's sole discretion. The LMCD shall be solely responsible for wages, workers' compensation insurance, wage withholding for social security, income tax and other compensation and taxes to be paid to and on behalf of such videographer.

4. Operations.

A. LMCD shall:

- i. Return the Studio to correct working order;
- ii. Not remove any City equipment or property from the Studio except as authorized by appropriate City personnel;
- iii. Secure the Studio and City Hall when it leaves the Studio;
- iv. Agree to abide by all rules, regulations, and requests adopted by the City in regard to use of the Studio;
- v. Only use the Studio for the broadcast of LMCD meetings.

B. City shall:

- i. Provide one key and fob to allow access to the Studio and City Hall;
- ii. Provide custodial services, cabinets, chairs and such other furniture as City determines is necessary for operation of the Studio.

5. Indemnification, Property Damage and Liabilities. The LMCD agrees to exonerate, save harmless, protect, and indemnify the City and its employees, Council Members and agents from and against any and all losses, damages, claims, suits or actions, judgments, and costs that may arise or grow out of any injury to or death of persons or damage to property, arising out of and attributable to the acts or omissions of, or use by the LMCD, its agents, servants, employees, or guests of the Studio and the contents therein except as may be the result of the City's sole negligence. The City shall not be responsible for the loss of or damage to property or injury to person, occurring in or about the Studio while in use by the LMCD. The LMCD agrees that if any damage is caused to the Studio or contents therein it shall immediately repair such damage or replace such equipment or personal property so damaged. Nothing herein shall be deemed a waiver by the LMCD of the limitations on liability set for in Minnesota Statutes, Chapter 466.
6. Insurance. The LMCD agrees that it shall maintain insurance in amounts and substance reasonably acceptable to the City, which said insurance shall insure for damage caused to the Studio and its contents caused by the LMCD. Upon the request of the City, the LMCD shall provide the City with proof of such insurance. If requested by the City, the insurance shall call for 30 days written notice to the City before cancellation of such insurance. The City must be named as a certificate holder or an additional insured. Nothing herein shall be deemed a waiver of the limitations on liability set forth in Minnesota Statutes, Chapter 466.
7. Notice. If a notice is given pursuant to the terms of this Agreement, said notice shall be by US mail, certified, return receipt requested, addressed to the City as follows: City Manager, City of Wayzata, 600 Rice Street E, Wayzata, Minnesota 55391; to LMCD at 5341 Maywood Road, Suite 200, Mound, MN 55364.
8. Assignment. This agreement may not be assigned by LMCD to a third party without the written consent of the City, which may be withheld in the City's sole judgment.

9. Term. The term of this License shall be from the date hereof until Midnight on December 31, 2018.
10. Miscellaneous. The City, by entering into this Agreement makes no representation or warranty regarding the fitness of the Studio and its equipment and personal property as being suitable for the purposes of the LMCD. The LMCD agrees that the Studio and its contents are being provided on an “as is” basis. The LMCD agrees that they shall be solely responsible for the quality of the production as a result of the LMCD’s use of the Studio.
11. Termination. Either party may terminate this Agreement at any time, for any reason or no reason, upon thirty (30) days written notice to the other parties.
12. Governing Law. This Agreement shall be construed in accordance with the laws of the State of Minnesota.
13. Entire Agreement. This Agreement contains the entire agreement of the parties with respect to all matters regarding the rights and obligations of each party regarding the operation, access and use of the Studio, and this Agreement supersedes all prior agreements and understandings, oral and written, between the City and LMCD regarding use of the Studio.
14. Binding Effect. This agreement shall inure to the benefit of the parties hereto and shall be binding upon the parties hereto and their respective successors and assigns.
15. Headings. The article, section, and other headings contained in this Agreement are for reference purposes only and shall be deemed to be a part of this Agreement or to affect the meaning or interpretation of this Agreement.
16. Counterparts. This Agreement may be executed in any number of counterparts, and be different parties on different counterparts, each of which, when executed, shall be deemed to be an original, and all of which together shall be deemed to be one and the same instrument. This Agreement shall be deemed fully executed when each party hereto has executed a counterpart hereof.
17. Severability. If any term, condition, or provision of this Agreement, or the application thereof to any circumstance, shall be invalid or unenforceable to any extent, the remaining terms, covenants, conditions, and provision of this Agreement shall not be affected thereby and each remaining term, covenant, condition, and provision of this Agreement shall be valid and shall be enforceable to the fullest extent permitted by law. If any provision of this Agreement is so broad as to be unenforceable, such provision shall be interpreted to be only as broad as is enforceable.

IN WITNESS WHEREOF, the parties have executed this Agreement on the date first above written.

**CITY:**

CITY OF WAYZATA

By \_\_\_\_\_  
It's Mayor

Date: \_\_\_\_\_

And by \_\_\_\_\_  
It's City Manager

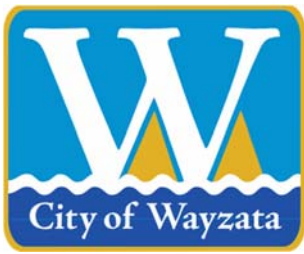
**LMCD:**

LAKE MINNETONKA CONSERVATION  
DISTRICT

By \_\_\_\_\_  
Its Board Chair

Date: \_\_\_\_\_

And by \_\_\_\_\_  
Its Executive Director



## City of Wayzata City Council Agenda Report

|                                                                           |                        |
|---------------------------------------------------------------------------|------------------------|
| <b>MEETING DATE:</b> January 16, 2017                                     | <b>AGENDA ITEM:</b> 8a |
| <b>TITLE:</b> Presentation of 2017 City of Wayzata Annual Report          |                        |
| <b>PROPOSED MOTION:</b> N/A                                               |                        |
| <b>PREPARED BY:</b> All City Department Heads, Managers, and Coordinators |                        |
| <b>REVIEWED BY:</b> Jeffrey Dahl, City Manager                            |                        |

**ACTION REQUESTED:**

The annual report is for informational purposes only.

**FINANCIAL OR BUDGET CONSIDERATION:**

N/A

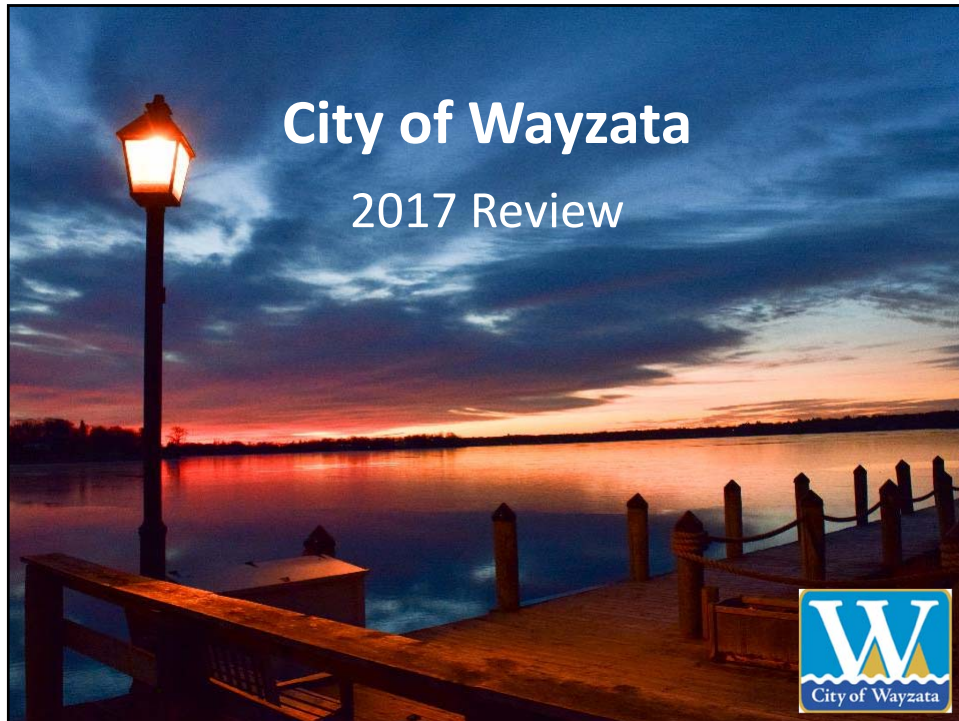
**BACKGROUND:**

Attached to this memo is a slideshow highlighting the major accomplishments of the organization during 2017. Staff will be going through the slideshow at the meeting and answering any questions the Council may have.

All City Council Members and City Staff should be commended for an incredibly productive year and for helping to make this organization and community an even better place to live, work, and visit.

**ATTACHMENTS:**

1. 2017 City of Wayzata Annual Report (Slide Show)



## Administration

### City Manager's Office

- Strategic Plan adopted in April
- New Council Orientation in January
- Organizational Report updated in October
- Wellness Program implemented throughout year
- Police Memorial Coordination
- Farmers Market Relocation to Lake/Broadway
- Lake Effect

## Administration

### **Business Licensing**

- 318 Business Licenses issued, compared to 294 in 2016 and 236 in 2015
- *Examples: Car wash, food, gasfitters, special events, kennel, lodging, liquor, massage, public pool, sidewalk café, tobacco, and tree removal and treatment*

## Administration

### **Communications**

- Parks & Trails Newsletter created w/98 subscribers
- Police Twitter account established
- FD Recruitment videos created
- Work continues on website improvements such as digital code of ordinances and council packets



## Administration

### Communications

| Social Media                       | 2016  | 2017  |
|------------------------------------|-------|-------|
| City Facebook Likes                | 900   | 1,204 |
| City Twitter Followers             | 930   | 1,347 |
| Wayzata Bar & Grill Facebook Likes | 1,531 | 1,614 |
| Wayzata Bar & Grill Twitter        | 637   | 644   |
| Wayzata Wine & Spirits Facebook    | 384   | 400   |
| Wayzata Wine & Spirits Twitter     | 443   | 479   |
| Wayzata Police Facebook            | 1,861 | 3,242 |
| Wayzata Police Twitter             | -     | 619   |

## Administration

### Finance

- 2017 to end w/positive General Fund balance of approx. \$300,000, due to permit, inspection, and license revenue
- Special Legislation received for Widsten TIF District to allow pay back of ramp expenditures until 2022 – a net influx of approximately \$2M
- Established new TIF District #6 – Downtown West
- Bond rating reinstated to AAA
- Refunding of Water Bonds will save approx. \$300,000
- 2018 General Fund budget levy increase stayed under 2%
- Tax rate decreased from 24.72% in 2016 to 23.35% in 2017 and forecasted to continue to decline to 21.75% in 2018

## Administration

### Motor Vehicle

|                              | 2016 Actual     | 2017 Actual     |
|------------------------------|-----------------|-----------------|
| Revenue                      | \$552,514       | \$521,305       |
| Expenses                     | \$333,539       | \$366,943       |
| Contribution to General Fund | <u>\$50,000</u> | <u>\$50,000</u> |
| Net Income                   | \$168,975       | \$104,362       |

## Administration

### Motor Vehicle

- Results of new MNLARS system has been:
  - More mail/online transactions
  - No fee transactions
  - More delays
  - Additional staffing and training
- Processed 59,750 dealer and customer transactions (60,750 in 2016) and 2,541 passports (2,468 in 2016).
- Added dealerships including Jaguar/Land Rover of Minneapolis, K-BID, Midwest Auto Sales and River Valley Power Sports

## Planning and Building

### Planning

- Lead engagement process for the 2040 Comprehensive Plan Update

| Number of Development Applications |    |
|------------------------------------|----|
| 2017                               | 38 |
| 2016                               | 16 |
| 2015                               | 24 |
| 2014                               | 24 |
| 2013                               | 26 |

|                                                                                   |                                                                                                                                                                                                                                              |
|-----------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|  | <b>Telecommunications Tower</b><br><b>140 Barry Ave N</b><br>New 155-ft telecommunications tower at Wayzata West Middle School.<br>Approved by City Council in March 2017<br>Construction completed                                          |
|  | <b>Wayzata Blu</b><br><b>259, 269 &amp; 275 Lake St E &amp; 339 Barry Ave S</b><br>3-story mixed use building with office and 18 residential condominiums<br>Approved by City Council in September 2017<br>Construction expected Spring 2018 |
|  | <b>Nolan Properties</b><br><b>1330 Wayzata Blvd E</b><br>Redevelopment of KFC site into 4,500 sq. ft. retail commercial building<br>Approved by City Council in June 2017<br>Construction started Fall 2017                                  |
|  | <b>233 Condominiums</b><br><b>253 Lake St E</b><br>16 unit residential condominium building<br>Concept Plan approved by City Council in December 2017                                                                                        |

## Planning and Building

### Building and Inspections

|                                        | 2017          | 2016          | 2015          | 2014          | 2013          | 5 Year Average |
|----------------------------------------|---------------|---------------|---------------|---------------|---------------|----------------|
| Total permits issued                   | 685           | 644           | 825           | 672           | 554           | 676            |
| New single-family home permits         | 14            | 19            | 16            | 27            | 23            | 20             |
| Single-family residential demo permits | 15            | 8             | 12            | 20            | 12            | 13             |
| Number of inspections                  | 1,527         | 1,671         | 2,216         | 2,025         | 1,344         | 1,757          |
| Residential construction value         | \$ 26,857,992 | \$ 25,860,934 | \$ 33,063,269 | \$ 65,388,950 | \$ 27,986,182 | \$ 35,831,465  |
| Commercial construction value          | \$ 8,204,643  | \$ 49,622,864 | \$ 24,171,575 | \$ 17,547,366 | \$ 58,555,814 | \$ 31,620,452  |
| Total construction value               | \$ 35,062,635 | \$ 75,483,798 | \$ 57,234,844 | \$ 82,936,316 | \$ 86,541,996 | \$ 67,451,918  |

## Public Works

### Engineering

- Bushaway Road Volunteer Planting event held on April 22
- Met Council Environmental Sewer completed its final phase of work in Wayzata
- Monopole at Wayzata West Middle School constructed to allow cellular vendors to remove & relocate equipment from city water tower
- Mill Street Parking Ramp Completed
- Reconstruction/Repaving of Glenbrook, Hillside, Huntington

## Public Works

### Utilities

- Completed 1,497 utility locate requests for underground excavation in 2017

### Water

- Completed 133 work orders to replace or repair failed water meters
- Municipal Water Supply production - 258,000,000 gallons (2.55 Mg – 2016)
- Completed rehabilitation of Municipal Well #3

## Public Works

### **Sanitary Sewer System**

- Inspected 10 new residential connections
- 10,316 ft of sewer lines were jetted, cleaned, televised, and inspected
- Lined 5159 ft of sewer main
- Rehabbed two lift stations
- Yearly service to City's 25 Lift Stations

## Public Works

### **Streets**

- Assisted with 52 Special Event permits within City (traffic control, road closures, etc.)
- Sign and street lighting maintenance throughout City
- Completed inspection of all City-owned sidewalks
- Oversaw replacement of approx. 1000 SF of sidewalk due to deterioration, trip hazards, etc.
- Completed yearly inspection and cleaning of 38 storm water sump manholes to prevent sediment from entering Lake Minnetonka

## Public Works

### Parks

- Assisted with Bushaway Planting and Highway 12 Cloverleaf Planting events
- Worked with St. Bart's to establish community garden on Broadway
- Planted 55 trees in a 20' x 50' gravel bed nursery for replacement program
- Removed 12 ash trees in City ROW and replanted 55 trees in City ROW and parks
- Replaced several annual gardens with perennial gardens
- Implemented Parks and Trails initiatives such as an additional Big Adirondack Chair and the "Little Beach" pedestrian dock

## Police

|                         | 2013        | 2014        | 2015        | 2016        | 2017        | %          |
|-------------------------|-------------|-------------|-------------|-------------|-------------|------------|
| Citations               | 1225        | 1717        | 1963        | 1731        | 1500        | -13%       |
| Warnings **             | 795         | 929         | 1019        | 1328        | 1350        | +2%        |
| DWI **                  | 38          | 33          | 30          | 38          | 55          | +45%       |
| Accidents               | 272         | 265         | 263         | 224         | 256         | +14%       |
| Burglary                | 19          | 23          | 12          | 12          | 15          | +25%       |
| Firearm Permits         | 54          | 39          | 46          | 44          | 37          | -16%       |
| Death Investigation     | 3           | 9           | 12          | 12          | 15          | +25%       |
| Crime Sex Conduct       | 4           | 4           | 2           | 4           | 3           | -25%       |
| Assault                 | 31          | 20          | 40          | 37          | 33          | -11%       |
| Theft/Forgery           | 111         | 114         | 172         | 141         | 114         | -19%       |
| Medicals                | 593         | 757         | 851         | 864         | 891         | +3%        |
| Alarms                  | 426         | 548         | 516         | 499         | 499         | 0%         |
| <b>Total Activities</b> | <b>6621</b> | <b>7697</b> | <b>8565</b> | <b>8764</b> | <b>8592</b> | <b>-2%</b> |

- \*\* Additional nighttime hours result in more Warnings and DWI's
- Total activities are up 30% since 2013

## Fire

- 319 Calls for Service in 2017, up from 295 in 2016 (June was busiest month w/43 Calls)
- Replaced 1996 Pumper Truck with a 2017 Pumper Truck
- Two Members earned 5 Years of Service
- Two Members earned 35 Years of Service (Kurt Klapprich and Reb Bowman)
- One Member Retired with 35 Years of Service (Bill Meyer)
- Hired Four New Members, Staffing is at 22 of 30
- Coordinated community events: Pancake Breakfast, Safety Day, Holiday Parade, 2<sup>nd</sup> Call, July 4<sup>th</sup> Events

## Liquor Operations

### Wayzata Wine and Spirits

|              | 2015 Actual | 2016 Preliminary |
|--------------|-------------|------------------|
| Sales        | \$2,634,124 | \$2,920,155      |
| Gross Profit | \$649,704   | \$766,600        |
| Net Income   | \$166,258   | \$303,635        |

## Liquor Operations

### Wayzata Wine and Spirits

- Sales mix is about 50% wine, 25% spirits, 22% beer, 3% misc.
- Direct Mail advertising campaign continued w/success and implemented free text club
- New Point of Sale Software installed with upgraded equipment and reporting.
- Renewed exterior signage to emphasize where profits go, our free delivery service, carry-out service, and free gift wrap
- So far, Sunday sales are not strong, but do offer an overall net gain and keeps customers happy

## Liquor Operations

### Wayzata Bar and Grill

|              | 2016        | 2017        |
|--------------|-------------|-------------|
| Sales        | \$2,952,848 | \$3,219,334 |
| Gross Profit | \$2,072,172 | \$2,245,433 |
| Net Income   | \$395,117   | \$429,951   |



## Liquor Operations

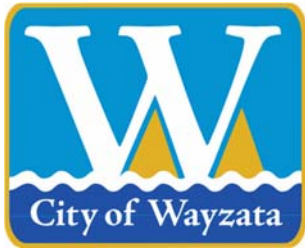
### Wayzata Bar and Grill

- Top line sales increased 9%---over a quarter million dollars
- New monthly sales record in September - \$326,713.00
- Food cost has stabilized at 35% and cost of goods has dropped below 30%
- Operating expenses as a percentage of sales dropped slightly
- Personnel expenses as a percentage of sales dropped slightly
- Net income 13.36% - above industry standard
- Staffing has stabilized and turnover has slowed
- Planning has started on future patio improvements

## Thank You!

### Summary

- Approximately \$17 million in total revenue generated
- 50 full-time 100 part-time employees
- Award winning employees and projects
- Professional and personable essential services from people who care
- Help make Wayzata what it is today---the gem of Lake Minnetonka
- Still grieving the loss of one of our family members this year-- Ofc. Bill Mathews



## City of Wayzata City Council Agenda Report

|                                                                                                                                                                                             |                        |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------|
| <b>MEETING DATE:</b> January 16, 2018                                                                                                                                                       | <b>AGENDA ITEM:</b> 8b |
| <b>TITLE:</b> Consider Resolution No. 05-2018 and First Reading of Ordinance No. 778 Approving Rezoning, PUD Concept and General Plan, and Preliminary Plat Subdivision at 350 Gardner St E |                        |
| <b>PROPOSED MOTION:</b> Adopt Resolution No. 05-2018 and First Reading of Ordinance No. 778                                                                                                 |                        |
| <b>PREPARED BY:</b> Jeff Thomson, Director of Planning and Building                                                                                                                         |                        |
| <b>REVIEWED BY:</b> Jeffrey Dahl, City Manager                                                                                                                                              |                        |

### **ACTION REQUESTED:**

The City Council should consider adopting the resolution approving the development application, as recommended by the Planning Commission.

### **FINANCIAL OR BUDGET CONSIDERATION:**

The development application does not have any impact on the City budget. If the application is approved and moves forward, the applicant would be required to pay park dedication fees for the one new lot created by the subdivision. The City's park dedication fees for single family residential projects is \$2,500 per lot.

### **BACKGROUND:**

#### Application Overview

The applicant, Bohland Homes, has submitted a development application to subdivide the property at 350 Gardner St E into two single-family residential lots. The existing house would be demolished, and two new homes would be constructed with access from a private driveway. The development application requests approval of rezoning to Planned Unit Development/PUD, PUD concept and general plan review, and preliminary plat subdivision.

#### Planning Commission Review

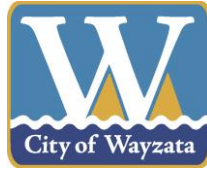
The Planning Commission held a public hearing and reviewed the development application at its meeting on December 4, 2017. At that meeting, the Planning Commission: (1) directed staff to prepare a Planning Commission Report and Recommendation recommending approval of the development application, and (2) requested additional information from the applicant.

The applicant submitted a letter and revised plans which were reviewed by the Planning Commission on January 9, 2018. After reviewing the revised plans and discussing the application, the Planning Commission voted six in favor and zero opposed to adopt a recommendation of approval of the development application.

### **ATTACHMENTS:**

1. January 9, 2018 staff report
2. Applicant's narrative

3. Additional information from applicant
4. Proposed plans
5. Preliminary house plans
6. December 4, 2017 Planning Commission meeting minutes
7. Draft Resolution No. 05-2018
8. Planning Commission Report and Recommendation
9. Draft Ordinance No. 778



**Staff Report  
January 9, 2018**

**Project Name:** Gardner Place  
**Applicant** Bohland Homes  
**Addresses of Request:** 350 Gardner St E  
**Prepared by:** Jeff Thomson, Director of Planning and Building  
**“60 Day” Deadline:** February 24, 2018

---

**Development Application**

Introduction

The applicant, Bohland Homes, has submitted a development application to subdivide the property at 350 Gardner St E into two single-family residential lots. The existing house would be demolished, and two new homes would be constructed with access from a private driveway.

Application Requests

As part of the submitted development application, the applicant is requesting approval of the following items:

- A. Rezoning from R-3A/Single and Two Family Residential District to PUD/Planned Unit Development: The property is currently zoned R-3A, and the applicant is requesting a rezoning to PUD.
- B. PUD Concept and General Plan of Development: A rezoning to PUD requires both concept and general plan of development review. (City Code Section 801.33.5 and 801.33.6)
- C. Preliminary plat subdivision: The proposal requires preliminary plat review to subdivide the one existing lot into two lots. (City Code Section 805.14)

Property Information

The property identification number and owner of the property are as follows:

| Address          | PID               | Owner               |
|------------------|-------------------|---------------------|
| 350 Gardner St E | 06-117-22-21-0027 | Bohland Homes, Inc. |

The current zoning and comprehensive plan land use designation for the property are as follows:

|                        |                                                 |
|------------------------|-------------------------------------------------|
| Current zoning:        | R-3A/Single and Two Family Residential District |
| Comp plan designation: | Low Density Single Family                       |
| Overlay districts:     | None                                            |

#### Project Location

The property is located on the south side of Gardner St E, east of Barry Ave N:

*Map 1: Project Location*



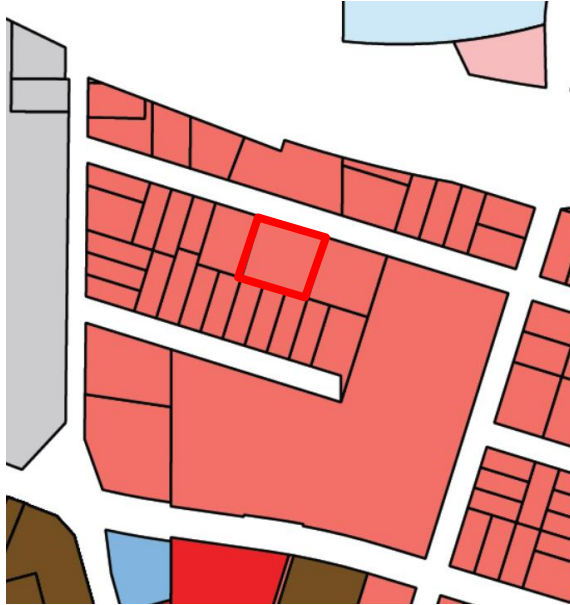
#### Adjacent Land Uses.

The following table outlines the uses, zoning, and Comprehensive Plan land use designations for adjacent properties:

| Direction | Adjacent Use                | Zoning                                          | Comp Plan Land Use Designation |
|-----------|-----------------------------|-------------------------------------------------|--------------------------------|
| North     | Gardner Street right of way | N/A                                             | N/A                            |
|           | Single-family homes         | R-3A/Single and Two Family Residential District | Low Density Single Family      |
| East      | Single-family home          | R-3A/Single and Two Family Residential District | Low Density Single Family      |
| South     | Single-family homes         | R-3A/Single and Two Family Residential District | Low Density Single Family      |
| West      | Single-family homes         | R-3A/Single and Two Family Residential District | Low Density Single Family      |

## Map 2: Adjacent Land Uses

Zoning



Comp Plan Land Use Designation



### Public Hearing Notice

The public hearing notice was published in the *Lakeshore Weekly News* on November 23, 2017, and was mailed to all property owners located within 350 feet of the property on November 22, 2017. The public hearing was held at the Planning Commission meeting on December 4, 2017.

### **Background Information**

#### Previous Application

Earlier in 2017, the Planning Commission and City Council reviewed a three lot subdivision of the property. The previous development application retained the existing R-3A zoning, and requested approval of a subdivision variance to allow for a private street, and an impervious surface zoning variance. The previous plans included a 16-foot wide private street with fire turnaround at the end, which required a large retaining wall, substantial grading, and significant tree removal within the City's right of way. The City Council denied the subdivision application due to concerns about number of homes, small lot sizes, tree removal, private street, amount of grading and fill, and impacts on adjacent properties.

#### Previous Planning Commission Meeting

The Planning Commission held a public hearing and reviewed the current development application at its meeting on December 4, 2017. At that meeting, the Planning Commission: (1) directed staff to prepare a Planning Commission Report and



Recommendation recommending approval of the development application, and (2) requested the following additional information from the applicant:

- Review alternatives to adding an additional catch basin at the end of Gardner Street to eliminate tree removal within the City's right of way
- Outline the maintenance responsibilities for the private driveway
- Review driveway location in relation to the adjacent property at 344 Gardner St E
- Landscaping plan for the City's right of way

The applicant has submitted an updated narrative and revised plans for the project which address the comments from the Planning Commission, and are attached to this report. The additional information provide the driveway maintenance and landscaping information, and the revised plans have removed the storm sewer outlet at the end of Gardner Street and the associated tree removal from the City right of way, and removed further encroachment of driveway on to the 344 Gardner St E property.

## **Analysis of Application**

### Proposed Houses:

The existing house on the property would be removed, and new homes would be constructed on each of the new lots. The proposed plans include preliminary house pads and plans for the new homes. The proposed house pads would comply with all requirements of the R-3A zoning district, including setbacks, lot coverage, and impervious surface.

### Access and Private Street

The property currently has a private driveway from the end of Gardner Street that is shared with the adjacent property at 344 Gardner Street East. Although the driveway would be commonly referred to as a shared driveway, the subdivision ordinance includes a broad definition of a private street. The definition includes a drive that serves as vehicular access to *two or more* parcels of land that is not dedicated to the public and is owned by one or more private parties. Therefore, the existing shared driveway is considered a private street. The City's subdivision ordinance states that private streets are prohibited, except in the case of planned unit developments. The applicant is proposing to widen the private street to 14 feet, and extend it to provide access to the two new homes, which is the reason for the request to rezone the property to PUD.

### Lot Requirements

The following table outlines the R-3A and PUD lot requirements:

|                | Lot area<br>(sq. ft.) | Lot width     | Lot depth      |
|----------------|-----------------------|---------------|----------------|
| R-3A Standards | 9,000 (min.)          | 60 ft. (min.) | 100 ft. (min.) |
| PUD Standards  | None                  | None          | None           |
| Lot 1          | 13,151 sq. ft.        | 80 ft.        | 165 ft.        |
| Lot 2          | 16,522 sq. ft.        | 100 ft.       | 165 ft.        |

### Surrounding Lot Sizes

The following summarizes the lot areas of the R-3A lots located immediately adjacent to the subject property:

| Address                                        | Lot area              |
|------------------------------------------------|-----------------------|
| <b>350 Gardner St E<br/>(subject property)</b> | <b>29,974 sq. ft.</b> |
| 344 Gardner St E                               | 19,983 sq. ft.        |
| 402 Gardner St E                               | 27,554 sq. ft.        |
| 345 Gardner St E                               | 37,965 sq. ft.        |
| 343 Park St E                                  | 10,007 sq. ft.        |
| 353 Park St E                                  | 10,007 sq. ft.        |
| 359 Park St E                                  | 10,007 sq. ft.        |

### Fire Access

Each of the new homes would need to meet the fire code access requirements. The fire code typically requires a structure be within 150 feet of a fire access lane that must be at least 20 feet in width with a turn-around. The City's fire marshal has reviewed the plans, and provided two options to provide fire access. Since the proposed houses would be more than 150 feet from the end of Gardner Street, the first option is to extend a code-compliant fire access lane. The second option is for the homes to include a fire sprinkler system, in which case the fire access lane would not be needed. Given the grading, tree removal, and impervious surface impacts of a code-compliant fire access lane, City staff would recommend that the homes be required to have fire sprinklers as a condition of approval.

### Utilities

The existing house on the lot is served by public sewer and water services from the end of Gardner Street. The applicant is proposing to extend the water and sewer to provide two new services to the new lots. The proposed sanitary sewer extension would be a force main which would be located underneath the proposed driveway. The proposed water main extension would be located south of the sanitary sewer line. The City engineer recommends that the water main extension be public, and the applicant would need to dedicate the necessary easements to the City. The City engineer recommends that the sanitary sewer force main be private with an agreement between the two lots for maintenance.

### Tree Preservation

There are 13 trees located on the property with a total size of 249 inches. Of the 13 trees, 11 are classified as significant trees by the City's tree ordinance, and two trees are heritage trees. The proposed plans include removal of six trees on the property for the proposed homes, driveways, private street, and associated grading. The six trees that would be removed are significant trees. Both of the heritage trees would be preserved.



The tree ordinance allows the removal of up to 25 percent of the inches of significant trees before mitigation is required on an inch for inch basis. The proposed plans result in the removal of 54 percent of the inches of significant trees. Based on the tree ordinance requirements, the applicant would be required to plant 54 inches of trees as mitigation.

### **Action Steps**

After reviewing the items outlined in this report, the additional information provided by the applicant, and the revised plans, the Planning Commission should consider adopting the draft *Planning Commission Report and Recommendation*, which recommends approval of the development application.

### **Attachments**

Applicant's Narrative

Additional Information from Applicant

Revised Plans

Preliminary House Plans

Draft Planning Commission Report and Recommendation

## **Applicable Code Provisions for Review**

Amendments to Zoning Ordinance (Section 801.03.2.F): City Council has the discretion and authority under state law and City Code to amend the City's Zoning Ordinance. Minn. Stat. Section 462.357; Wayzata City Code Section 801.03. A zoning ordinance amendment may be initiated by the governing body, the planning agency or by petition of affected property owners. Minn. Stat. Section 462.357, Subd. 4. In considering a proposed amendment to the Zoning Ordinance, the Planning Commission and City Council shall consider the possible adverse effects of the proposed amendment. Its judgment shall be based upon (but not limited to) the following factors:

- A. The proposed action in relation to the specific policies and provisions of the official City Comprehensive Plan.
- B. The proposed use's conformity with present and future land uses of the area.
- C. The proposed use's conformity with all performance standards contained herein (i.e., parking, loading, noise, etc.).
- D. The proposed use's effect on the area in which it is proposed.
- E. The proposed use's impact upon property value in the area in which it is proposed.
- F. Traffic generation by the proposed use in relation to capabilities of streets serving the property.
- G. The proposed use's impact upon existing public services and facilities including parks, schools, streets, and utilities, and the City's service capacity.

PUD Purpose (Section 801.33.1): This Section is established to provide comprehensive procedures and standards designed to all greater flexibility in the development of neighborhoods and/or non-residential areas by incorporating design modifications as part of a PUD conditional use permit or a mixture of uses when applied to a PUD District. The PUD process, by allowing deviation from the strict provisions of this Ordinance related to setbacks, lot area, width and depth, yards, etc., is intended to encourage:

- A. Innovations in development to the end that the growing demands for all styles of economic expansion may be met by greater variety in type, design, and placement of structures and by the conservation and more efficient use of land in such developments.
- B. Higher standards of site and building design through the use of trained and experienced land planners, architects, landscape architects, and engineers.

- C. More convenience in location and design of development and service facilities.
- D. The preservation and enhancement of desirable site characteristics such as natural topography and geologic features and the prevention of soil erosion.
- E. A creative use of land and related physical development which allows a phased and orderly development and use pattern.
- F. An efficient use of land resulting in smaller networks of utilities and streets thereby lower development costs and public investments.
- G. A development pattern in harmony with the objectives of the Wayzata Comprehensive Plan. (PUD is not intended as a means to vary applicable planning and zoning principles.)
- H. A more desirable and creative environment than might be possible through the strict application on zoning and subdivision regulations of the City.

PUD General Standards (Section 801.33.2.A):

1. In its review of any application under this Section, the City Council shall consider comments on the application of those persons appearing before the Council, the report and recommendations of the Planning Commission, the recommendations of the Design Review Board and any staff report on the application. The Council also shall evaluate the effects of the proposed project upon the health, safety and welfare of residents of the community and the surrounding area and shall evaluate the project's conformance with the overall intent and purpose of this Section. If the Council determines that the proposed project will not be detrimental to the health, safety and welfare of residents of the community and the surrounding area and that the project does conform with the overall intent and purpose of this Section, it may approve a PUD permit, although it shall not be required to do so.
2. Ownership. An application for a PUD District or conditional use permit approval must be filed by the land owner or jointly by all land owners of the property included in a project. The application and all submissions must be directed to the development of the property as a unified whole. In the case of multiple ownership, the approved Final Plan shall be binding on all owners.
3. Comprehensive Plan Consistency. The proposed PUD shall be consistent with the City Comprehensive Plan.

4. Sanitary Sewer Plan Consistency. The proposed PUD shall be consistent with the City Comprehensive Sewer Plan and shall not create a discharge which is in excess of the City's assigned regional limitations.
5. Common Open Space. Common private or public open space and facilities at least sufficient to meet the minimum requirements established in the Comprehensive Plan and such complementary structures and improvements as are necessary and appropriate for the benefit and enjoyment of the residents of the PUD shall be provided within the area of the PUD development.
6. Operating and Maintenance Requirements for PUD Common Open Space Facilities. Whenever common private or public open space or service facilities are provided within the PUD, the PUD plan shall contain provisions to assure the continued operation and maintenance of such open space and service facilities to a predetermined reasonable standard. Common private or public open space and service facilities within a PUD may be placed under the ownership of one or more of the following, as approved by the City Council: (a) dedicated to public, where a community-wide use is anticipated and the City Council agrees to accept the dedication; (b) landlord control, where only use by tenants is anticipated; or (c) Property Owners Association, provided all of the conditions of 801.33.2.A.6.c are met
7. Staging of Public and Common Open Space. When a PUD provides for common private or public open space, and is planned as a staged development over a period of time, the total area of common or public open space or land escrow security in any stage of development shall, at a minimum, bear the same relationship to the total open space to be provided in the entire PUD as the stages or units completed or under development bear to the entire PUD.
8. Density.
  - a. The maximum allowable density in a PUD District shall be determined by standards negotiated and agreed upon between the applicant and the City. In all cases, the negotiated standards shall be consistent with the development policies as contained in the Wayzata Comprehensive Plan. Whenever any PUD is to be developed in stages, no such stage shall, when averaged with all previously completed stages, have a residential density that exceeds one hundred twenty-five (125) percent of the proposed residential density of the entire PUD.
  - b. There shall be no density variation from the standards applied in an applicable zoning district for PUD conditional use permits.

9. Utilities. In any PUD, all utilities, including telephone, electricity, gas and telecable shall be installed underground.
10. Utility Connections.
  - a. Water Connections. Where more than one property is served from the same service line, individual unit shut off valves shall be provided as required by the City Engineer.
  - b. Sewer Connections. Where more than one (1) unit is served by a sanitary sewer lateral which exceeds three hundred (300) feet in length, provision must be made for a manhole to allow adequate cleaning and maintenance of the lateral. All maintenance and cleaning shall be the responsibility of the property owners association or owner.
11. Roadways. All streets shall conform to the design standards contained in the Wayzata Subdivision Regulations unless otherwise approved by the City Council.
12. Landscaping. In any PUD, landscaping shall be provided according to a plan approved by the City Council, which shall include a detailed planting list with sizes and species indicated as part of the Final Plan. In assessing the landscaping plan, the City Council shall consider the natural features of the particular site, the architectural characteristics of the proposed structure and the overall scheme of the PUD plan.
13. Setbacks.
  - a. The front, rear and side yard restrictions on the periphery of the Planned Unit Development site at a minimum shall be the same as imposed in the underlying districts, if a PUD condition use permit, or the previous zoning district, if a PUD District.
  - b. No building shall be located less than fifteen (15) feet from the back of the curb line along those roadways which are part of the internal street pattern.
  - c. No building within the project shall be nearer to another building than one-half (1/2) the sum of the building heights of the two (2) buildings.
  - d. In PUD Districts that were zoned commercial prior to PUD and exceed 13 acres, the allowable setbacks shall be as negotiated and agreed upon between the applicant and the City.
14. Height.

- a. The maximum building height within a PUD District shall be thirty five (35) feet and three (3) stories, whichever is lesser.
- b. There shall be no deviation from the height standards applied within the applicable zoning districts for PUD conditional use permits.
- c. In PUD Districts that were zoned commercial prior to PUD and exceed 13 acres, the maximum allowable height shall be as negotiated and agreed upon between the applicant and the City.

PUD Residential Area Standards (Section 801.33.3): Purpose. The purpose of this Section is to establish standards for single family, multiple family, institutional and other residential PUD District and conditional use permit projects, in addition to those standards contained elsewhere in this Ordinance for all PUD projects. All residential PUD projects shall be developed in accordance with the following residential area standards:

1. Minimum Lot Area. There shall be no minimum lot or area size required for a tract of land for which a PUD District project is proposed. There shall be no minimum lot or area size imposed for a PUD conditional project except for standards applicable within the zoning district in which it is utilized.
2. Minimum Frontage. There shall be no minimum frontage on a public street required for a tract of land for which a PUD project is proposed.
3. The tract of land for which a PUD project is proposed shall have municipal water and sewer available to it.
4. It is the City's policy to discourage private roadways within a residential PUD project. Regardless if roads are private or dedicated to the public, they shall be designed to right-of-way widths and constructed to standards imposed by the Wayzata Subdivision Regulations.
5. For single family residential PUD District projects, the normal standards of either the R-1A, R-1, R-2, or R-3 zoning districts shall apply to each project, excepting usage standards, as determined by the City Council and as provided above in Section 801.33.2, Subd. 3.
6. For multiple family residential PUD District projects, the normal standards of either the R-4 or R-5 Zoning Districts shall apply to each project, excepting usage standards, as determined by the City Council and as provided above in Section 801.33.2, Subd. 1.
7. In addition to the above standards, the City Council may impose such other standards for a residential PUD project as are reasonable and as the Council

deems are necessary to protect and promote the general health, safety and welfare of the community and the surrounding area.

Preliminary Plat Criteria (Section 805.14.E): The Planning Commission shall consider possible adverse effects of the preliminary plat. Its judgment shall be based upon, but not limited to, the following factors:

1. The proposed subdivision or lot combination shall be consistent with the Wayzata Comprehensive Plan.
2. Building pads that result from a subdivision or lot combination shall preserve sensitive areas such as lakes, streams, wetlands, wildlife habitat, trees and vegetation, scenic points, historical locations, or similar community assets.
3. Building pads that result from subdivision or lot combination shall be selected and located with respect to natural topography to minimize filing or grading.
4. Existing stands of significant trees shall be retained where possible. Building pads that result from a subdivision or lot combination shall be sensitively integrated into existing trees.
5. The creation of a lot or lots shall not adversely impact the scale, pattern or character of the City, its neighborhoods, or its commercial areas.
6. The design of a lot, the building pad, and the site layout shall respond to and be reflective of the surrounding lots and neighborhood character.
7. The lot size that results from a subdivision or lot combination shall not be dissimilar from adjacent lots or lots found in the surrounding neighborhood or commercial area.
8. The architectural appearance, scale, mass, construction materials, proportion and scale of roof line and functional plan of a building proposed on a lot to be divided or combined shall be similar to the characteristics and quality of existing development in the City, a neighborhood or commercial area.
9. The design, scale and massing of buildings proposed on a subdivided or combined lot shall be subject to the architectural guidelines and criteria for the Downtown Architectural District, Commercial and Institutional Architectural Districts, and Residential Architectural Districts and the Design Review Board/City Council review process outline in Section 9 of the Wayzata Zoning Ordinance.
10. The proposed lot layout and building pads shall conform with all performance standards contained herein.

11. The proposed subdivision or lot combination shall not tend to or actually depreciate the values of neighboring properties in the area in which the subdivision or lot combination is proposed.
12. The proposed subdivision or lot combination shall be accommodated with existing public services, primarily related to transportation and utility systems, and will not overburden the City's service capacity.



**City of Wayzata  
Planning Commission**

**October 27, 2017**

**Gardner Place – 350 Gardner Street East**

**Legal Description: Lots 2, 3 and 4, “Wayzata Park Addition”, Hennepin County.**

**BohLand Homes**

**Application Narrative:**

**Planned Unit Development - Request to Re-Plat into one additional lot.**

350 Gardner Street East currently has one single family home set on the most westerly 60' portion of 180' of the property that was previously three 60' individually platted lots. The Legal Description for the property is Lots 2, 3 and 4, “Wayzata Park Addition”, Hennepin County. The original intent for this property was for (3) 60' wide lots similar to almost all other lots within a 7 block area.

The existing home has structural defects and is too difficult to remodel to repair the defects.

We previously submitted an application for a three lot split that was denied. I believe that we have addressed almost all of the concerns by proposing only one additional home.

The primary issues for denial were due to the variance requests for hard surface coverage, the impact of three homes on the property that pushed the most easterly property into the slope, the impact of the grading and tree removal from the street design to meet subdivision standards and the uncertainty of the definition of a private street.

We are adding only 1 additional lot similar to most other properties surrounding this property, but with a much wider lot widths than most other properties in the area.

This revised application accomplishes the following:

1. Virtually minimal impact to any trees other than for the house pad and landscaping.
2. No trees will be removed along the driveway.
3. There are no hard surface coverage variances required.

4. Grading is significantly less and there will be limited correction to the current driveway except for the installation of new water and sanitary sewer lines for the two individual homes. We will re-pave the driveway upon completion of the two homes.
5. Significant less impact to the adjoining neighbor. Only one new property.
6. Simpler design, simpler project.
7. The current defective home will be rebuilt into a nice new home.
8. Little impact to the easterly slope.
9. Meets the intent of the Comp Plan (see below).
10. Minimalized retaining walls and minimal impact to slopes.
11. Wider lots than adjoining neighborhoods. Meets scale of neighborhood and even larger lot widths.
12. More flexibility with landscape plans.
13. Simplified access.
14. Improve values for the neighborhood.
15. Maintain most of the predominate trees that were previously impacted.
16. Significant reduction to import and export of materials due to utilizing current driveway.
17. Minimal impact of storm water runoff in comparison to existing hard surface runoff.  
May actually be improved from existing conditions.
18. Only adding living services to one more home. Trash, mail etc.
19. Allow for corrected utility and other easements to be filed. New plat filing would eliminate current and future property line disputes.
20. Addresses and eliminates almost all concerns from the previous application submission.
21. Other similar properties all over Wayzata with the same topography, narrow streets, character in building sites.
22. PUD application allows for the approval of the driveway conditions.

Fire and safety. There is a fire hydrant within 150' to the farthest building and is much shorter than a typical length in most homes in Wayzata. We believe that the one additional home and the proximity to the fire hydrant is similar or even better than many other homes and a turn around and additional hydrant are excessive and not consistent with similar conditions.

We have reviewed this with staff regarding sewer/water and storm sewer improvements. By utilizing the current driveway width, it has significantly less impact on the property. There are properties all around Wayzata that have more impact on grading and trees and have more complex and non-conforming street and driveway access and widths.

### **Summary:**

Based on the comments from the previous application, we have eliminated all primary concerns and believe this meets the intent of Wayzata's interest in maintaining more single family home opportunities that fit perfectly into existing neighborhoods with little impact.

This plan easily accommodates one additional home and provides oversized lots for both homes with little impact to the environment.

*Comp Plan Excerpts:*

*Strengths One of Wayzata's greatest strengths and assets is its unique single-family residential neighborhoods and individual estates, which are a vital component to the community's sense of identity.*

*Another important strength of the community is its reputation for quality, in both materials and overall design of residential structures. As discussed in the City's Design Standards, design is an important component of Wayzata's sense of place, and the City strives to encourage the highest quality housing stock within the community. The selection of the highest quality building materials is encouraged, as well as the continued maintenance of all residential properties within the city.*

*Residents at the City's community visioning exercise expressed strong support for preserving the existing feel and character of the established single family residential neighborhoods within the community*

December 15, 2017

BohLand Homes proposed subdivision

350 – 356 (proposed lot number for lot 2), lot 1 and lot 2 Gardner Place

Shared driveway “private street” proposed agreements:

Because this 2-lot subdivision will add only one additional home and the lot configuration is reasonable for these two properties there is no need to formalize a homeowners association or any other obligation on the properties. Simpler recorded documents that memorialize the intended use will be adequate to assure maintenance and access to the properties.

1. There will be a utility and access cross easement for the benefit of these two properties. This will allow for ingress and egress and any service and utility requirements for the benefit of lot 2 across lot 1. There will be also be an easement for both properties onto the private street. It will be recorded along with the plat and individual lot deeds.
2. Based on a Developers Agreement with the City of Wayzata for the maintenance and access to any public utilities, a document referencing the Developers Agreement and any necessary easements will be recorded along with the plat and individual lot deeds.
3. There is currently no easement for the existing private street because it sits inside the City of Wayzata right of way. Because it is a private street, the three property owners benefiting from the use of the private street will be required to maintain the section between 350 Gardner up to the end of the public street.
4. Each property owner will be responsible for the snow removal, lawn care and any individual landscaping on their property and any trash pickup and mail delivery.

December 15, 2017

BohLand Homes proposed subdivision  
350 – 356 (proposed lot number for lot 2), lot 1 and lot 2 Gardner Place

Landscaping:

As part of the renovation of the driveway and the requirements for tree replacement for the two homes, BohLand Homes agrees to use any required tree replacement calculations to replace any trees that are damaged as a result of the construction.

BohLand Homes will not be required to apply the tree replacement requirements to replace any of the already dead or dying trees on the city right of way.

Any excess tree replacement requirements not used as a result of construction in the right of way will be installed at BohLand Homes discretion on lots 1 and 2 or along the northern edge of those properties.



DESCRIPTION OF PROPERTY SURVEYED

Lot 2, 3, and 4, Block 2, WAYZATA PARK ADDITION, WAYZATA MINNESOTA, according to the recorded plat thereof, Hennepin County, Minnesota.

1.

Site Address: 350 Gardner Street, Wayzata, MN 55391
2.

Parcel Area Information: Gross Area: 29,674 s.f. ~ 0.681 acres
3.

Benchmark: Top Nut Hydrant at the northerly corner of Lot 5, Block 2, WAYZATA PARK ADDITION, WAYZATA MINNESOTA. Elevation = 975.59
4.

Zoning Information: The current Zoning for the subject property is R-3A (Single and Two Family Residential District) per the City of Wayzata's zoning map dated 4/28/2015. The setback, height, and floor space area restrictions for said zoning designation were obtained from the City of Wayzata found on their web site on the date of 3/18/2016 and are as follows:

Principal Structure Setbacks - Front: 20 feet; Side: 10 feet; Rear: 20 feet  
Height: 2 Stories and 32 feet  
Hardover: 35 percent of lot area

Accessory Structure Setbacks - Front: 20 feet; Side: 5 feet; Rear: 5 feet

Please note that the general restrictions for the subject property may have been amended through a city process. We could be unaware of such amendments if they are not in a recorded document provided to us. We recommend that a zoning letter be obtained from the Zoning Administrator for the current restrictions for this site.

5.

Utilities: We have shown the location of utilities on the surveyed property by observed evidence only. There may be underground utilities encumbering the subject property we are unaware. Please note that we have not placed a Gopher State One Call for this survey. There may or may not be underground utilities in the mapped area, therefore extreme caution must be exercised before any excavation takes place on or near this site. Before digging, you are required by law to notify Gopher State One Call at least 48 hours in advance at 651/454-0002.

6.

Easements: There may be easements for the lift station, underground sanitary sewer and storm sewer that crosses the subject property that the Surveyor has not been made aware of. There may also be an easement for the water service and possibly a sanitary service that crosses the contiguous property to the west that the Surveyor has not been made aware of. There may also be an easement for the overhead utility lines along the southerly and easterly lines that the Surveyor has not been made aware of.

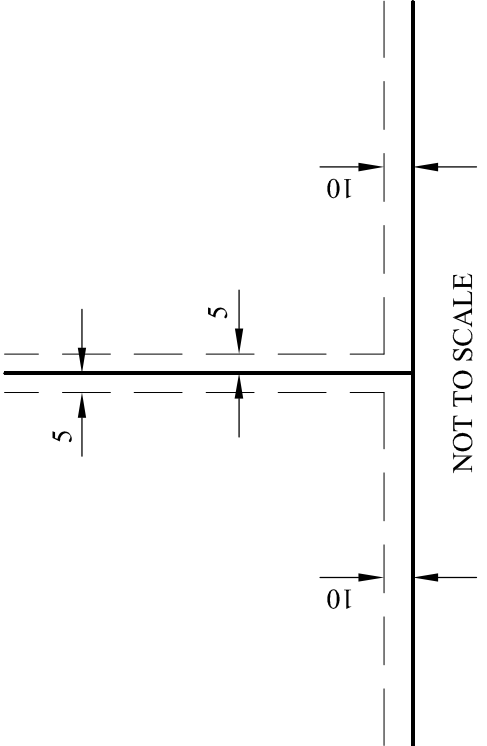
PROPOSED LOT INFORMATION

Parcel Descriptions:

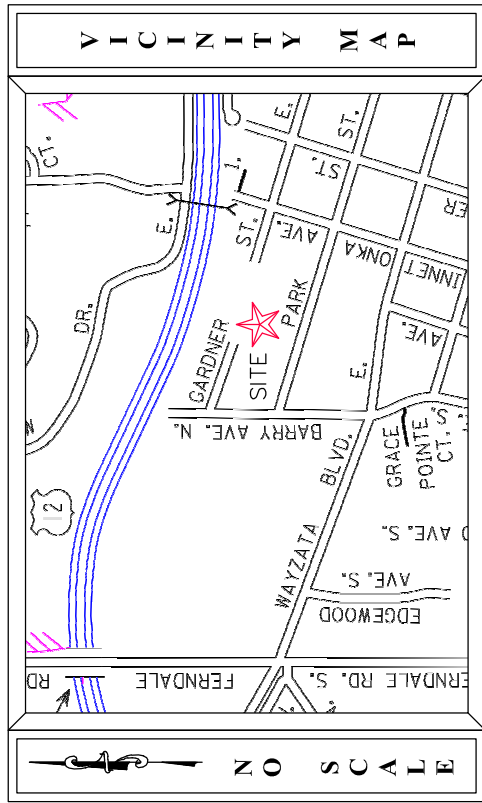
Lot 1, Block 1, GARDNER PLACE  
Area: 13,151 sq. ft.

Lot 2, Block 1 GARDNER PLACE  
Area: 16,522 sq. ft.

PROPOSED DRAINAGE AND UTILITY EASEMENT INFORMATION



Being 5 feet in width and adjoining lot lines, unless otherwise indicated, and 10 feet in width and adjoining right of way lines, unless otherwise indicated, as shown hereon.

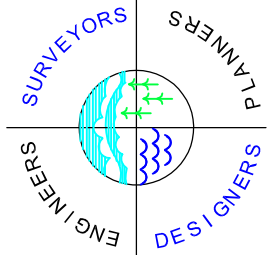


SURVEY LEGEND

|       |                       |   |                      |
|-------|-----------------------|---|----------------------|
| ●     | CAST IRON MONUMENT    | □ | A/C UNIT             |
| ▽     | CATCH BASIN           | □ | CABLE TV PEDESTAL    |
| ◻     | FLARED END SECTION    | □ | ELECTRIC TRANSFORMER |
| ⋈     | GATE VALVE            | □ | ELECTRIC MANHOLE     |
| <     | QUY WIRE              | ○ | ELECTRIC METER       |
| ⚡     | HYDRANT               | ○ | GAS METER            |
| ○     | SURVEY MONUMENT SET   | ○ | GAS VALVE            |
| ●     | SURVEY MONUMENT FOUND | □ | GUARD RAIL           |
| ▲     | SURVEY CONTROL POINT  | □ | HAND HOLE            |
| □     | LIGHT POLE            | ☀ | SOIL BORING          |
| ☀     | POWER POLE            | ☀ | TREE CONIFEROUS      |
| ⊙     | SANITARY MANHOLE      | ☀ | TREE DECIDUOUS       |
| ⊙     | SANITARY CLEANOUT     | □ | TELEPHONE MANHOLE    |
| ▼     | SIGN                  | □ | TELEPHONE PEDESTAL   |
| 972.5 | GROUND ELEVATION      | ⚡ | TRAFFIC SIGNAL       |
| ☀     | STORM DRAIN           | ⚡ | UTILITY MANHOLE      |
| ⊙     | STORM MANHOLE         | ⚡ | UTILITY PEDESTAL     |
| ○     | YARD LIGHT            | ⚡ | UTILITY UNDERGROUND  |
| —     |                       | — | WATERMAIN            |

|                              |                    |          |
|------------------------------|--------------------|----------|
| TWP. 117 - RGE. 22 - SEC. 06 | PRELIMINARY PLAT   | FILE NO. |
| Project City: Wayzata        | OF                 | 7806-041 |
| Hennepin County              | GARDNER PLACE      |          |
|                              | Prepared for:      |          |
|                              | BOHLAND HOMES, LLC |          |

SATHRE-BERGQUIST, INC.  
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 20th day of October, 2017.

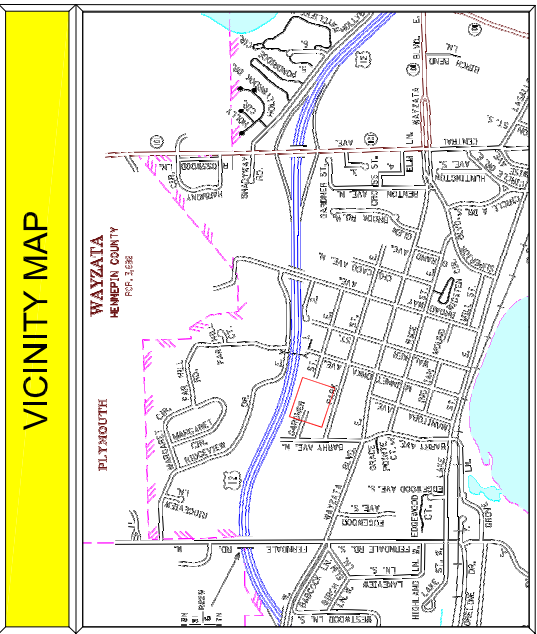
David B. Pemberton, PLS  
pemberton@sathre.com

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| FIELD CREW | NO. | BY  | DATE       | REVISION                          |
|------------|-----|-----|------------|-----------------------------------|
| CL. AT     | 1   | DBP | 9/4/2016   | Revised to 2 lot preliminary plat |
| DRAWN      | 2   | DBP | 10/27/2017 | Update to 3 lot preliminary plat  |
| CHECKED    |     | JJA |            |                                   |
| DATE       |     |     |            |                                   |
| 05-18-2016 |     |     |            |                                   |





LOT STANDARDS

|                                 |
|---------------------------------|
| R-3A - ZONING                   |
| MIN LOT AREA-9,000 SF           |
| MIN LOT DEPTH-100'              |
| MIN LOT WIDTH-60'               |
| MIN. FRONT YARD SETBACK = 20'   |
| MIN. SIDE YARD SETBACK = 10'    |
| MIN. REAR YARD SETBACK = 20'    |
| EXISTING ZONING: R-3A           |
| PROPOSED ZONING: R-3A           |
| WETLAND BUFFER-30'              |
| WETLAND SETBACK- N/A APPLICABLE |

SHEET INDEX TABLE

| SHEET | Description   |
|-------|---------------|
| 1     | Title Sheet   |
| 2     | Street Plan   |
| 3-4   | Utility Plans |
| 5     | Grading Plan  |
| 6     | Tree Survey   |
| 7     | Removal Plan  |

CLIENT/DEVELOPER  
BOHLAND HOMES, LLC,  
825 Wayzata Boulevard East  
Wayzata, MN 55391  
Contact: Steve Bohl  
T-952-473-2089

LAND SURVEYOR/CIVIL ENGINEER  
SATHRE-BERGQUIST INC.  
150 S. Broadway Ave.  
Wayzata, MN 55391  
Contact: Dan Schmidt  
T-952-476-6000  
F-952-476-0104

| FILE NO.           |  |
|--------------------|--|
| 7806-041           |  |
| TITLE              |  |
| GARDNER PLACE      |  |
| BOHLAND HOMES, LLC |  |
| CITY PROJECT NO.   |  |
| ---                |  |
| WAYZATA, MINNESOTA |  |

SATHRE-BERGQUIST, INC.  
150 SOUTH BROADWAY WAYZATA, MN 55391 (952) 476-6000

ENGINEERS PLANNERS SURVEYORS

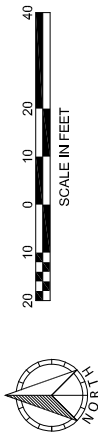
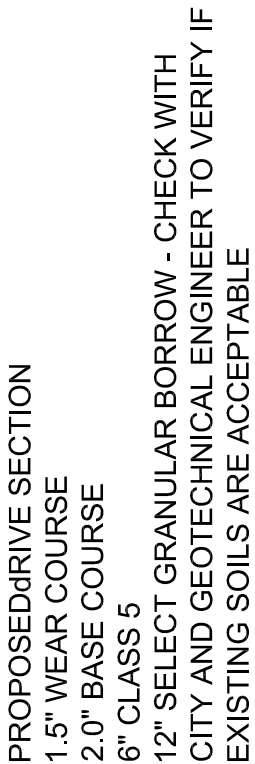
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*Daniel J. Schmidt*  
Name: P.E. 26147  
Date: 09-15-2017 Lic. No. 26147

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| BASE         | 01  | DLS | 10/03/2017 | REV. FROM 3 TO 2 LOTS |
| DRAWN BY     | 02  | DLS | 10/20/2017 | CLIENT REVISIONS      |
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| CHECKED BY   |     |     |            |                       |
| DLS          |     |     |            |                       |
| DATE         |     |     |            |                       |
| 04/29/16     |     |     |            |                       |





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David J. Schmitt  
 Name: P.E.  
 Date: 09-15-2017  
 Lic. No. 26147

**ENGINEERS**  
 11 ANNERS  
 530  
 11 ANNERS  
 530  
 11 ANNERS  
 530

**SATHRE-BERGQUIST, INC.**  
 150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 475-6000

CITY PROJECT NO.  
 ---

WAYZATA,  
 MINNESOTA

FINAL DRIVEWAY PLAN  
 GARDNER PLACE  
 BOHLAND HOMES, LLC

FILE NO.  
 7806-041

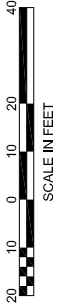
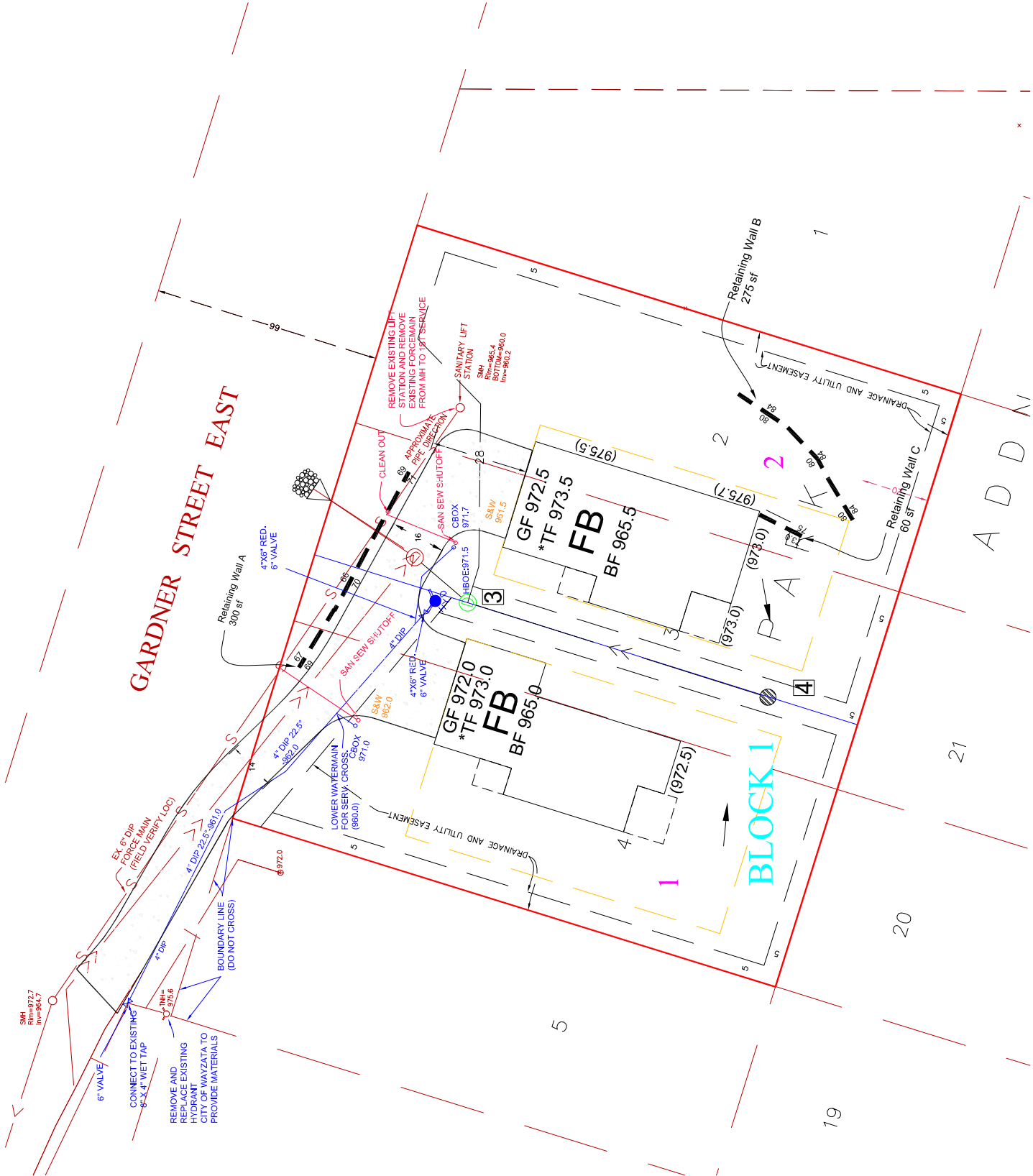
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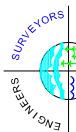
- ALL DIP FOR SANITARY SEWER LINES SHALL BE POLY-WRAPPED AND ALL BOLTS USED SHALL BE STAINLESS STEEL.
- REFER TO DETAIL SHEETS TO SEE STRUCTURE DETAILS.
- ALL HYDRANT BENCHMARKS ARE TOP NUT OF HYDRANT.
- ALL VALVES ON THE WATERMAIN FOR THIS PROJECT SHALL BE GATE VALVES. NO BUTTERFLY VALVES SHALL BE USED ON THE WATERMAIN FOR THIS PROJECT.
- THE CITY OF WAYZATA CURRENT "ENGINEERING GUIDELINES" AND "SPECIFICATIONS" SHALL GOVERN.
- ALL WATERMAIN SHALL HAVE A MINIMUM OF 7.5' COVER.
- THE WATER SERVICE AT THE STORM SEWER SHALL BE INSULATED.
- INSTALL HYDRANTS 5' BEHIND CURB (TYPICAL). INSTALL HYDRANTS 4' BEHIND THE CURB ON THE WALK SIDE OF THE BLVD. PER CITY ENGINEER
- UNITS TO BE SERVICED FOR SANITARY SEWER BY 2 INDIVIDUAL GRINDER PUMPS. THE EXISTING FORCE MAIN SHALL BE INSPECTED AND REUSED IF POSSIBLE.
- LOCATION OF EXISTING FORCEMAIN TO BE FIELD LOCATED AS BEST AS POSSIBLE. THE RETAINING WALL SHALL BE FIELD ADJUSTED TO AVOID BEING CONSTRUCTED OVER THE TOP OF THE FORCEMAIN.
- THE EXISTING FORCEMAIN SHALL BE TESTED PRIOR TO CONSTRUCTION.
- THE EXISTING HYDRANT AT THE CONNECTION POINT SHALL BE REMOVED AND REPLACED WITH A NEW HYDRANT. MATERIALS TO BE PROVIDED BY THE CITY OF WAYZATA.
- THE EXISTING SERVICE SHALL BE ABANDONED AT THE MAIN IN ACCORDANCE WITH CITY STANDARDS
- THE EXISTING CURB BOX IS TO BE REMOVE.
- NO EXCAVATION SHALL BE ALLOWED ON ADJACENT PROPERTY WITHOUT PERMISSION FROM THE HOMEOWNER. A TRENCH BOX SHALL BE USED TO INSTALL 4" DIP WATER MAIN IF NEEDED.
- ACCESS FOR ADJACENT PROPERTY OWNER SHALL BE COORDINATED BY CITY OF WAYZATA, DEVELOPER, AND CONTRACTOR.
- TRACER WIRE SHALL BE INSTALLED WITH ALL FORCEMAIN.



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*Daniel J. Schmitt*  
Name: P.E. 09-15-2017  
Date: 09-15-2017  
Lic. No. 26147



**SATHRE-BERGQUIST, INC.**  
150 SOUTH BROADWAY WAYZATA, MN 55391 (952) 476-6000

CITY PROJECT NO. --  
**WAYZATA, MINNESOTA**

**FINAL SANITARY SEWER AND WATER MAIN PLAN**  
**GARDNER PLACE**  
**BOHLAND HOMES, LLC**

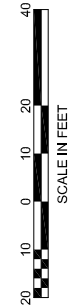
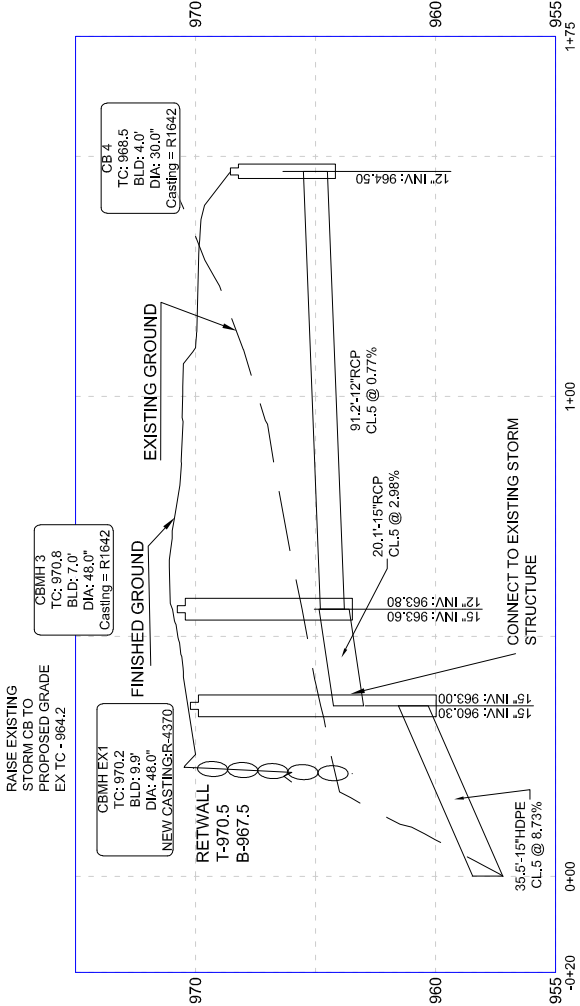
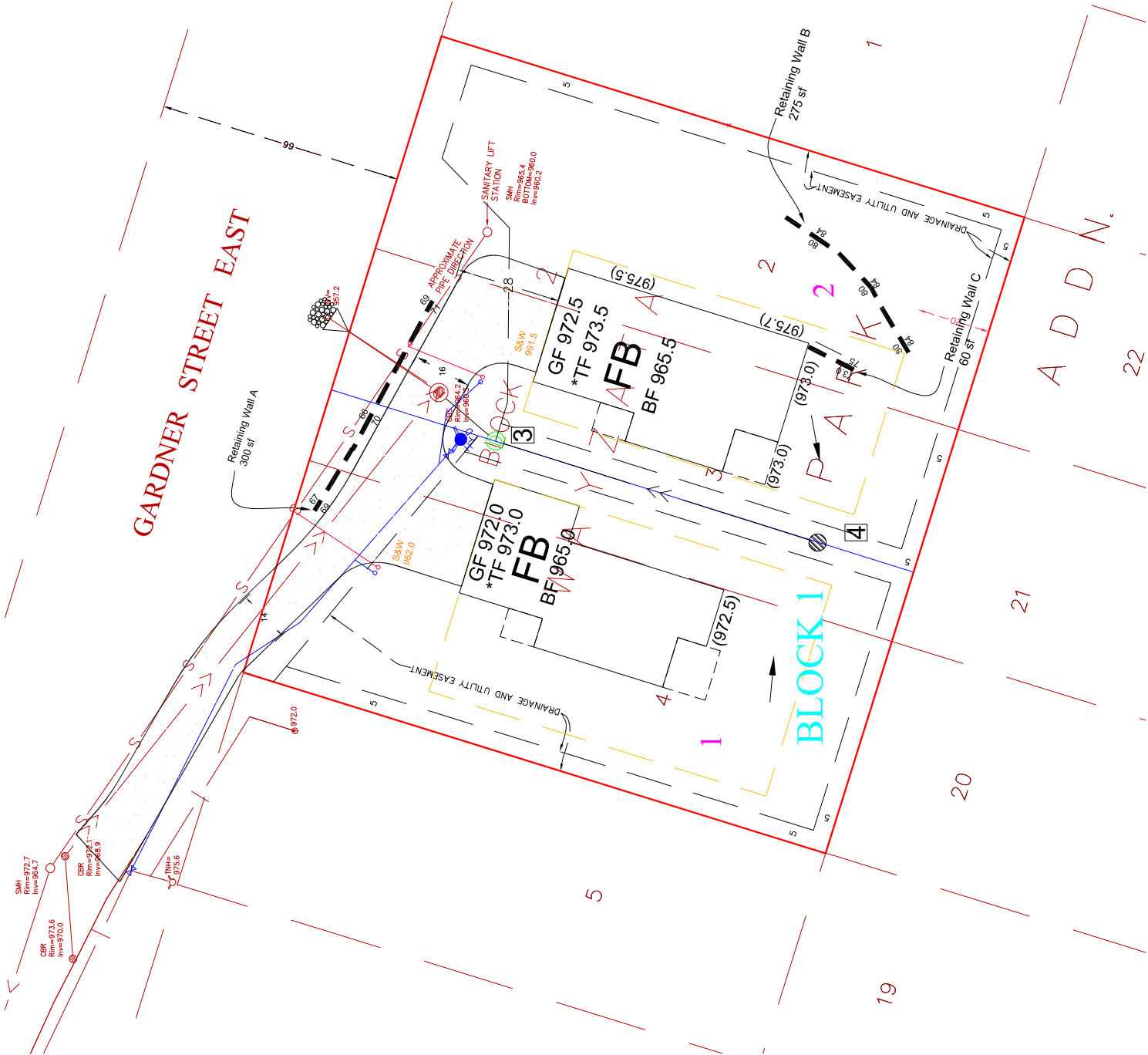
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STORM NETWORK NOTES:

- 1. 6" DRAINTILE SHALL STUBBED TOWARDS EACH HOUSE TO ALLOW TO CONNECT SUMP PUMPS, GUTTERS, AND DRAINTILE. THEY SHALL BE INSTALLED 1' ABOVE THE INVERT.
- 2. WIMCO'S OR APPROVED EQUAL TO BE INSTALLED AT ALL STORM INLETS.
- 3. EXISTING CBMH #1 SHALL BE SWITCHED TO A 4370 CASTING AND ADJUSTED TO A TOP OF CASTING OF 970.2



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**SATHRE-BERGQUIST, INC.**  
150 SOUTH BROADWAY WAYZATA, MN 55391 (952) 476-6000



CITY PROJECT NO. --  
**WAYZATA, MINNESOTA**

**FINAL STORM PLAN**  
**GARDNER PLACE**  
**BOHLAND HOMES, LLC**

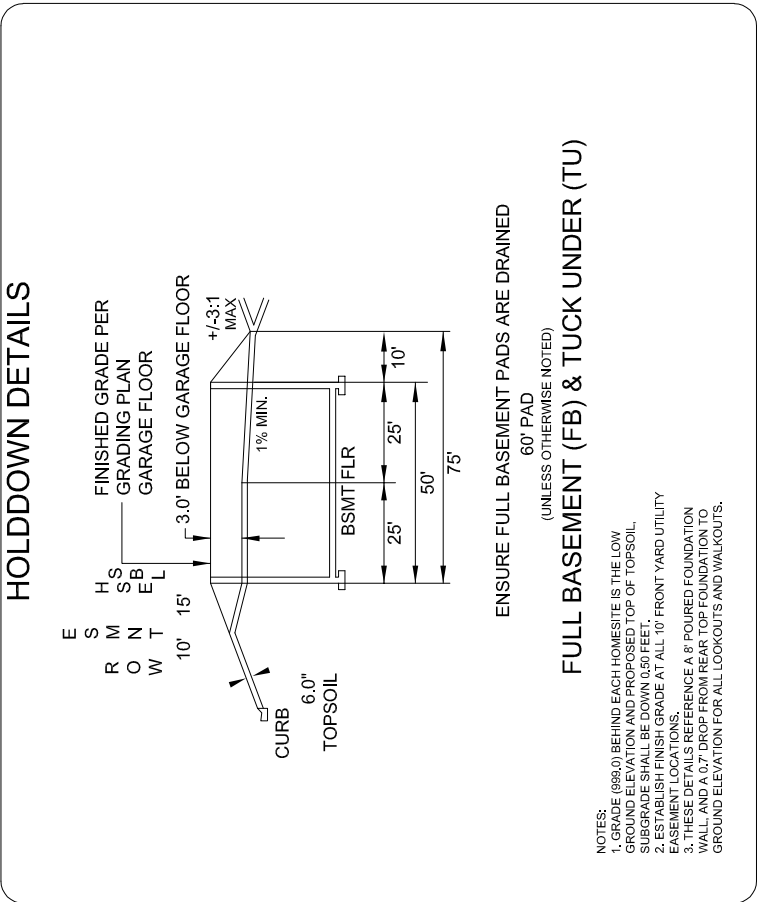
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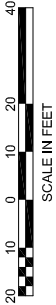
CONSTRUCTION NOTES

1. INSTALL SILT FENCE AS SHOWN ON PLAN, AS REQUIRED BY THE CITY OF WAYZATA OR DIRECTED BY THE ENGINEER.
2. INSPECT PONDS, SILT FENCE, AND ROCK ENTRANCE BERM AFTER ALL RAINFALL EVENTS AS REQUIRED BY THE NPDES PERMIT.
3. STREET SECTION -  
1.5" WEAR COURSE  
2.0" BASE COURSE  
8" CLASS 5  
12" SELECT GRANULAR BORROW - CHECK WITH CITY TO SEE IF EXISTING SOILS ARE ACCEPTABLE
4. DRIVEWAY SLOPES-  
MINIMUM-2.0%  
MAXIMUM-10.0%
5. LO, SEWO, WO PADS 3:1 MAX. ALL OTHER SLOPES 4:1 MAX (UNLESS NOTED)
- 6.DEVELOPER WILL BE RESPONSIBLE FOR TEMPORARY DUST AND EROSION CONTROL UNTIL TURF IS ESTABLISHED. IF YARDS ARE ADJACENT TO A DITCH SWALE, THEN EROSION CONTROL MUST REMAIN UNTIL ALL ADJACENT PROPERTY HAS TURF ESTABLISHMENT.
7. RESTORATION -1.0 ACRES  
A. RESTORE ALL DISTURBED AREAS WITH A MINIMUM OF 6" OF TOPSOIL.  
B. SEED POND SLOPES AND DETENTION AREAS WITH MIN/DOT 310 OR BWSR P8 SEED MIX AT A RATE OF 100 LBS./ACRE AND FERTILIZE WITH 20-0-10 AT 100 LBS./ACRE.  
C. SEED ALL OTHER DISTURBED AREAS WITH MNDOT 250 AND BWSR SEED MIX FOR WETLANDS AT A RATE OF 100 LBS./ACRE AND FERTILIZE WITH 20-0-10 AT 100 LBS./ACRE. (UNLESS OTHERWISE NOTED)  
D. ONLY PHOSPHOROUS FREE FERTILIZER IS TO BE USED ON SITE.  
E. MULCH WITH TYPE 1 AT A RATE OF 2 TONS/ACRE AND DISC ANCHOR IMMEDIATELY AFTER PLACEMENT. USE WOODFIBER BLANKET ON ALL SLOPES 3:1 (FT) OR GREATER.  
F. PLACE APPROVED STORM SEWER INLET PROTECTION IN OR AROUND ALL STORM SEWER INLETS AND MAINTAIN UNTIL STREET CONSTRUCTION IS COMPLETED. REFER TO CITY DETAILS ST-22 & ST-23 FOR APPROVED DEVICES.  
G. MAINTAIN ALL SILT FENCE UNTIL TURF HAS BEEN ESTABLISHED.  
H. RESTORATION WORK WILL BE COMPLETED WITHIN 72 HOURS OF GRADING COMPLETION.
8. MATERIALS THAT ARE PROHIBITED FROM RETAINING WALL CONSTRUCTION INCLUDE SMOOTH FACE CONCRETE, POURED IN PLACE CONCRETE, MASONRY, RAILROAD TIES, OR TIMBER. STAMPED OR PATTERNED CONCRETE IS ALLOWED IN RETAINING WALL CONSTRUCTION.
9. RETAINING WALLS SHALL BE DESIGNED AND SIGNED LICENSED ENGINEER AND SUBMITTED TO THE CITY OF WAYZATA FOR APPROVAL BY THE CITY OF WAYZATA. BOULDERS MAY NOT BE USED ON WALLS TALLER THAN 6' IN HEIGHT.
10. SILT FENCE: BEFORE GRADING - 200 LF
11. TREE FENCE-300 LF
12. WOODFIBER BLANKET - AS NEEDED
13. BIO ROLLS - AS NEEDED



FULL BASEMENT (FB) & TUCK UNDER (TU)

- NOTES:
1. GRADE (989.0) BEHIND EACH HOMESITE IS THE LOW GROUND ELEVATION AND PROPOSED TOP OF TOPSOIL.
  2. ESTABLISH FINISH GRADE AT ALL 10' FRONT YARD UTILITY EASEMENT LOCATIONS.
  3. THESE DETAILS REFERENCE A 8" POURED FOUNDATION WALL AND A 0.7' DROP FROM REAR TOP FOUNDATION TO GROUND ELEVATION FOR ALL LOOKOUTS AND VALCOUTS.



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*Daniel J. Schmitt*

Name: P.E. Date: 09-15-2017 Lic. No. 26147

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**SATHRE-BERGQUIST, INC.**  
150 SOUTH BROADWAY WAYZATA, MN 55391 (952) 476-6000

ENGINEERS SURVEYORS PLANNERS

CITY PROJECT NO. --

**WAYZATA, MINNESOTA**

**FINAL GRADING PLAN**

**GARDNER PLACE**

**BOHLAND HOMES, LLC**

FILE NO. 7806-041

**5**

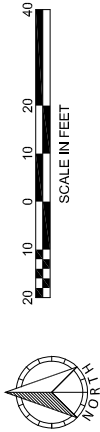
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| Tree #               | Species       | DBH (Sig) | DBH (Poor) | Condition               | Stems | Heritage Tree | Removed                | Notes                              |
|----------------------|---------------|-----------|------------|-------------------------|-------|---------------|------------------------|------------------------------------|
| 1                    | Ash, green    | 15.0      |            | Good                    | 1     | No            |                        |                                    |
| 2                    | Ash, green    | 8.0       |            | Fair                    | 1     | No            |                        |                                    |
| 3                    | Elm, red      | 17.5      |            | Fair                    | 1     | No            |                        |                                    |
| 4                    | Baswood       | 21.5      |            | Good                    | 1     | No            |                        |                                    |
| 5                    | Baswood       | 56.0      |            | Fair                    | 4     | No            |                        |                                    |
| 6                    | Boxelder      | 9.5       |            | Fair                    | 1     | No            | 9.5                    |                                    |
| 7                    | Boxelder      | 11.5      |            | Fair                    | 2     | No            | 11.5                   |                                    |
| 8                    | Oak, red      | 19.0      |            | Good                    | 1     | No            |                        |                                    |
| 9                    | Ash, green    | 11.0      |            | Fair                    | 1     | No            |                        |                                    |
| 10                   | Ash, green    | 24.0      |            | Good                    | 1     | No            |                        |                                    |
| 11                   | Elm, American | 14.0      |            | Fair                    | 1     | No            | 14.0                   |                                    |
| 12                   | Boxelder      | 24.0      |            | Fair                    | 1     | No            |                        |                                    |
| 13                   | Hackberry     | 17.0      |            | Good                    | 1     | No            |                        |                                    |
| 14                   | Ash, green    | 7.0       |            | Good                    | 1     | No            |                        |                                    |
| 15                   | Elm, American | 16.5      |            | Good                    | 1     | No            |                        |                                    |
| 16                   | Ash, green    | 6.5       |            | Fair                    | 1     | No            |                        |                                    |
| 17                   | Ash, green    | 8.0       |            | Good                    | 1     | No            |                        |                                    |
| 18                   | Ash, green    | 8.0       |            | Fair                    | 1     | No            |                        |                                    |
| 19                   | Ash, green    | 8.5       |            | Fair                    | 1     | No            |                        |                                    |
| 20                   | Hackberry     | 16.5      |            | Good                    | 1     | No            |                        |                                    |
| 21                   | Ash, green    | 7.0       |            | Fair                    | 1     | No            |                        |                                    |
| 22                   | Boxelder      | 14.0      |            | Fair                    | 1     | No            |                        |                                    |
| 23                   | Boxelder      | 12.5      |            | Fair                    | 1     | No            |                        |                                    |
| 24                   | Maple, silver | 24.5      |            | Good                    | 1     | No            | 24.5                   |                                    |
| 25                   | Oak, red      | 32.0      |            | Good                    | 1     | Yes           |                        |                                    |
| 26                   | Maple, sugar  | 22.0      |            | Good                    | 1     | No            |                        |                                    |
| 27                   | Boxelder      | 13.5      |            | Fair                    | 1     | No            |                        |                                    |
| 28                   | Maple, sugar  | 21.5      |            | Good                    | 1     | No            |                        |                                    |
| 29                   | Maple, sugar  | 18.0      |            | Good                    | 1     | No            | 18.0                   |                                    |
| 30                   | Oak, red      | 24.5      |            | Good                    | 1     | No            |                        |                                    |
| 31                   | Oak, red      | 28.0      |            | Good                    | 1     | Yes           |                        |                                    |
| 32                   | Maple, sugar  | 22.0      |            | Good                    | 1     | No            | 22.0                   |                                    |
| 33                   | Maple, sugar  | 22.0      |            | Good                    | 1     | No            |                        |                                    |
| 34                   | Ironwood      | 7.0       |            | Good                    | 1     | No            |                        |                                    |
| 272                  | Maple, sugar  | 17.0      |            | Poor                    | 1     | No            | N/A                    | large cavity/hollow dead & damaged |
| 273                  | Boxelder      | 12.0      |            | Dead                    | 1     | No            | N/A                    | decay                              |
| 274                  | Boxelder      | 22.0      |            | Very Poor               | 1     | No            | N/A                    | decay/hollow                       |
| 275                  | Boxelder      | 17.0      |            | Very Poor               | 1     | No            | N/A                    | decay/hollow                       |
| 276                  | Hackberry     | 8.0       |            | Very Poor               | 1     | No            | N/A                    | top missing                        |
| 277                  | Boxelder      | 10.0      |            | Very Poor               | 1     | No            | N/A                    | hollow, cracked                    |
| 278                  | Boxelder      | 16.5      |            | Very Poor               | 1     | No            | N/A                    | nearly dead & extensive decay      |
| 279                  | Boxelder      | 14.5      |            | Very Poor               | 1     | No            | N/A                    | decay/hollow                       |
| 280                  | Boxelder      | 10.0      |            | Very Poor               | 1     | No            | N/A                    | decay/hollow                       |
| 281                  | Boxelder      | 13.0      |            | Very Poor               | 1     | No            | N/A                    | dead top                           |
| 282                  | Boxelder      | 36.0      |            | Poor                    | 3     | No            | N/A                    | decay/top missing                  |
| Total Caliper Inches |               | 587.50    | 147.00     | Number of Trees         |       |               | 99.50                  | 0.00                               |
|                      |               |           |            | Number of Trees Removed |       |               | %Removed               | 9.0                                |
|                      |               |           |            |                         |       |               | Caliper Inches         | 25.7%                              |
|                      |               |           |            |                         |       |               | Caliper Inches removed | 99.5                               |
|                      |               |           |            |                         |       |               | % Removed              | 16.9%                              |

LEGEND  
TREES REMOVED  
TREES EXEMPT  
TREES SAVED



ENGINEERS

PLANNERS

SURVEYORS

150 SOUTH BROADWAY

WAYZATA, MN 55391

(952) 476-6000

SATHRE-BERGQUIST, INC.

MINNESOTA

CITY PROJECT NO.

---

WAYZATA,

MINNESOTA

FILE NO.

7806-041

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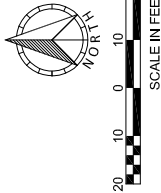
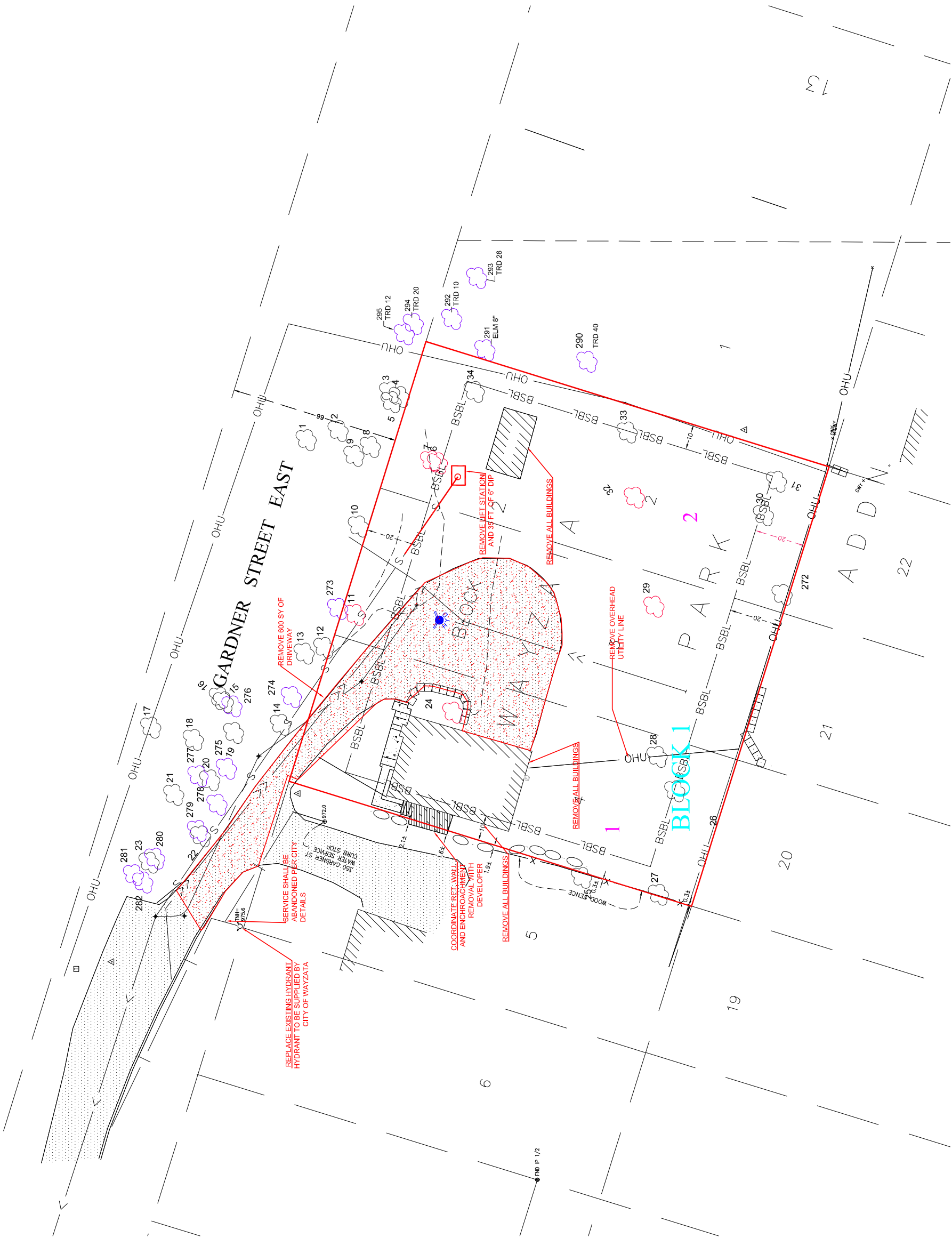
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Date:

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|--------------|-----|-----|------------|-----------|-------------|
|              |     |     |            | REV. FROM | TO          |
| BASE         | 01  | DLS | 10/03/2017 | REV. FROM | 3 TO 2 LOTS |
| DRAWN BY     | 02  | DLS | 10/20/2017 | CLIENT    | REVISIONS   |
| MDM          | 03  | DLS | 12/18/2017 | CLIENT    | REVISIONS   |
| CHECKED BY   |     |     |            |           |             |
| DLS          |     |     |            |           |             |
| DATE         |     |     |            |           |             |
| 04/28/16     |     |     |            |           |             |

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |  |                                                                                                                                                                                               |  |                                                                                      |  |                        |                                                     |   |                      |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--------------------------------------------------------------------------------------|--|------------------------|-----------------------------------------------------|---|----------------------|
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| Name: <i>Daniel J. Schmitt</i><br>Date: 09-15-2017<br>Lic. No. 26147                                                                                                                                                                                                                                                                                                                                                                                                                |  | WAYZATA,<br>MINNESOTA                                                                                                                                                                         |  | 7                                                                                    |  | 7                      |                                                     | 7 |                      |





ALEXANDER  
DESIGN GROUP



**Gardner #2**

3D Conceptual Illustration

04/27/16

Alexander Design Group Inc.



1 OF 1

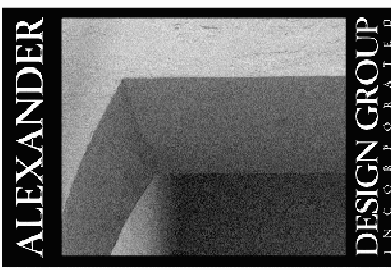
GARDNER ST. EAST #2  
WAYZATA, MN  
55391

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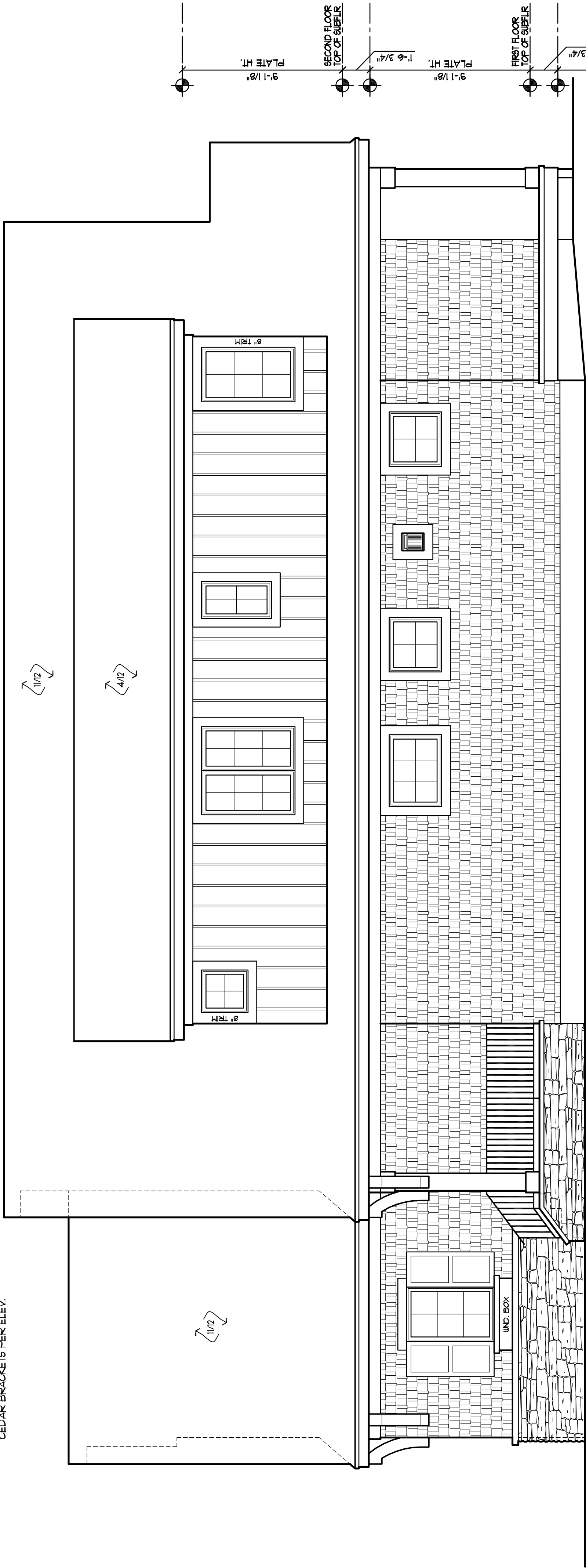
DRAWING DESCRIPTION:  
FRONT & RIGHT  
ELEVATIONS  
ADG

ISSUE DATE:  
31 MAY 2016  
PREVIOUS ISSUE DATES:

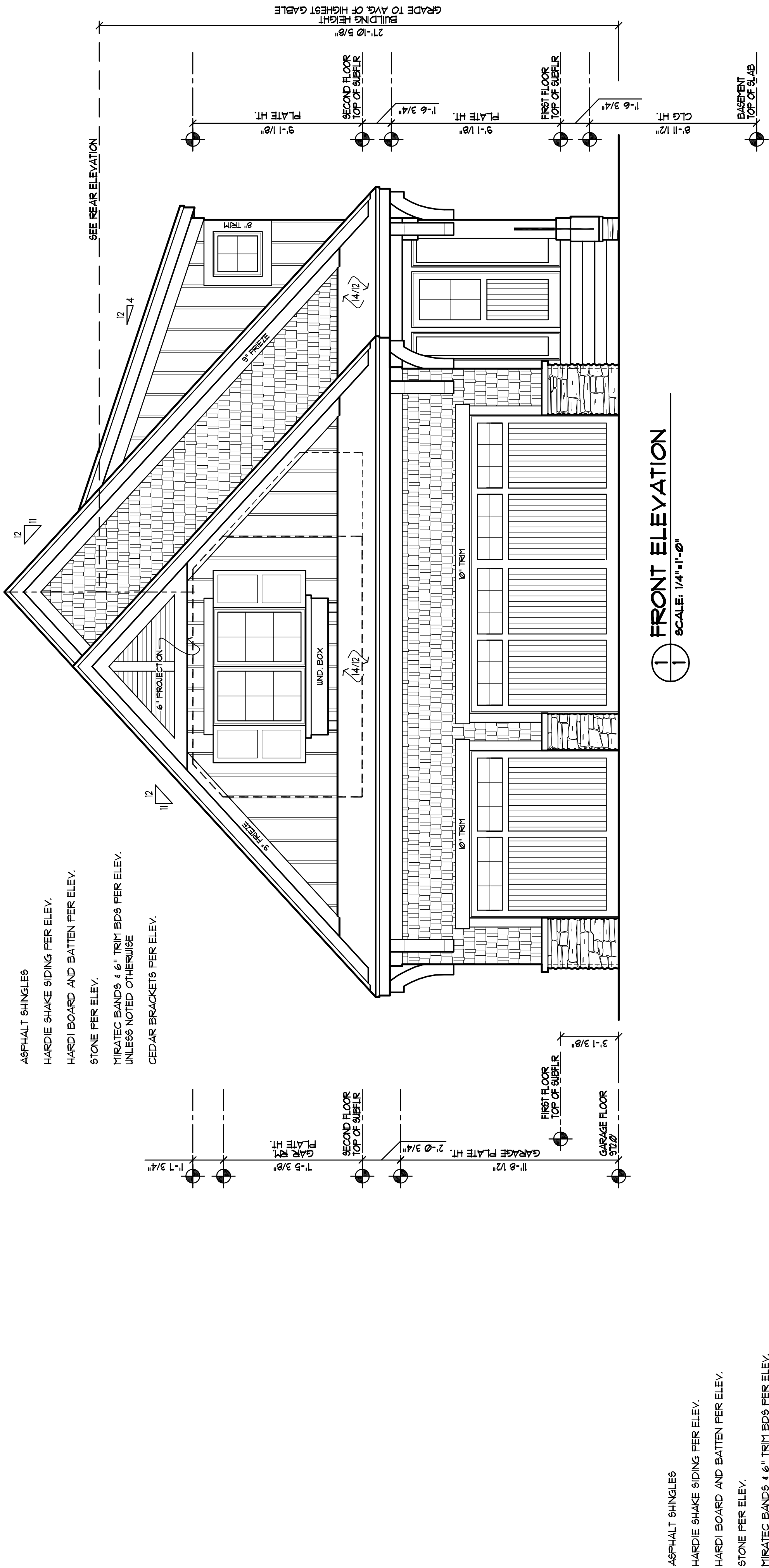
400 EAST LAKE STREET  
WAYZATA, MN 55391  
Phone: 952.473.8777  
FAX: 952.473.8222



2 RIGHT ELEVATION  
SCALE: 1/4"=1'-0"



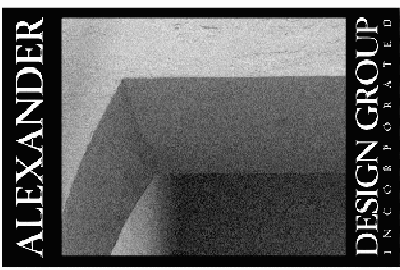
1 FRONT ELEVATION  
SCALE: 1/4"=1'-0"



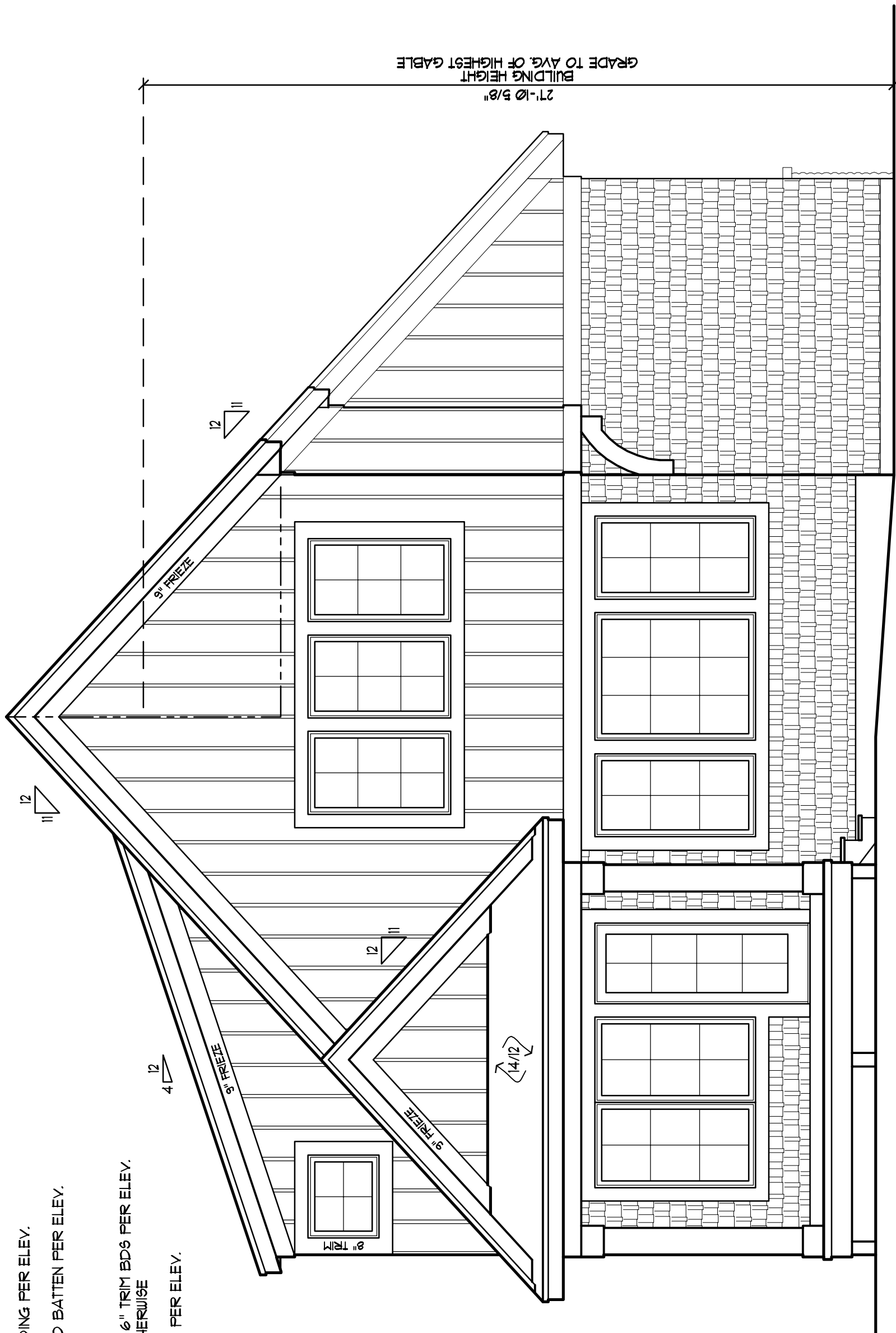
ASPHALT SHINGLES  
HARDIE SHAKE SIDING PER ELEV.  
HARDI BOARD AND BATTEN PER ELEV.  
STONE PER ELEV.  
MIRATEC BANDS 4 6" TRIM BDS PER ELEV.  
UNLESS NOTED OTHERWISE  
CEDAR BRACKETS PER ELEV.

ASPHALT SHINGLES  
HARDIE SHAKE SIDING PER ELEV.  
HARDI BOARD AND BATTEN PER ELEV.  
STONE PER ELEV.  
MIRATEC BANDS 4 6" TRIM BDS PER ELEV.  
UNLESS NOTED OTHERWISE  
CEDAR BRACKETS PER ELEV.



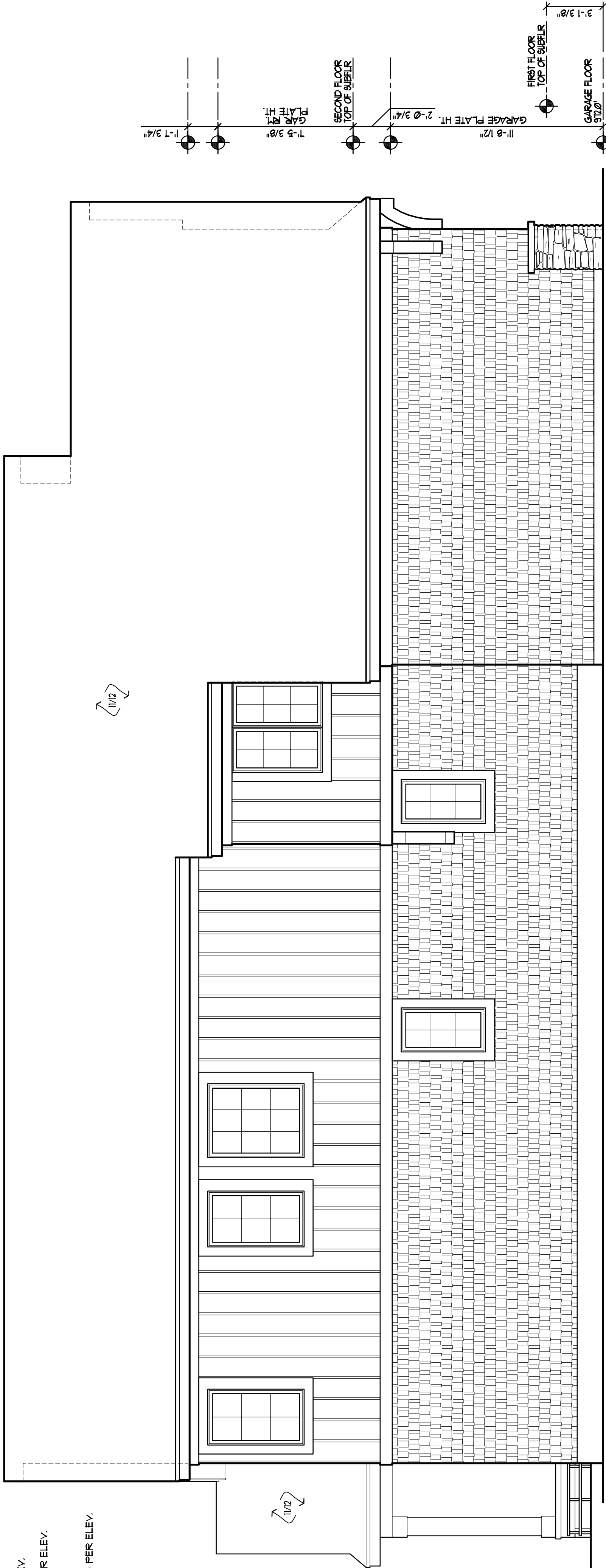


ASPHALT SHINGLES  
HARDIE SHAKE SIDING PER ELEV.  
HARDI BOARD AND BATTEN PER ELEV.  
STONE PER ELEV.  
MIRATEC BANDS & 6" TRIM BDS PER ELEV.  
UNLESS NOTED OTHERWISE  
CEDAR BRACKETS PER ELEV.



1 REAR ELEVATION  
2 SCALE: 1/4"=1'-0"

ASPHALT SHINGLES  
HARDIE SHAKE SIDING PER ELEV.  
HARDI BOARD AND BATTEN PER ELEV.  
STONE PER ELEV.  
MIRATEC BANDS & 6" TRIM BDS PER ELEV.  
UNLESS NOTED OTHERWISE  
CEDAR BRACKETS PER ELEV.



2 LEFT ELEVATION  
2 SCALE: 1/4"=1'-0"

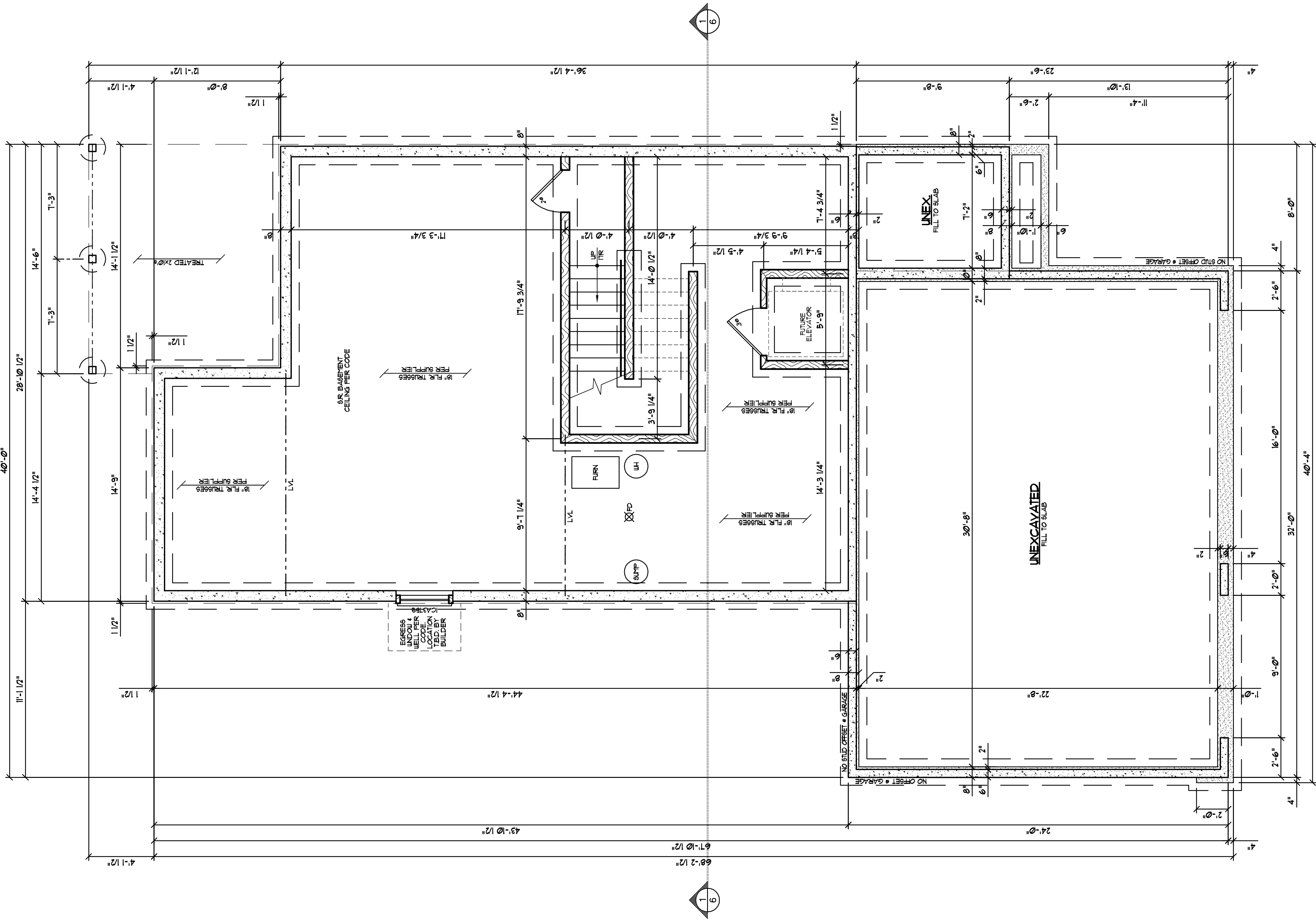


|                       |       |
|-----------------------|-------|
| <b>SQUARE FOOTAGE</b> |       |
| MAIN -                | 1118* |
| UPPER -               | 1650* |
| TOTAL (FIN.) -        | 2838* |
| <b>GARAGE -</b>       |       |
| LWR UNFIN. -          | 1118* |
| TOTAL (MISC.) -       | 1935* |

MARVIN INTEGRITY WINDOW CODES

NOTE - ALL WINDOW HEAD HGTS.  
TO BE SET AT 8'-0" AT LWR LEVEL  
UNLESS NOTED OTHERWISE

**NOTE:**  
OFFSET EXTERIOR STUDS 1-1/2" TO  
THE OUTSIDE FACE OF FOUNDATION  
WHERE EXT. FND. INSUL. IS APPLIED,  
EXCEPT WHERE NOTED.

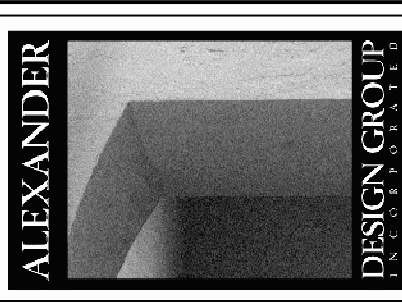


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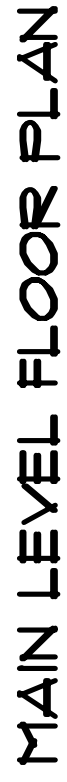
DRAWING DESCRIPTION:  
LOWER LEVEL /  
FOUNDATION PLAN  
ADG

ISSUE DATE: 31 MAY 2016

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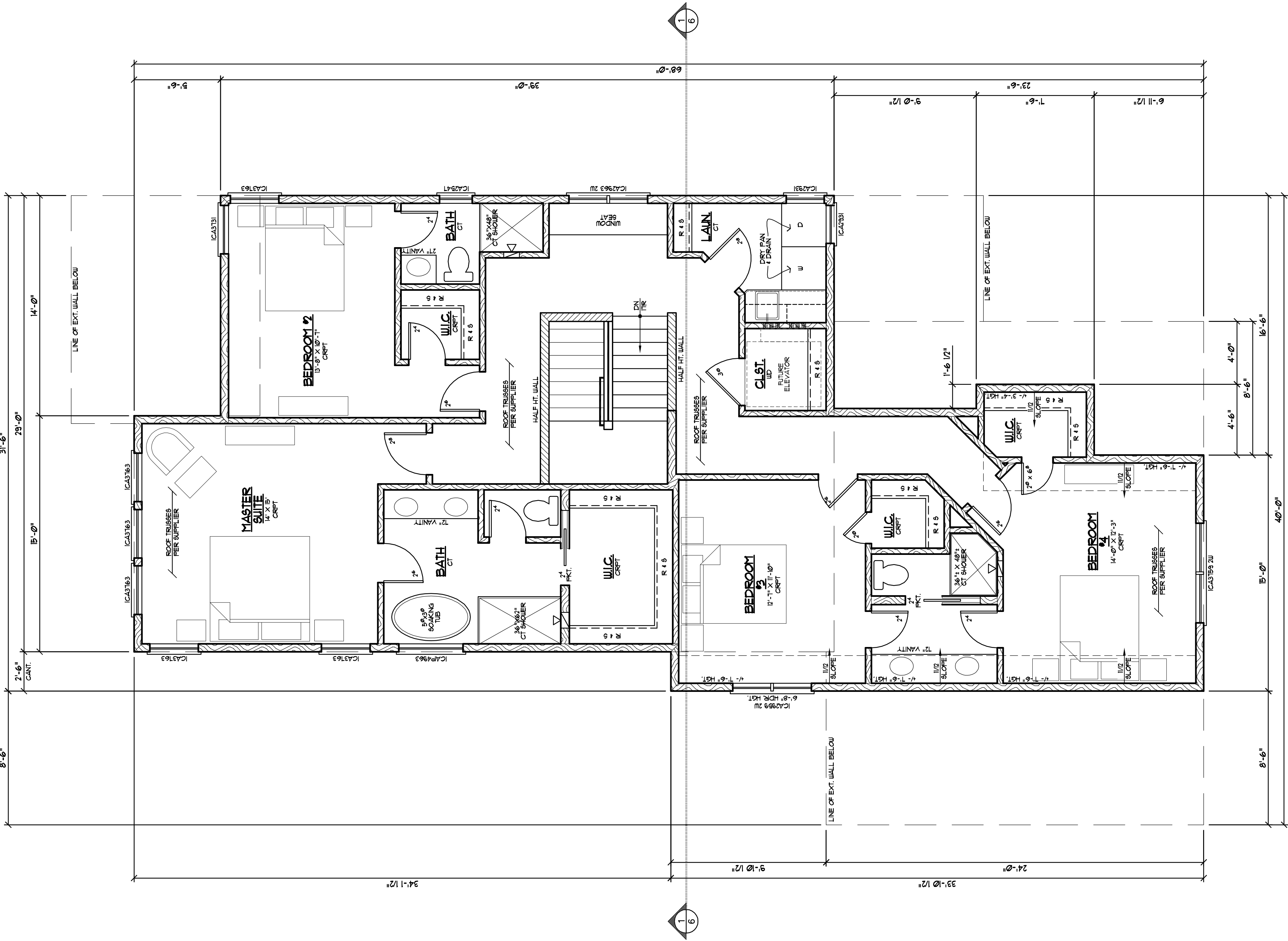




**NOTE:**  
OFFSET EXTERIOR STUDS 1-1/2" TO  
THE OUTSIDE FACE OF FOUNDATION  
WHERE EXT. FND. INSUL. IS APPLIED



1 UPPER LEVEL FLOOR PLAN  
SCALE: 1/4"=1'-0"



| SQUARE FOOTAGE   |      |
|------------------|------|
| PLAN -           | 1784 |
| UPPER -          | 1650 |
| TOTAL (PLAN) -   | 2534 |
| CONCRETE -       | 1784 |
| WURFEN -         | 1784 |
| TOTAL (WURFEN) - | 3568 |

NOTE - ALL WINDOW & DOOR HEAD HIGHS TO BE SET AT 8'-0" AT UPFR LEVEL UNLESS NOTED OTHERWISE

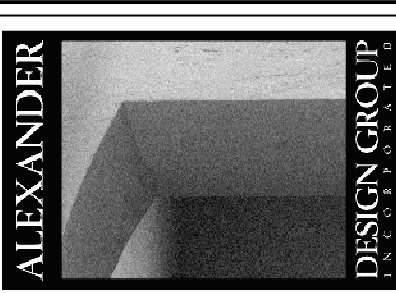
MARVIN INTEGRITY WINDOW CODES

GARDNER ST. EAST #2  
WAYZATA, MN  
55391

BID SET

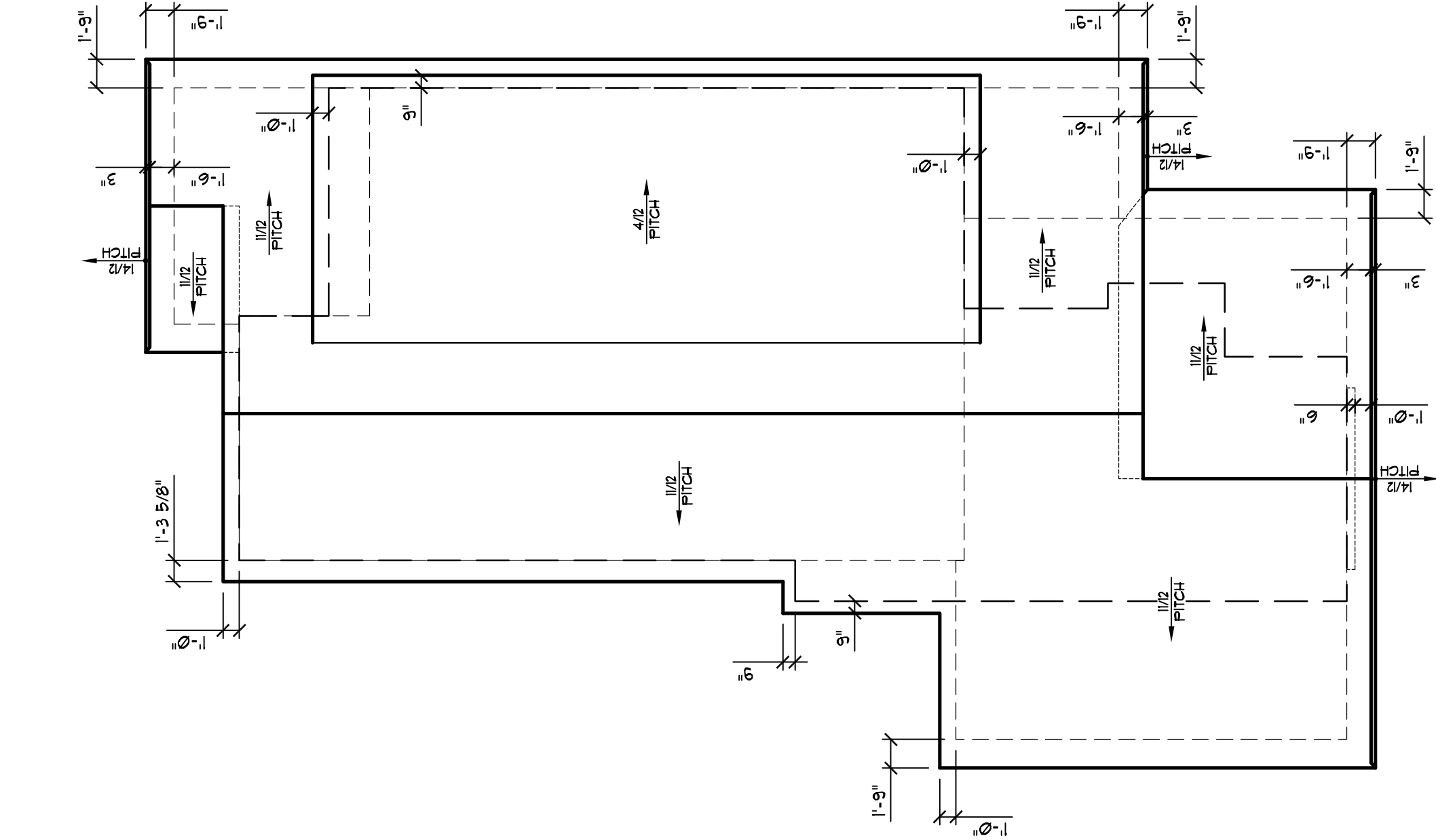
DRAWING DESCRIPTION:  
UPPER LEVEL  
FLOOR PLAN  
ADD

ISSUE DATE:  
31 MAY 2016  
PREVIOUS ISSUE DATES:

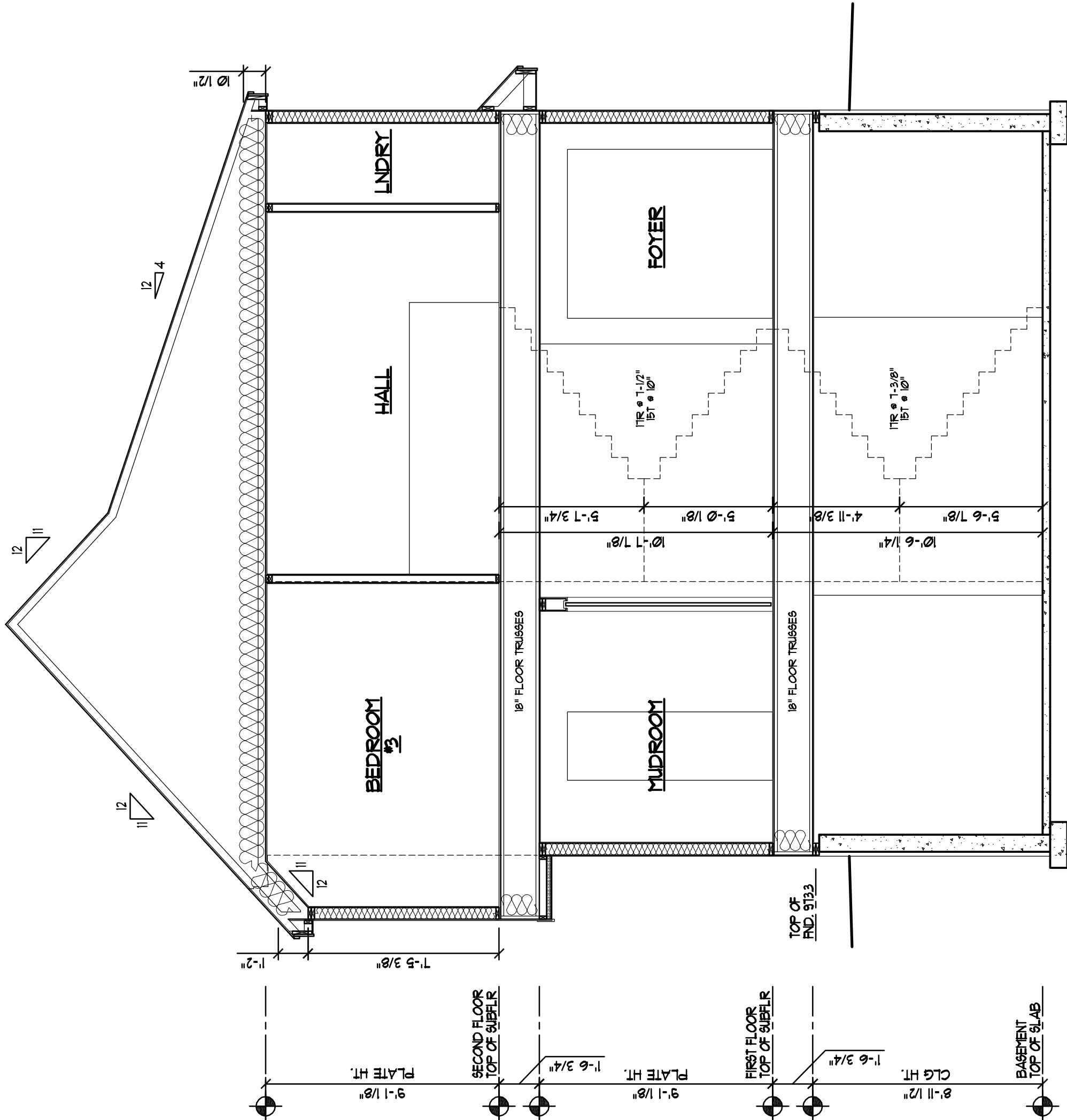


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FAX: 952.473.8222





2 ROOF PLAN  
SCALE: 1/8"=1'-0"



1 SECTION  
SCALE: 1/4"=1'-0"

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**GENERAL CONSTRUCTION NOTES:**  
ALL EXTERIOR DIMENSIONS TAKEN FROM OUTSIDE OF STUD.  
EXTERIOR STUD OFFSET FROM FOUNDATION 1/4" OF FACE  
OF FOUNDATION WHERE EXTERIOR FOUNDATION  
INSULATION IS APPLIED, EXCEPT WHERE NOTED.  
ALL DIMENSIONS SHALL HAVE PRECEDENCE OVER  
SCALED DRAWINGS.  
ALL DIMENSIONS & CONDITIONS TO BE VERIFIED BY  
GENERAL CONTRACTOR  
ALL STRUCTURAL COMPONENTS & CONNECTIONS TO BE  
ENGINEERED BY SUPPLIER.  
ALL WINDOW HEADERS TO BE 2x10 UNLESS OTHERWISE  
NOTED.  
ALL WINDOW SILLING CONCRETE TO BE TREATED.  
VERIFY ANGLES WITH FLOOR PLANS (45° UNLESS  
OTHERWISE NOTED).  
CONSTRUCTION SHOULD BE PERFORMED TO CURRENT  
STATE OF MINNESOTA BUILDING & ENERGY CODES AND  
TO LOCAL INDUSTRY STANDARDS & STANDARD  
INDUSTRY PRACTICES.  
ALL WINDOWS AND DOORS SHOULD BE INSTALLED PER  
MANUFACTURER'S INSTALLATION REQUIREMENTS  
ALL STUCCO SHALL BE INSTALLED PER MINNESOTA LATH  
AND PLASTER BUREAU GUIDELINES.  
ALL WEATHER RESISTIVE BARRIERS SHALL BE  
INSTALLED PER IRC SEC. R703.2 AS AMENDED BY THE  
STATE OF MINNESOTA RULES SECTION 1009.0701.

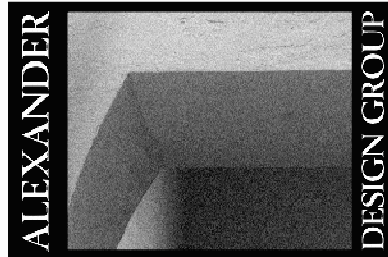
**ROOF CONSTRUCTION:**  
ROOF VENTS AS REQD. - 1/2" O.C.  
ASPHALT SHINGLES - PER MANUF. INSTALL REQUIREMENTS.  
FELT PAPER w/ ICE & WATER SHIELD.  
5/8" OBB ROOF SHEATHING.  
WOOD TRUSSES @ 24" O.C. - ENGINEERED BY SUPPLIER.  
BATTLE @ EACH TRUSS SPACE.  
R-44 BLOW-IN INSULATION.  
POLY VAPOR BARRIER - 6 MIL.  
5/8" GYP. BD. CEILING.

**SOFFIT/FASCIA CONSTRUCTION:**  
HARDBE SOFFIT w/ CONT. VENTS.  
5/4" x 8" MIRATEC FASCIA BD.  
5/4" x 3" MIRATEC TRIM BD.

**WALL CONSTRUCTION:**  
SIDING/STONE PER ELEVATIONS.  
2 LAYERS GRADE 10" BUILDING PAPER.  
1/2" PLYWOOD SHEATHING.  
2x6 STUDS @ 16" O.C.  
3" SPRAY 1" FOAM INSUL. & SEALER - R-19 MIN OR FIBER  
GLASS Batts.  
CONTINUOUS POLY VAPOR BARRIER - 6 MIL. - SEAL ALL  
SEAMS & PENETRATIONS  
1/2" GYP. BD. - TAPE, SANDED, PAINTED

**FLOOR CONSTRUCTION:**  
FINISHED FLOOR  
3/4" T. & G. PLYWOOD SUBFLOOR  
FLOOR TRUSSES (PER PLAN) @ 16" O.C. UNLESS  
OTHERWISE NOTED.  
SPRATED U-FOAM INSUL. @ R11 R-21.  
5/8" GYP. BD. @ FINISHED AREAS.

**FOUNDATION:**  
1/2" x 14" ANCHOR BOLTS @ 5' O.C.  
2-2x6 TREATED SILL & SEALER.  
8"U POURED CONC. WALLS MIN. - (SEE DETAILS & PLANS)  
2x4 FURRING @ 16" O.C. - HOLD OUT 1/2" FROM CONC. - 2x4  
TRTD SILL PLATE  
R-11 SPRATED ISOCYANE INSUL. & SEALER OR EQUAL  
8" x 16" CONC. FIG. w/ 2 - 3/4" CONT. MIN. - (SEE DETAILS &  
PLANS)  
WATCHDOGS WATERPROOFING OR EQUAL  
3 1/4" CONC. SLAB  
2" RIGID INSULATION  
POLY VAPOR BARRIER  
INTERIOR AND EXTERIOR DRAIN TILE TO SUMP BUCKET



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FAX: 952.473.8222

ISSUE DATE:  
31 MAY 2016  
PREVIOUS ISSUE DATES:

DRAWING DESCRIPTION:  
SECTIONS  
ADD

BY SET

GARDNER ST. EAST 2  
WYAZATA, MN  
55391

6 OF 6





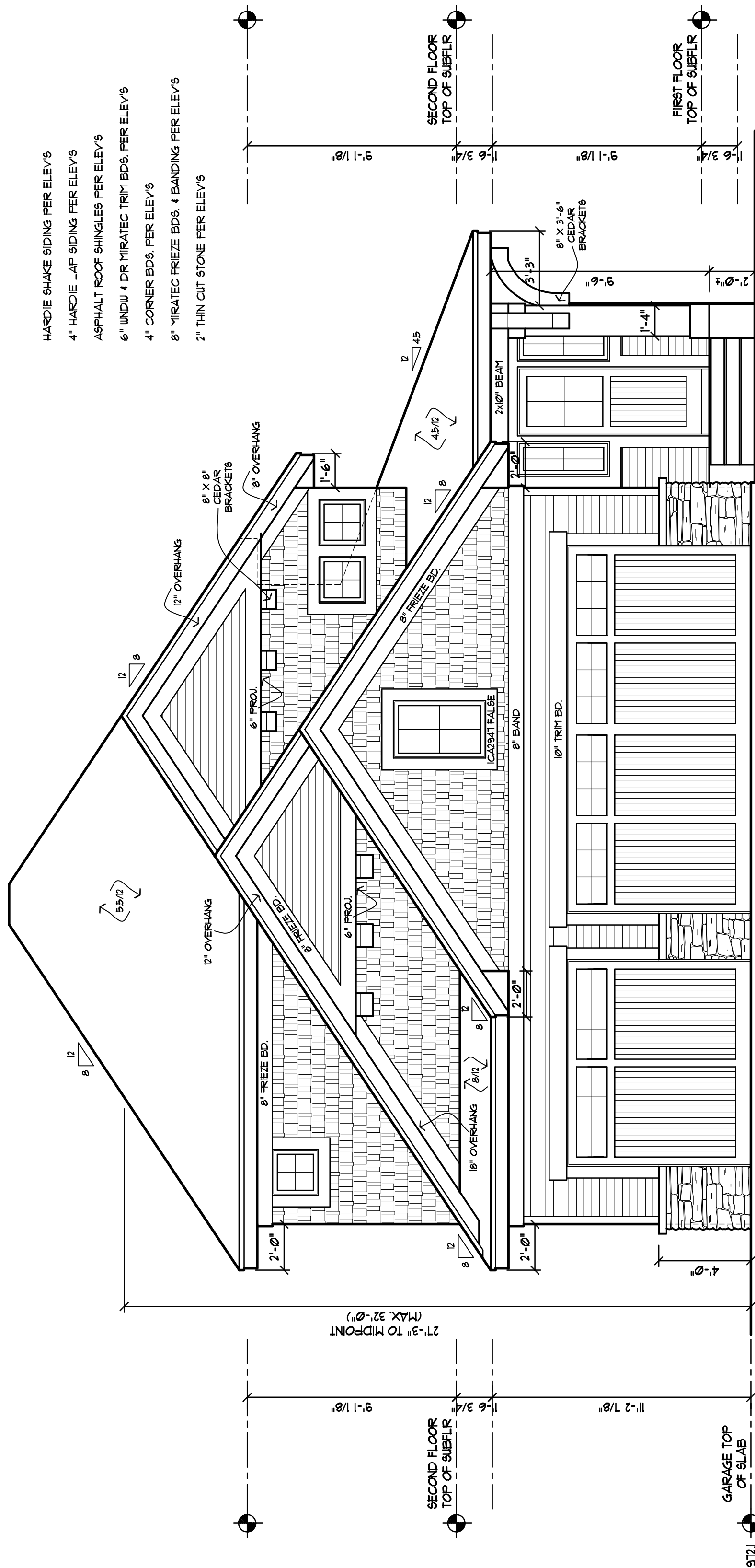
### Gardner #3

3D Conceptual Illustration

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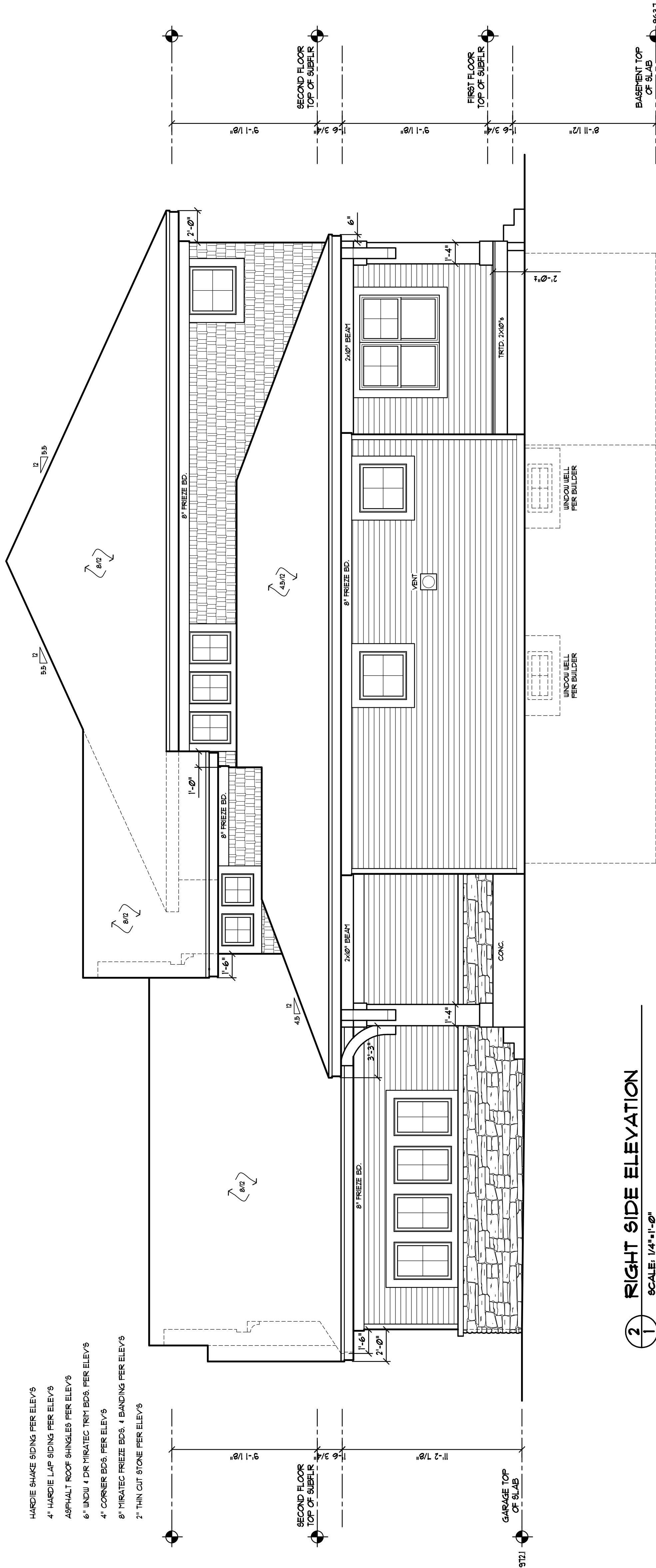
04/27/16





## FRONT ELEVATION

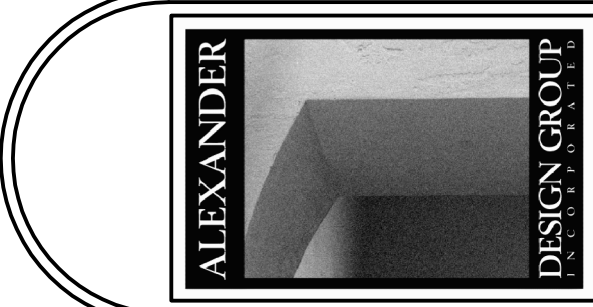
**SCALE: 1/4"=1'-0"**



## RIGHT SIDE ELEVATION

**SCALE: 1/4"=1'-0"**





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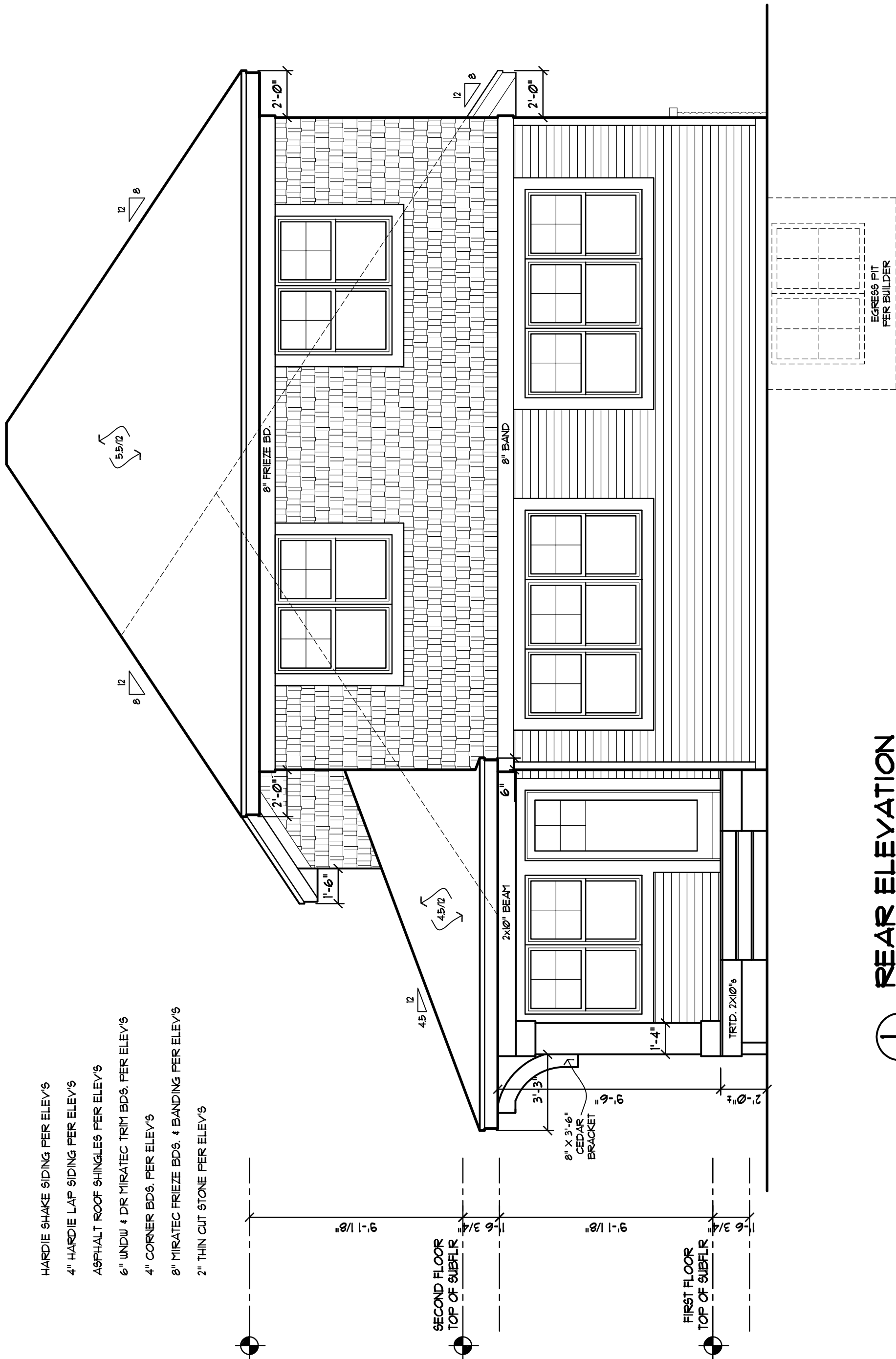
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ELEVATIONS

ADG/BOHLAND

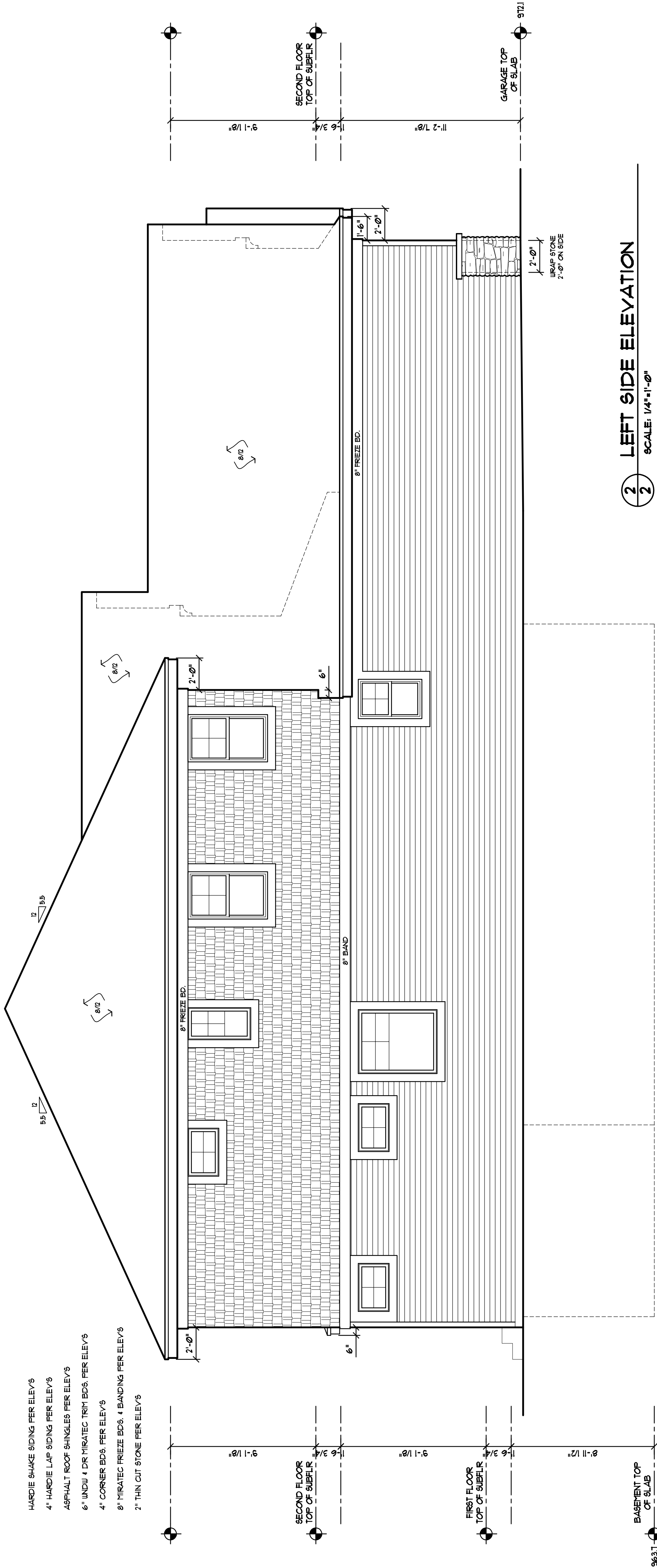
BID SET ONLY  
NOT FOR CONSTRUCTION

GARDNER STREET EAST #3  
WAYZATA, MN

2 OF 6  
2



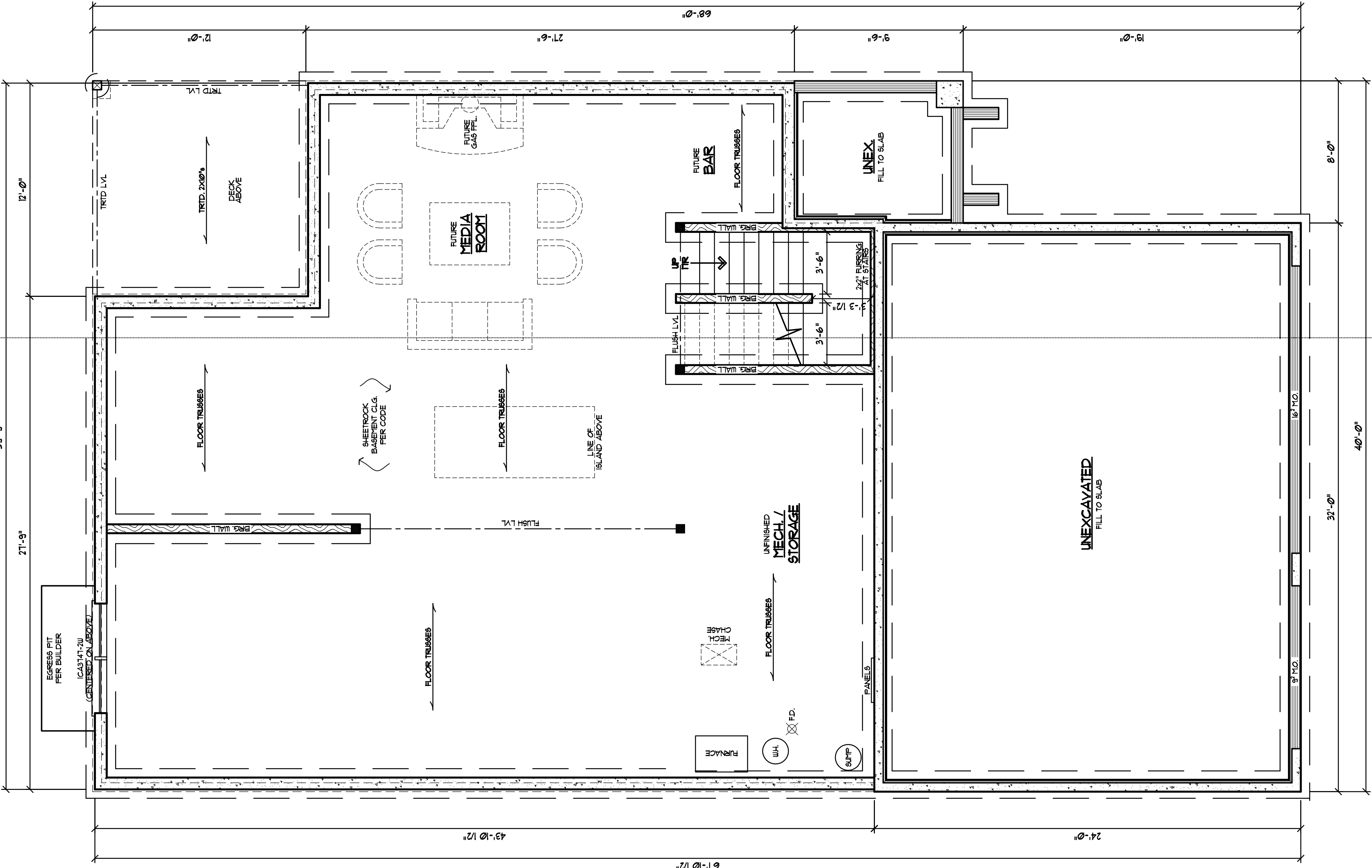
1 REAR ELEVATION  
2 SCALE: 1/4\"/>



2 LEFT SIDE ELEVATION  
2 SCALE: 1/4\"/>



1 3 LOWER/FDN LEVEL PLAN  
SCALE: 1/4"=1'-0"



NOTE - ALL WINDOW & DR. HEAD HGT'S TO BE SET AT 8'-0" AT LOWER LEVEL UNLESS NOTED OTHERWISE

MARVIN INTEGRITY UNID. CORES

NOTE:  
OFFSET EXTERIOR STUDS 1-1/2" TO THE OUTSIDE FACE OF FOUNDATION UNLESS NOTED OTHERWISE. UNID. APPLIED EXCEPT WHERE NOTED.

| SQUARE FOOTAGE |       |
|----------------|-------|
| MAIN -         | 1596# |
| UPPER -        | 1184# |
| FIN. LOWER -   | XXX#  |
| FIN. TOTAL -   | 2780# |

GARDNER STREET EAST #3  
WAYZATA, MN

BID SET ONLY  
NOT FOR CONSTRUCTION

DRAWING DESCRIPTION:

LOWER LEVEL

FLOOR PLAN

ADG/BOHLAND

ISSUE DATE:  
31 MAY 2016

PREVIOUS ISSUE DATES:

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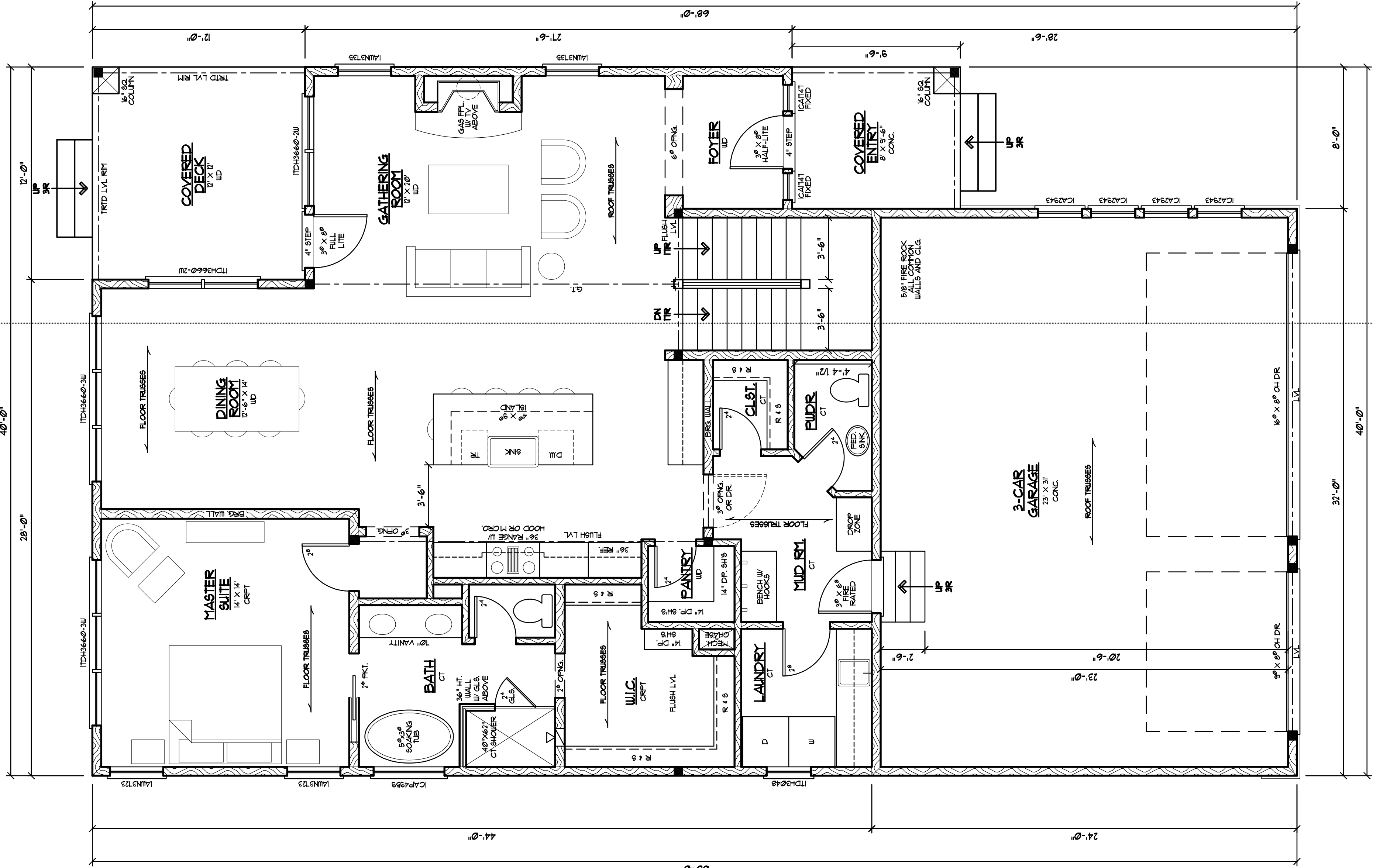
DESIGN GROUP

ALEXANDER

3 OF 6



2 MAIN LEVEL PLAN  
SCALE: 1/4"=1'-0"



| SQUARE FOOTAGE |        |
|----------------|--------|
| MAIN -         | 1536 # |
| UPPER -        | 1184 # |
| FIN. LOWER -   | XXX #  |
| FIN. TOTAL -   | 2180 # |

MARVIN INTEGRITY UND. CODES

NOTE - ALL WINDOW & DOOR HEAD  
SIZES TO BE SET AS SHOWN ON MAIN  
LEVEL UNLESS NOTED OTHERWISE

GARDNER STREET EAST #3  
WAYZATA, MN

BID SET ONLY  
NOT FOR CONSTRUCTION

DRAWING DESCRIPTION:

FLOOR PLAN

ADG/BOHLAND

ISSUE DATE:  
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4 OF 6



1 UPPER LEVEL PLAN  
SCALE: 1/4"=1'-0"

5 OF 6  
5

GARDNER STREET EAST #3  
WAYZATA, MN

BID SET ONLY  
NOT FOR CONSTRUCTION

DRAWING DESCRIPTION:

UPPER LEVEL PLAN  
+ ROOF PLAN

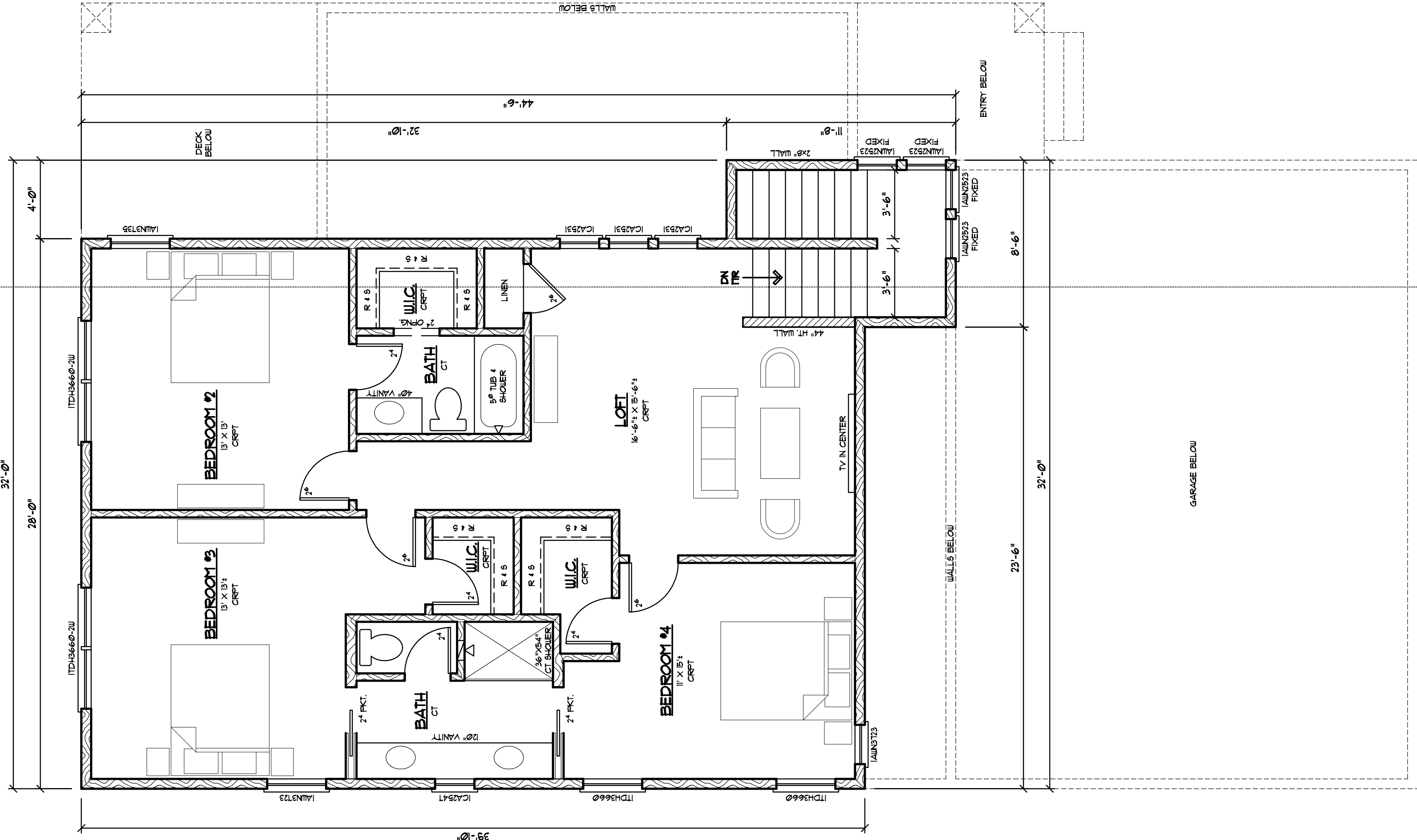
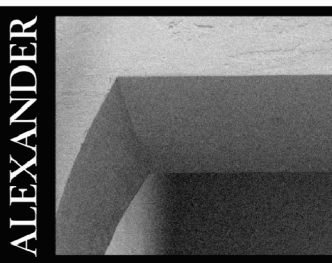
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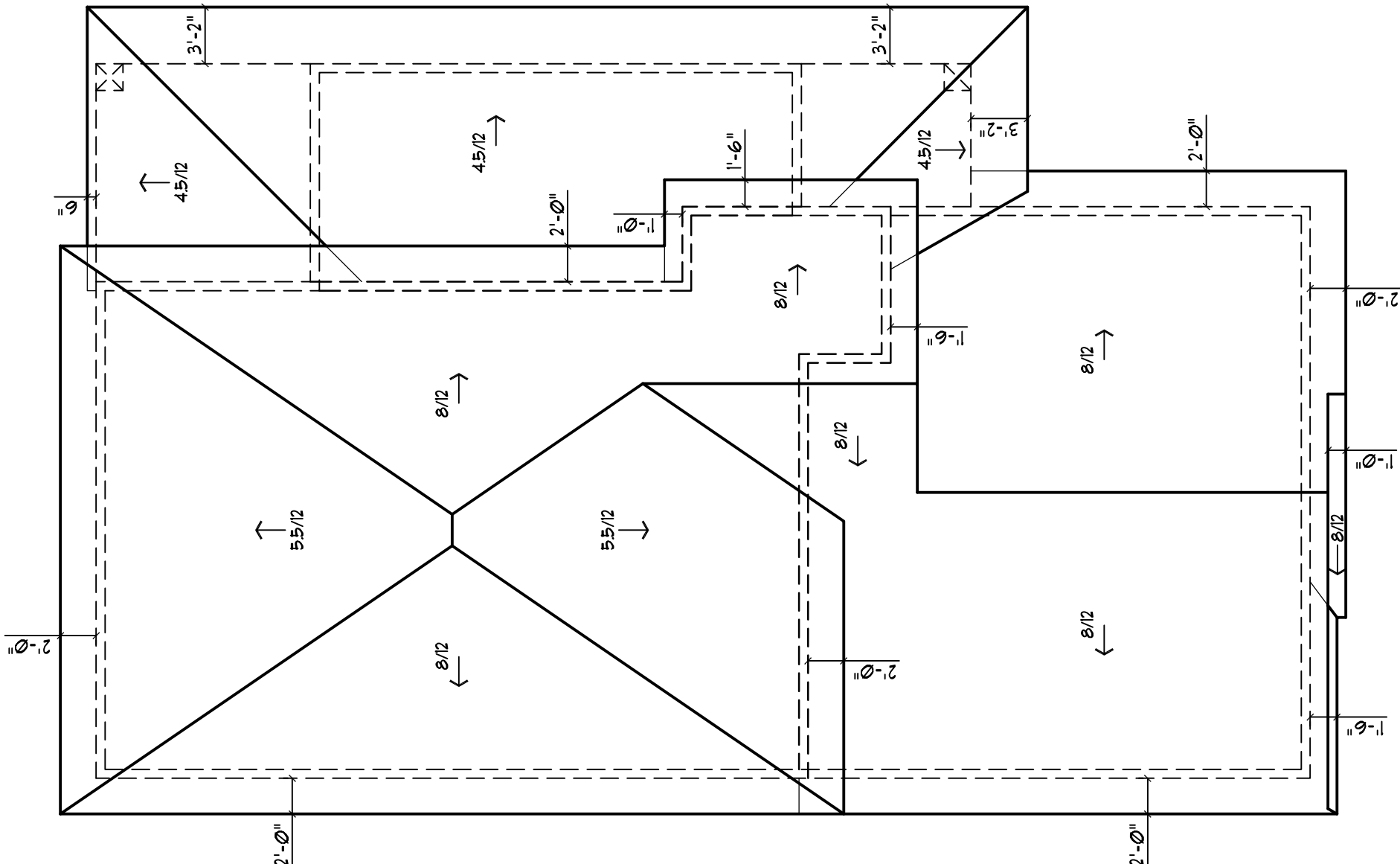


| SQUARE FOOTAGE |       |  |  |
|----------------|-------|--|--|
| MAIN -         | 1590# |  |  |
| UPPER -        | 1184# |  |  |
| FIN. LOWER -   | XXX#  |  |  |
| FIN. TOTAL -   | 2780# |  |  |

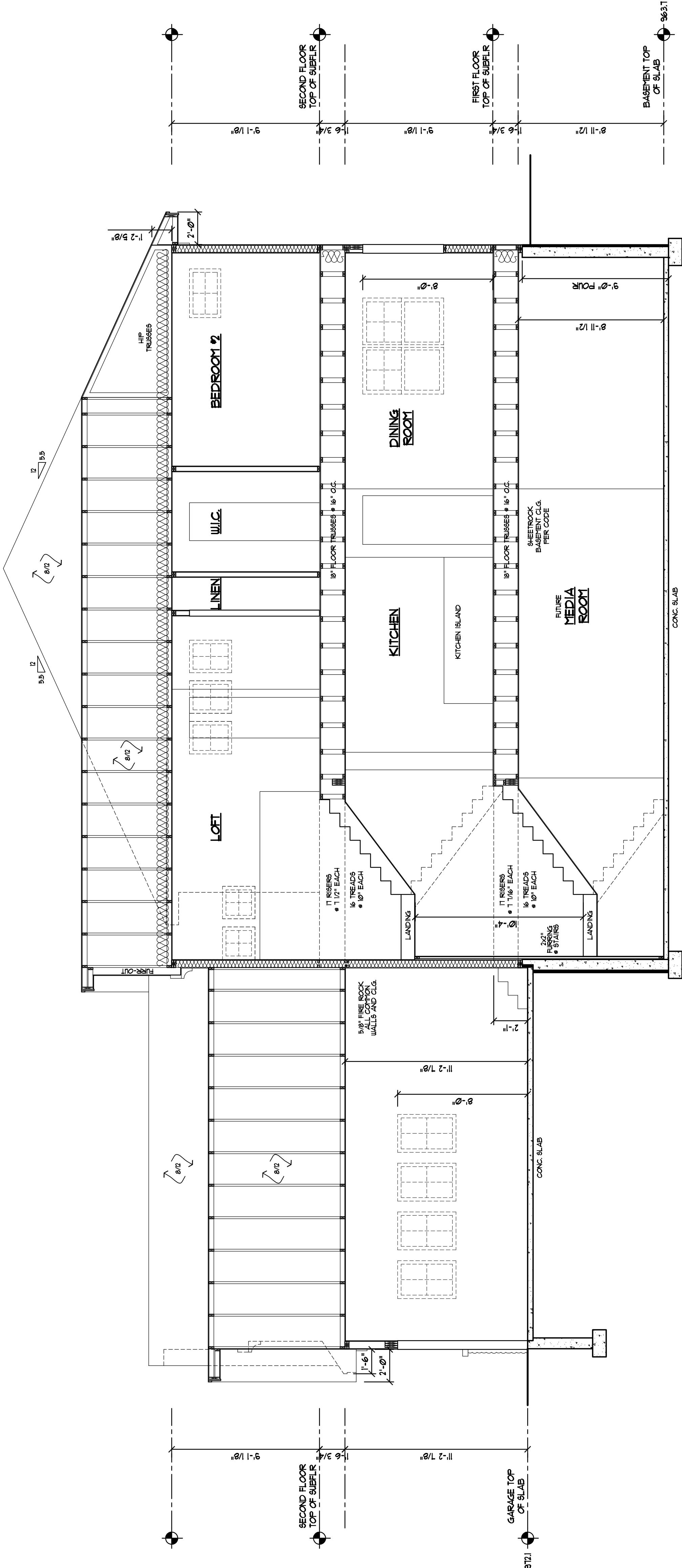
MARVIN INTEGRITY WIND CODES

NOTE - ALL WINDOW & DOOR HEAD  
HGT'S TO BE SET AT 8'-0" AT UPPER  
LEVEL UNLESS NOTED OTHERWISE

2 ROOF PLAN  
SCALE: 1/8"=1'-0"







**BUILDING SECTION**

SCALE: 1/4"=1'-0"

1  
6

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ALL DIMENSIONS & CONDITIONS TO BE VERIFIED BY GENERAL CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION.  
ALL DIMENSIONS & CONDITIONS TO BE VERIFIED BY GENERAL CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION.  
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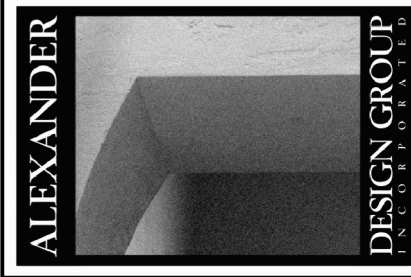
**WALL CONSTRUCTION:**  
SIDING PER ELEVATIONS  
2 LAYERS GRADE "D" BUILDING PAPER  
1/2" PLYWOOD SHEATHING  
3/4" T & G PLYWOOD SUBFLOOR  
FLOOR TRUSSES (PER PLAN) • 16" O.C. INLETS  
OTHERWISE NOTED.  
APPLY 1/2" POLY VAPOR BARRIER • 6 MIL - SEAL ALL SEAMS & PENETRATIONS  
1/2" GYP. BD. - TAPE, SANDED, PAINTED

**FLOOR CONSTRUCTION:**  
FINISHED FLOOR  
3/4" T & G PLYWOOD SUBFLOOR  
FLOOR TRUSSES (PER PLAN) • 16" O.C. INLETS  
OTHERWISE NOTED.  
APPLY 1/2" POLY VAPOR BARRIER • 6 MIL - SEAL ALL SEAMS & PENETRATIONS  
1/2" GYP. BD. - TAPE, SANDED, PAINTED

**FOUNDATION:**  
1/2" x 1/2" ANCHOR BOLTS • 8" O.C.  
24" CONCRETE WALLS • 16" O.C. - (SEE DETAILS & PLAN)  
24" TRTD 8/11 FLAT  
R-11 SPRAYED POLYURETHANE INSUL • SEALER OR EQUAL  
8" x 20" CONC. FIG. W/ 2 - 1/4" CONT. MIN. - (SEE DETAILS & PLAN)  
WATCHDOG WATERPROOFING OR EQUAL  
3 1/4" CONC. SLAB  
2" RIGID INSULATION (INSTALL FLASHING AT TOP)  
POLY VAPOR BARRIER  
INTERIOR AND EXTERIOR DRAIN TILE TO SUMP BUCKET

**ROOF CONSTRUCTION:**  
ROOF VENTS AS REQD. - 1/2" DIA.  
ASPHALT SHINGLES - PER MANF. INSTALL  
FELT PAPER/ICE & WATER SHIELD  
5/8" OSB ROOF SHEATHING  
WOOD TRUSSES • 24" O.C. - ENGINEERED BY SUPPLIER  
BATTLE • EACH TRUSS SPACE  
R-44 BLOW-IN INSULATION  
POLY VAPOR BARRIER • 6 MIL  
5/8" GYP. BD. CEILING

**SOFIT/FASCIA CONSTRUCTION:**  
HARDIE SOFT-BOARD COMB. VENTS  
5/8" x 1/2" MIN. VENTS  
5/8" x 3" MIN. VENTS  
5/8" x 3" MIN. VENTS



400 EAST LAKE STREET  
WAYZATA, MN 55391  
Phone: 952.473.8277  
FAX: 952.473.8222

ISSUE DATE:  
21 MAY 2016  
PREVIOUS ISSUE DATES:

DRAWING DESCRIPTION:  
BUILDING SECTION  
ADD/BOH/LAND

BID SET ONLY  
NOT FOR CONSTRUCTION

GARDNER STREET EAST #3  
WAYZATA, MN

9 OF 9

1 resulting lots could not be subdivided in the future and meet the R-3A lot requirements. Given the  
2 familiar background on the application, Mr. Thomson noted that a draft Planning Report and  
3 Recommendation of approval was included in the Commission's materials for the meeting.

4  
5 Commissioner Flannigan asked if the properties would conform to the hardcover requirements,  
6 and the reason for the expedited review.

7  
8 Mr. Thomson stated that the lots would meet the hardcover requirement of the R-3A District, and  
9 the applicant would like to file the final plat with Hennepin County before December 31, 2017 for  
10 property tax purposes.

11  
12 Chair Iverson noted that the applicant indicated that there is not any more to add to the discussion  
13 at this time.

14  
15 Chair Iverson opened the public hearing on the application at 7:09 p.m.

16  
17 There being no one wishing to comment, Chair Iverson closed the public hearing at 7:10 p.m.

18  
19 There being no further comments or discussion among the Planning Commission, Chair Iverson  
20 asked for a motion on the application. Commission Buchanan made a motion, Seconded by  
21 Commissioner Young, to adopt the Planning Commission Report and Recommendation as  
22 presented, recommending approval of the Preliminary and Final Plat Subdivision for 227 Walker  
23 Ave N, 521 and 529 Park St E.

24  
25 Chair Iverson asked for any discussion on the motion and hearing none, asked Mr. Thomson if  
26 there would be a home built on the 521 Park St E.

27  
28 Mr. Thomson stated there were no plans submitted for the 521 Park St E property at this time. He  
29 read the findings included in the Planning Commission Report and Recommendation presented.

30  
31 Chair Iverson clarified that the motion based on the findings in the Report, and read the conditions  
32 included in the Planning Commission Report and Recommendation.

33  
34 Commissioner Buchanan restated his motion to expressly include the findings of fact and  
35 conditions as stated. The motion was seconded by Commission Young. The motion carried  
36 unanimously.

37  
38  
39 **b.) Gardner Place – 350 Gardner St E**

40 **i. Rezoning, PUID Concept and General Plan, Preliminary Plat Subdivision**

41  
42 Director of Planning and Building Mr. Thomson stated the applicant, Bohland Homes, has  
43 submitted a development application to subdivide the property at 350 Gardner St E into two single-  
44 family residential lots. The existing house would be demolished and two new homes would be  
45 constructed with access from a private driveway. The application requests rezoning from R-3A to  
46 PUD/Planned Unit Development, PUD concept and general plan, and preliminary plat subdivision.

1 Mr. Thomson noted that earlier in 2017, the Planning Commission and City Council reviewed a  
2 three-lot subdivision of the property. The previous development application retained the existing  
3 R-3A zoning, and requested approval of a subdivision variance to allow for a private street, and a  
4 zoning variance from the impervious surface limitation. The City Council denied that application  
5 due to concerns about the number of homes, small lot sizes, tree removal, private street, amount  
6 of grading and fill, and impacts on adjacent properties. The current development application  
7 includes the removal of the existing house, and the construction of new homes on each of the new  
8 lots. The proposed house pads would comply with all requirements of the R-3A zoning district  
9 including setbacks, lot coverage, and impervious surface. The property currently has a private  
10 driveway that is shared with the adjacent property. Although the driveway would be commonly  
11 referred to as a shared driveway, it would be considered a private street under the broad definition  
12 of a private street in the subdivision ordinance. The City's subdivision ordinance prohibits private  
13 streets except in the case of planned unit developments. The applicant is proposing to widen the  
14 private street to 14-feet and extend it to provide access to the two new homes, which is the reason  
15 for the request to rezone to PUD. The City Engineer recommended that the sanitary sewer force  
16 main serving the property be private, with an agreement between the two lots for maintenance.

17  
18 Commissioner Buchanan asked for clarification on where the private road began and where the  
19 public portion of Gardner Street ended. He clarified that a private road was defined as a driveway  
20 or road that serviced two or more homes, and a private road did not have to be constructed to the  
21 same standards as a public street. He asked if the private road would be compliant for emergency  
22 vehicle access.

23  
24 Mr. Thomson stated the application was reviewed by the Fire Marshal, and he had provided two  
25 options related to access and fire safety. The first option is to extend a code compliant fire access  
26 lane to both lots, and the second option is for the homes to include a fire sprinkler system, in which  
27 case the expanded fire access lane would not be needed. Given the grading, tree removal, and  
28 impervious surface impacts of a code compliant fire access lane to the property, City staff would  
29 recommend that the homes be required to have fire sprinklers as a condition of approval.

30  
31 Commission Flannigan asked if there was an agreement with the neighboring property to allow  
32 the private driveway/road to cross their property. He asked if the applicant has agreed to the  
33 condition of requiring sprinkler systems for the homes.

34  
35 Mr. Thomson stated part of this driveway already exists on the adjacent property, but he is not sure  
36 if there is an agreement for the proposed extension. He stated he did not know if the applicant had  
37 agreed to the condition of having fire sprinklers in the homes.

38  
39 Chair Iverson stated even with the sprinklers, if there were a fire, the trucks would need to get to  
40 the property. She asked how these trucks would turn around.

41  
42 Mr. Thomson stated with the fire sprinklers the number of trucks that would be required would be  
43 less, but if they did have a full-size fire truck on the property it would have to back out.

44  
45 Commissioner Douglas stated to the east there is a large hill going to the water tower. She asked  
46 if staff had reviewed the impacts of the runoff from this hill.

1  
2 Mr. Thomson stated the City Engineer did review the plans and he recommended the grading  
3 maintain the existing drainage patterns, and the storm water runoff from the new hardcover would  
4 have to be appropriately directed.

5  
6 Chair Iverson asked if there was a way to reroute the stormwater catch basin so that the two  
7 significant trees located in the City's right of way would not have to be removed. These trees are  
8 a buffer for Highway 12, and the adjacent homeowner had come to the last meeting and expressed  
9 concerns about potential water issues. She stated the Commission would need additional  
10 information on the stormwater management. She stated at the last public hearing a neighbor had  
11 also expressed concern about the significant trees on her property being impacted by the grading.  
12 She asked if this had been addressed.

13  
14 Commissioner Flannigan stated the concerns had been raised because the previous proposal had  
15 included the construction of a retaining wall and the grading for this could have impacted the trees  
16 on her property.

17  
18 Chair Iverson asked how much of a reduction there would be in the slope. She stated the  
19 topography was changing significantly, and she would like to understand how this would impact  
20 the stormwater runoff and drainage.

21  
22 Commissioner Douglas asked what the City's experience was with grinder pumps located in homes  
23 in Wayzata.

24  
25 Mr. Thomson stated grinder pumps require more maintenance. If the pump fails, it could impact  
26 the home it is located in, but it would not impact the City's sewer main or cause backups in other  
27 homes.

28  
29 Chair Iverson asked if the applicant has worked out an agreement with the neighbors regarding the  
30 private driveway/road. She expressed concerns about the removal of the significant trees. They  
31 had reviewed pictures during the public hearing on the previous proposal for this property and the  
32 pictures depicted the coverage these trees provide to the neighborhood from Highway 12, which  
33 buffer the noise. The driveway had been a concern at the previous public hearing as well.

34  
35 Applicant's representative, Steve Bohl, 550 Far Hill Rd, stated the proposed driveway would go  
36 onto the neighboring property about a foot. They could push the driveway a foot further north and  
37 most of the private driveway would then be in the public right-of-way. He explained the previous  
38 application had proposed a wider driveway and this had impacted more trees, so their goal with  
39 this design was to stay as close to the existing driveway as possible to serve the one additional  
40 home. He stated that they have not had any discussions with the adjoining property owner on the  
41 new proposal.

42  
43 Chair Iverson asked for clarification on the retaining wall and the impacts to the trees and the  
44 grading that would occur.



1 Mr. Bohl stated the retaining wall is a 4-foot retaining wall and is pushed away from the eastern  
2 property line, and they would not impact the trees along the eastern property line. The grading  
3 that is occurring on the eastern property is to direct the water around the home. The grade of the  
4 hill to the east of the retaining wall would remain. They would only be removing dirt to build the  
5 retaining wall.

6  
7 Commissioner Douglas asked what the size of the footprint and price point would be for the homes  
8 on these properties.

9  
10 Mr. Bohl reviewed the plans that had been previously reviewed by the Commission and noted that  
11 the square footage on the main level would be 1178 square-feet, and the garage would add another  
12 757 square-feet.

13  
14 Commissioner Flannigan asked if the applicant would consider providing some screening in the  
15 right-of-way in order to offset what would be removed.

16  
17 Mr. Bohl stated there would be an opportunity to look at this. There are some trees that would  
18 have to be removed because they are dead or poor growing. He explained if they removed the  
19 catch basin on the northern side, then the two trees they are showing as being removed would be  
20 saved. He said was not sure if the catch basin in the right of way had been a recommendation from  
21 City staff.

22  
23 Mr. Thomson clarified that the City's Arborist did review the trees in the City's right-of-way and  
24 confirmed that there are dead and diseased trees that may need to be removed even if this  
25 application is not approved, given their dead and diseased state.

26  
27 Commissioner Flannigan stated these trees have presented a liability to the City for the last 15-  
28 years, and the City has not looked at this area for 30-years.

29  
30 There being no further questions of the Applicant and staff, Chair Iverson opened the public  
31 hearing at 7:57 p.m.

32  
33 Mr. Joe Madson, 344 Gardner Street E, asked if it was a City requirement that the catch basin be  
34 put in. He would like to see as much screening from Highway 12 maintained as possible. If there  
35 is an option to not remove these trees he would like that reviewed, and if the catch basin does need  
36 to be installed he would like the City to look at adding tree replacement for the trees that would be  
37 removed. He also asked if it had been a City requirement that the private road be pushed back  
38 onto his property. He expressed concerns about the construction process and how this access  
39 would impact his property.

40  
41 Ms. Robin Bintossi, representing Linda Linden at 345 Gardner Street E, stated Ms. Linden had  
42 requested she attend for her. Ms. Linden has expressed concerns since the beginning for the  
43 proposed project and several of these concerns are still pertinent today. Her concerns include the  
44 fact that the new proposal still proposes the rerouting of the existing water drainage, and this would  
45 significantly impact her building pad. She clarified whether two trees would be removed in the



1 City's right-of-way, and she would like to know if the City is giving any of the City owned right-  
2 of-way to the developer for what is being proposed for the properties adjacent to 350 Gardner.

3  
4 Ms. Elissa Madson, 344 Gardner Street E, stated where the public street ends and the private  
5 driveway begins there are two existing catch basins. In her conversations with City Engineer  
6 Mike Kelly, she had been told that 15-years ago the City of Wayzata came in and dug up the private  
7 driveway. Water is currently being routed under the driveway and routed down to a catch basin by  
8 the smaller garage, and there is a catch basin in the north corner that catches any water that comes  
9 off. The street water funnels under the driveway and meets up with the catch basin at the bottom  
10 of the driveway and other water that funnels off the hill. From here it goes north into the City  
11 right-of-way.

12  
13 Ms. Lucy Bruntjen, 402 Gardner Street E, asked if the hill on the project property would be affected  
14 at all.

15  
16 Mr. Bohl stated clarified the retaining wall locations and the slight grading changes to allow the  
17 water to be redirected. He noted that the change to the slope will be minor but there would be a  
18 4-foot drop because of the retaining wall. There will be soil correction on the driveway, and this  
19 may involve some grading.

20  
21 There being no other member of the public wishing to speak, Chair Iverson closed the public  
22 hearing at 8:08 p.m.

23  
24 Chair Iverson asked about the portion of private driveway that would be in the City's right-of-way.

25  
26 Mr. Thomson stated he would look into the questions regarding the catch basin at the end of  
27 Gardner Street. The City is not requiring the driveway to be located in any particular location, but  
28 they are requiring the driveway to be at least 14-feet in width. The City is not selling, vacating or  
29 getting rid of any portion of the right-of-way.

30  
31 Commissioner Flannigan asked if the City Engineer was confident that this plan addressed all the  
32 stormwater issues that may exist.

33  
34 Mr. Thomson stated there are some items that need to be clarified on the storm sewer  
35 improvements, but that the grading plan is generally acceptable under the standards of maintaining  
36 drainage patterns and not directing storm water onto adjacent properties. The City would need to  
37 look further at alternatives to the storm sewer plan.

38  
39 Commissioner Flannigan stated there would need to be a commitment from the applicant regarding  
40 the fire sprinklers because if they are not going to be installed in the homes, then the access would  
41 need to change based on the Fire Marshall's recommendations.

42  
43 Chair Iverson stated that the fire sprinklers could be included in the conditions of approval when  
44 the property owners apply for building permits. She stated the Commission could move forward  
45 with the application with the added conditions the applicant provides the additional information  
46 the Commission has requested.

1  
2 Commissioner Flannigan stated the applicant has made significant changes to the project to address  
3 previous concerns. He would like to see a landscape plan for the City's right-of-way. He would  
4 also like the applicant to work with the Madson's regarding the driveway and its location, and  
5 what the plan would be for the maintenance of the private driveway.  
6

7 There being no further discussion, Chair Iverson asked for a motion on the application.  
8

9 Commissioner Young made a motion, Seconded by Commissioner Flannigan, to direct staff to  
10 prepare a draft Planning Commission Report and Recommendation with appropriate findings  
11 recommending approval of the Rezoning from R-3A/Single and Two Family Residential District  
12 to PUD/Planned Unit Development, the PUD Concept and General Plan of Development, and the  
13 Preliminary Plat Subdivision for 350 Gardner St E, and further directing staff to request additional  
14 information from the City Engineer and the applicant regarding the catch basins, the maintenance  
15 of the private driveway, the landscaping for the City's right-of-way, and the driveway location in  
16 relation to the Madson's property. The motion carried unanimously.  
17  
18

19 **c.) Whittington Garage – 126 Circle A Dr S**

20 **i. Variances**  
21

22 Director of Planning and Building Thomson stated the property owners, Michael and Julie  
23 Whittington, have submitted a development application to construct a garage on the property at  
24 126 Circle A Drive S. The applicant is proposing to tear down the existing detached garage and  
25 construct a new detached garage in the same general location. As part of the submitted  
26 development application, the applicant is requesting approval of a front yard setback variance from  
27 20-feet to 8.3-feet and a side yard setback variance from 5-feet to 0.1-feet. The proposed garage  
28 would maintain the same setbacks as the existing garage. The new garage would be two stories  
29 with a gabled roof. There would be an internal staircase at the back of the garage to provide  
30 connection between the first and second floor. The detached garage would meet the accessory  
31 building requirements of the R-3A zoning district, except for the front and side yard setbacks.  
32

33 Commissioner Buchanan asked how the height of the proposed structure compared to the height  
34 of the existing structure.  
35

36 Mr. Thomson stated the new structure is 16-feet in height and the existing structure is about 11-  
37 feet in height.  
38

39 Commissioner Flannigan asked if there were any sight lines the proposed structure would block.  
40

41 Mr. Thomson stated he was not aware of any sight lines that would be obstructed.  
42

43 The applicant, Mike Whittington, 126 Circle A Dr S, stated the goal is to get a workable two-stall  
44 garage. He explained moving the garage further back to comply with setback requirements would  
45 cause tree removal and more hardcover.  
46

**DRAFT RESOLUTION NO. 05-2018**

**RESOLUTION APPROVING REZONING, PUD CONCEPT AND GENERAL PLAN  
OF DEVELOPMENT, AND PRELIMINARY PLAT SUBDIVISION AT  
350 GARDNER ST E**

**WHEREAS**, Bohland Homes, Inc., (the “Applicant”) has submitted a development application (the “Application”) to subdivide, rezone and redevelop the residential property located at 350 Gardner St E (the “Property” and legally described on Attachment A hereto), including the demolition of the existing single family residential home on the Property, and construction of two new single family residential homes; and

**WHEREAS**, the Wayzata Planning Commission, pursuant to the Zoning Ordinance, has held a public hearing on the Application, made findings of fact on each of the land use requests in the Application, and delivered a Report and Recommendation to the City Council, attached to this Resolution as Attachment B (the “PC Report”);

**NOW THEREFORE, BE IT RESOLVED** by the City Council of Wayzata, Minnesota as follows:

A. Based on the Application materials, additional materials submitted by the Applicant, staff reports, public comment and information presented at the public hearing, the standards of the Wayzata Zoning and Subdivision Ordinances, and the findings and recommendations of the PC Report, all of which are incorporated by reference in this Resolution, the City Council of the City of Wayzata hereby confirms and memorializes that the Application meets the applicable requirements of Wayzata’s Zoning and Subdivision Ordinances.

B. Based on the foregoing, the following requests in the Application are **HEREBY APPROVED**, subject to the conditions listed in Section C of this Resolution:

1. Preliminary plat subdividing the Property into two single-family residential lots, as identified in the PC Report (the “Subdivision”).
2. PUD Concept and General Plan of Development for two new residential homes on the Property, all as set forth in the rendering, diagram and plans identified in the PC Report.
3. Rezoning from R-3A/Single and Two Family Residential District to PUD/Planned Unit Development as defined in the approved PUD Concept and General Plan of Development, effective upon the final approval, reading and publication of a

Zoning Ordinance Amendment therefor.

C. The approvals listed in Section B of this Resolution are subject to and conditioned upon the following:

1. The Applicant must submit the final plat application for the Subdivision within one hundred days of the date of this Resolution, or the Preliminary Plat approved in this Resolution will be null and void. The final plat application must also include the following:
  - a. A dedication on the plat of all public easements required by the Subdivision Ordinance and recommended by the City Engineer.
  - b. A private easement agreement between the individual lots in the Subdivision that memorializes the maintenance responsibilities of the private sanitary sewer force main.
  - c. A private easement agreement between the individual lots in the Subdivision that memorializes the maintenance responsibilities of the private driveway that connects the Property with Gardner St E.
  - d. Payment of the Park Dedication fees required by the Subdivision Ordinance, in an amount of two thousand five hundred dollars (\$2,500.00) per new lot.
2. Prior to approval of the Final Plat, the Applicant must enter into a development agreement with the City for the public utility improvements constructed as part of the Subdivision, and that memorializes the improvements, drainage, landscaping, utilities, access, maintenance and use of the City right of way adjacent to the Property, with provisions acceptable to the City Engineer, City Fire Marshall, and City Attorney.
3. Prior to construction activity on the Property, the Applicant or future homeowner must apply for and obtain all necessary building permits from the City. The building permit application must also include the following:
  - a. The final grading & drainage plan, erosion control plan, utility plan, and civil details for each lot that have been reviewed and approved by the City Engineer.
  - b. The final tree inventory, tree preservation plan, and tree

replacement plan for each lot and any impacted right of way areas, that have been reviewed and approved by the City Forester.

4. The homes built on the Property must be constructed with fire sprinklers that meet the recommended specifications of the City Fire Marshall.
5. All expenses of the City of Wayzata, including consultant, expert, legal, and planning fees incurred must be fully reimbursed by the Applicant.

Adopted by the Wayzata City Council this 16<sup>th</sup> day of January, 2018.

---

Mayor Ken Willcox

ATTEST:

---

City Manager Jeffrey Dahl

**ACTION ON THIS RESOLUTION:**

Motion for adoption:

Seconded by:

Voted in favor of:

Voted against:

Abstained:

Absent:

Resolution adopted.

I hereby certify that the foregoing is a true and correct copy of a resolution adopted by the City Council of the City of Wayzata, Minnesota, at a duly authorized meeting held on January 16, 2018.

---

Becky Malone, City Clerk  
SEAL

Attachment A  
Legal Description of Property

Attachment B  
Planning Commission Report and Recommendation, dated January 9, 2018

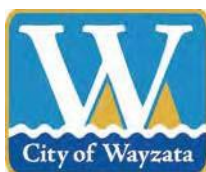
**Attachment A**  
Legal Descriptions of Property

|                 |                  |
|-----------------|------------------|
| Address         | 350 Gardner St E |
| Legal           |                  |
| PID No.         |                  |
| A or T          |                  |
| Certificate No. |                  |



**Attachment B**

Planning Commission Report and Recommendation, dated January 9, 2018



## WAYZATA PLANNING COMMISSION

January 9, 2018

### REPORT AND RECOMMENDATION OF APPROVAL OF REZONING, PUD CONCEPT AND GENERAL PLAN, AND PRELIMINARY PLAT SUBDIVISION AT 350 GARDNER ST E

---

#### **SUMMARY OF RECOMMENDATION**

1. **Approval**\* of Preliminary Plat subdividing existing lot into two lots
2. **Approval**\* of PUD Concept and General Plan
3. **Approval**\* of Rezoning to PUD

*\* subject to certain conditions noted in Section 4 of this Report*

---

#### **REPORT AND RECOMMENDATION**

##### **Section 1. BACKGROUND**

- 1.1 **Project.** Bohland Homes (the "Applicant") has submitted a development application (the "Application") to subdivide the property at 350 Gardner St E (the "Property") into two single-family residential lots and rezone the properties to PUD/Planned Unit Development District. The existing house would be demolished, and two new homes would be constructed with access from a private driveway. The property is currently accessed via a shared private driveway, and the Gardner St. right of way adjacent to the property is undeveloped.
- 1.2 **Application Requests.** As part of the Application, the Applicant is requesting approval of the following as depicted on the plans attached as **Attachment A:**
  - A. **Preliminary Plat Subdivision.** The preliminary plat submitted with the Application would subdivide the Property into two single-family residential lots (the "Subdivision" or "Preliminary Plat").
  - B. **Planned Unit Development.** The Subdivision would occur pursuant to the concurrent PUD concept plan and general plan of development for a two lot single-family residential development submitted with the Application (the

“Concurrent PUD Concept and General Plan of Development”).

- C. Rezoning from R-3A to PUD. The property would be re-zoned from the current R-3A/Low Density Single and Two Family Residential District to the PUD/Planned Unit Development District (the “Rezoning” or “Zoning Amendment”).

- 1.3 Property. The property identification number and owner of the Property are:

|                  |                   |                     |
|------------------|-------------------|---------------------|
| 350 Gardner St E | 06-117-22-21-0027 | Bohland Homes, Inc. |
|------------------|-------------------|---------------------|

- 1.4 Land Use Designations. The Property falls within the following zoning and land use districts:

|                     |                                                 |
|---------------------|-------------------------------------------------|
| Zoning:             | R-3A/Single and Two Family Residential District |
| Comprehensive Plan: | Low Density Single Family                       |

- 1.5 Notice and Public Hearing. Notice of a public hearing on the Application was published in the *Lakeshore Weekly News* on November 23, 2017. A copy of the notice was mailed to all property owners located within 350 feet of the Property on November 22, 2017. A public hearing on the Application was held at the December 4, 2017 Planning Commission meeting.

## Section 2. STANDARDS

- 2.1 Subdivision / Preliminary and Final Plat. Review and approval of subdivisions of property and preliminary plats are governed by the City’s Subdivision Ordinance, Ch. 805 of City Code. In reviewing such requests, the Planning Commission shall consider possible adverse effects of the preliminary plat. Its judgment shall be based upon, but not limited to, the following factors found in Section 805.14.E:
- A. The proposed subdivision or lot combination shall be consistent with the Wayzata Comprehensive Plan.
  - B. Building pads that result from a subdivision or lot combination shall preserve sensitive areas such as lakes, streams, wetlands, wildlife habitat, trees and vegetation, scenic points, historical locations, or similar community assets.
  - C. Building pads that result from subdivision or lot combination shall be selected and located with respect to natural topography to minimize filling or grading.
  - D. Existing stands of significant trees shall be retained where possible. Building pads that result from a subdivision or lot combination shall be sensitively integrated into existing trees.
  - E. The creation of a lot or lots shall not adversely impact the scale, pattern or

character of the City, its neighborhoods, or its commercial areas.

- F. The design of a lot, the building pad, and the site layout shall respond to and be reflective of the surrounding lots and neighborhood character.
- G. The lot size that results from a subdivision or lot combination shall not be dissimilar from adjacent lots or lots found in the surrounding neighborhood or commercial area.
- H. The architectural appearance, scale, mass, construction materials, proportion and scale of roof line and functional plan of a building proposed on a lot to be divided or combined shall be similar to the characteristics and quality of existing development in the City, a neighborhood or commercial area.
- I. The design, scale and massing of buildings proposed on a subdivided or combined lot shall be subject to the architectural guidelines and criteria for the Downtown Architectural District, Commercial and Institutional Architectural Districts, and Residential Architectural Districts and the Design Review Board/City Council review process outline in Section 9 of the Wayzata Zoning Ordinance.
- J. The proposed lot layout and building pads shall conform with all performance standards contained herein.
- K. The proposed subdivision or lot combination shall not tend to or actually depreciate the values of neighboring properties in the area in which the subdivision or lot combination is proposed.
- L. The proposed subdivision or lot combination shall be accommodated with existing public services, primarily related to transportation and utility systems, and will not overburden the City's service capacity.

## 2.2 Planned Unit Developments (PUDs).

- A. Intent and Purpose of PUDs. Section 801.33 of the Zoning Ordinance provides for the establishment of Planned Unit Developments to allow greater flexibility in the development of neighborhoods and/or non-residential areas by incorporating design modifications as part of a PUD conditional use permit or a mixture of uses when applied to a PUD District. The PUD process, by allowing deviation from the strict provisions of the Zoning Ordinance related to setbacks, lot area, width and depth, yards, etc., is intended to encourage:
  - 1. Innovations in development to the end that the growing demands for all styles of economic expansion may be met by greater variety in type, design, and placement of structures and by the conservation and more efficient use of land in such developments.

2. Higher standards of site and building design through the use of trained and experienced land planners, architects, landscape architects, and engineers.
3. More convenience in location and design of development and service facilities.
4. The preservation and enhancement of desirable site characteristics such as natural topography and geologic features and the prevention of soil erosion.
5. A creative use of land and related physical development which allows a phased and orderly development and use pattern.
6. An efficient use of land resulting in smaller networks of utilities and streets thereby lower development costs and public investments.
7. A development pattern in harmony with the objectives of the Wayzata Comprehensive Plan. (PUD is not intended as a means to vary applicable planning and zoning principles.)
8. A more desirable and creative environment than might be possible through the strict application on zoning and subdivision regulations of the City.

B. General Standards. Section 801.33.2.A of the Zoning Ordinance sets forth the general standards for review of a PUD application. These include:

1. Health Safety and Welfare; Council Discretion. In reviewing the PUD application, the Council shall consider comments on the application of those persons appearing before the Council, the report and recommendations of the Planning Commission, the recommendations on design and any staff report on the application. The Council also shall evaluate the effects of the proposed project upon the health, safety and welfare of residents of the community and the surrounding area and shall evaluate the project's conformance with the overall intent and purpose of Section 33 of the PUD Ordinance. If the Council determines that the proposed project will not be detrimental to the health, safety and welfare of residents of the community and the surrounding area and that the project does conform with the overall intent and purpose of Section 33 of the PUD Ordinance, it may approve the PUD, although it shall not be required to do so.
2. Ownership. Applicant/s must own all of the property to be included in the PUD.
3. Comprehensive Plan Consistency. The PUD project must be consistent with the City's Comprehensive Plan.

4. Sanitary Sewer Plan Consistency. The PUD project must be consistent with the City's Sanitary Sewer Plan.
5. Common Open Space. The PUD project must provide common private or public open space and facilities at least sufficient enough to meet the minimum requirements established in the Comprehensive Plan, and contain provisions to assure the continued operation and maintenance of such.
6. Operating and Maintenance Requirements. Whenever common private or public open space or service facilities are provided within a PUD, the PUD plan must contain provisions to assure the continued operation and maintenance of such open space and service facilities to a predetermined reasonable standard. Common private or public open space and service facilities within a PUD must be placed under the ownership of one of the following, as approved by the City Council: (i) dedicated to the public, where a community-wide use is anticipated, (ii) Landlord control, where only tenant use is anticipated, or (iii) Property Owners Association, provided the conditions of 801.33.2.A.6.c are met.
7. Staging of Public and Common Open Space. When a PUD provides for common private or public open space, and is planned as a staged development over a period of time, the total area of common or public open space or land escrow security in any stage of development shall, at a minimum, bear the same relationship to the total open space to be provided in the entire PUD as the stages or units completed or under development bear to the entire PUD.
8. Density. The PUD project must meet the density standards agreed upon by the applicant and City, which must be consistent with the Comprehensive Plan.
9. Utilities. All utilities associated with the PUD must be installed underground and meet the utility connection requirements of Section 801.33.2.A.10.
10. Utility Connections. All utilities associated with proposed PUD must meet the utility connection requirements of Section 801.33.2.A.10.
11. Roadways. All roadways associated with the PUD must conform to the Design Standards and Wayzata Subdivision Regulations, unless otherwise approved by City Council.
12. Landscaping. All landscaping associated with the PUD must be according to a detailed plan approved by the City Council. In assessing the plan, the City Council shall consider the natural features of the particular site, the architectural characteristics of the proposed structure and the overall scheme of the PUD plan.

13. Setbacks. The front, rear and side yard restrictions on the periphery of the Planned Unit Development site at a minimum shall be the same as imposed in the underlying districts, if a PUD conditional use permit, or the previous zoning district, if a PUD District. No building shall be located less than fifteen (15) feet from the back of the curb line along those roadways which are part of the internal street pattern. No building within the PUD project shall be nearer to another building than one-half (1/2) the sum of the building heights of the two (2) buildings. In PUD Districts for parcels that were zoned commercial prior to PUD and which exceed 13 acres, the allowable setbacks shall be as negotiated and agreed upon between the applicant and the City.\_
14. Height. The maximum building height to be considered within a PUD District shall be thirty five (35) feet and three (3) stories, whichever is lesser. There shall be no deviation from the height standards applied within the applicable zoning districts for PUD conditional use permits. In PUD Districts for parcels that were zoned commercial prior to PUD and which exceed 13 acres, the maximum allowable height and number of floors shall be as negotiated and agreed upon between the applicant and the City.

2.3 Zoning Ordinance Amendments / Rezoning. In considering a proposed amendment to the Zoning Ordinance, the Planning Commission shall consider the possible adverse effects of the proposed amendment. Its judgment shall be based upon the following factors:

- A. The proposed action in relation to the specific policies and provisions of the official City Comprehensive Plan.
- B. The proposed use's conformity with present and future land uses of the area.
- C. The proposed use's conformity with all performance standards contained in the Zoning Ordinance (i.e., parking, loading, noise, etc.).
- D. The proposed use's effect on the area in which it is proposed.
- E. The proposed use's impact upon property value in the area in which it is proposed.
- F. Traffic generation by the proposed use in relation to capabilities of streets serving the property.
- G. The proposed use's impact upon existing public services and facilities including parks, schools, streets, and utilities, and the City's service capacity.

### **Section 3. FINDINGS**

Based on the Application materials, staff reports, public comment presented at the public



hearing, and Wayzata's Zoning and Subdivision Ordinances, the Planning Commission of the City of Wayzata makes the following findings of fact with respect to the (i) Preliminary Plat; (ii) Concurrent PUD Concept and General Plan of Development; and (iii) Rezoning that are requested as part of the Application:

3.1 Preliminary / Final Plat.

- A. The proposed Subdivision is consistent with the Wayzata Comprehensive Plan.
- B. The building pads that result from the Subdivision preserve the sensitive areas on the Property, including the topography, significant trees and vegetation, and scenic points.
- C. The building pads that result from the Subdivision have been selected and located with respect to natural topography to minimize filling or grading.
- D. Existing stands of significant trees have been retained where possible. The building pads that results from the Subdivision are sensitively integrated into existing trees.
- E. The Subdivision does not adversely impact the scale, pattern or character of the City, its neighborhoods, or its commercial areas.
- F. The design of the lots, the building pads, and the site layout responds to and is reflective of the surrounding lots and neighborhood character.
- G. The lot sizes resulting from the Subdivision are not dissimilar from adjacent lots or lots found in the surrounding neighborhood.
- H. Final plans for buildings within the Subdivision are not proposed at this time, and therefore a finding cannot be made as to whether the architectural appearance, scale, mass, construction materials, proportion and scale of roof line and functional plan of the buildings proposed is similar to the characteristics and quality of existing development in the City and surrounding neighborhood.
- I. The architectural guidelines and criteria for the Downtown Architectural District, Commercial and Institutional Architectural Districts, and Residential Architectural Districts and the Design Review Board/City Council review process outline in Section 9 of the Wayzata Zoning Ordinance are not applicable to this Application.
- J. The proposed lot layouts and building pads conform with all performance standards contained in the Subdivision Ordinance with the exception of those for which a variance is being requested.
- K. The Subdivision will not tend to or actually depreciate the values of neighboring properties in the area in which it is proposed.

- L. The Subdivision will be accommodated with existing public services, including those related to transportation and utility systems, and will not overburden the City's service capacity.

3.2 PUD. Concurrent PUD Concept and General Plan of Development set forth in the Application meets the purpose and intent of the PUD Ordinance.

- A. The PUD reflects higher standards of site and building design through the use of trained and experienced land planners, architects, landscape architects, and engineers.
- B. The PUD includes appropriate large lot residential uses, and is consistent with the goals and objectives of the comprehensive plan.
- C. The PUD creates a more desirable and creative environment that preserves sensitive and important natural and environmental resources, including the topography, trees and vegetative screening in the right of way, than would be possible under the existing R-3A District and applicable standards of the Subdivision Ordinance as related to the private street.

In addition, the PUD meets all of the PUD general standards listed in Section 801.33.2.A of the Zoning Ordinance.

3.3 Zoning Ordinance Amendments / Rezoning. The Rezoning for the proposed residential use set forth in the Application (the "Proposed Use") would not have an adverse effect on surrounding properties or the community, and meets the standards for a zoning ordinance amendment:

- A. The Proposed Use is consistent with the Comprehensive Plan land use designation of the Property, and meets the policies of the Comp Plan.
- B. The Proposed Use is consistent with current and future land uses in the area.
- C. The Proposed Use would meet the performance standards outlined in the Zoning Ordinance.
- D. The Proposed Use would not have an adverse effect on the area in which it is proposed.
- E. The Proposed Use would not adversely impact property values in the area.
- F. Traffic generation by the Proposed Use could be met by the capabilities of streets serving the property.
- G. The Proposed Use would not exceed service capacity of public services and facilities including parks, schools, streets, and utilities, and the City's service capacity.

## Section 4. RECOMMENDATION

- 4.1 Planning Commission Recommendation. Based on the findings in section 3 of this Report, the Planning Commission recommends approval of (i) the Preliminary Plat, (ii) the Concurrent PUD Concept and General Plan of Development, and (iii) the Rezoning as part of the Application and as depicted on the plans attached as Attachment A, subject to all of the following conditions:
- A. The Applicant must submit the final plat application for the Subdivision within 100 days of City Council approval of the Preliminary Plat, or the Preliminary Plat approval will be null and void. The final plat application must also include the following:
    - 1. The final plat must dedicate all public easements required by the Subdivision Ordinance and as recommended by the City Engineer.
    - 2. The Applicant must submit a private easement between the individual lots in the Subdivision that memorializes the maintenance responsibilities of the private sanitary sewer force main.
    - 3. The Applicant must submit a private easement between the individual lots in the Subdivision that memorializes the maintenance responsibilities of the private driveway.
    - 4. The Applicant must enter into a development agreement with the City for the public utility improvements constructed as part of the Subdivision, and that memorializes the improvements, drainage, landscaping, utilities, access, maintenance and use of the City right of way adjacent to the Property, with provisions acceptable to the City Engineer, City Fire Marshall, and City Attorney.
    - 5. Park Dedication fees must be paid as required by the Subdivision Ordinance, in an amount of two thousand five hundred dollars (\$2,500.00) per new lot.
  - B. The Applicant or future homeowner must apply for and obtain all necessary building permits from the City, prior to commencement of any construction activity on the Property. The building permit application must also include the following:
    - 1. The final grading & drainage plan, erosion control plan, utility plan, and civil details must be prepared for each lot and submitted to the City for review and approval of the City Engineer.
    - 2. The final tree inventory, tree preservation plan, and tree replacement plan must be prepared for each lot and submitted to the City for review and approval by the City Forester.

- C. The homes built on the Property must be constructed with fire sprinklers that meet the recommended specifications of the City Fire Marshall.
- D. All expenses of the City of Wayzata, including consultant, expert, legal, and planning fees incurred must be fully reimbursed by the Applicant.

Adopted by the Wayzata Planning Commission this 9<sup>th</sup> day of January 2018.

Voting In Favor: Douglas, Flannigan, Iverson, Murray, Plantan, Young

Voting Against: None

Abstaining: None

Absent: Buchanan

Attachment A

**CITY OF WAYZATA**  
**HENNEPIN COUNTY, MINNESOTA**  
**ORDINANCE NO. 778**

**AN ORDINANCE AMENDING THE OFFICIAL ZONING MAP OF THE CITY  
TO REZONE PROPERTY AT 350 GARDNER ST E TO  
PUD PLANNED UNIT DEVELOPMENT DISTRICT**

**THE CITY OF WAYZATA ORDAINS:**

**Section 1.     Zoning Map Amendment**

- 1.1.     Rezoning. Based upon City Council Resolution 05-2018 (the “Resolution”), the Official Zoning Map of the City of Wayzata is hereby amended to change the Zoning District designation of the Property, as defined in the Resolution, to PUD Planned Unit Development District.

**Section 2.     Effective Date**

- 2.1     This Ordinance will become effective upon passage and publication.

Adopted by the City Council this 16<sup>th</sup> day of January 2018.

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Ken Willcox  
Mayor

ATTEST:

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Jeffrey Dahl  
City Manager

First Reading: January 16, 2018  
Second Reading:  
Publication: