



Wayzata Planning Commission

Meeting Agenda

Monday, March 2, 2015

Community Room,
600 Rice Street East,
Wayzata, Minnesota

- 7:00 p.m.**
- 1. Call to Order and Roll Call, and Approval of Minutes**
 - 2. Regular Agenda Public Hearing Items:**
 - a. 123 Broadway Ave N – Brian and Tasha Winkels
 - i. Variance from 35% Impervious Surface Limit in R-3A District.
 - 3. Other Items:**
 - a. Review and adoption of Planning Commission Report and Recommendation on Concurrent Preliminary and Final Plat for Two (2) Lot Subdivision at 637 Harmony Circle.
 - b. Notice of Rescheduling – 151 Westwood Lane – Two (2) Lot Subdivision and Private Roadway Variance – **Rescheduled to March 16, 2015**
 - c. Review of Development Activities
 - d. Other items
- 9:00 p.m.**
- 4. Adjournment**

NOTES:

¹ Time(s) are estimated and provided for informational purposes only.

² Members of the Planning Commission and some staff may gather at the Wayzata Bar and Grill immediately after the meeting for a purely social event. All members of the public are welcome.

WAYZATA PLANNING COMMISSION
DRAFT MEETING MINUTES
February 23, 2015

AGENDA ITEM 1. Call to Order, Roll Call and Approval of Minutes.

Chair Vanderheyden called the meeting to order at 7:00 p.m.

Present at roll call were Commissioners: Gonzalez, Ramy, Vanderheyden, Young, and Gnos. Absent and Excused: Commissioners Iverson and Gruber. Director of Planning and Building Gadow was also present.

Chair Vanderheyden stated the minutes to be reviewed are from the February 2, 2015 meeting.

Commissioner Gonzalez stated she had provided corrections to Mr. Gadow.

Chair Vanderheyden stated on page 7, line 4, the word “stated” should be inserted after “Mr. Gadow.”

Commissioner Young made a motion, Seconded by Commissioner Gonzalez, to approve the February 2, 2015 meeting minutes as amended. The motion carried unanimously.

AGENDA ITEM 2. Agenda Items:

- a. **637 Harmony Circle – Fritz Gullickson (Continued from January 26, 2015)**
 - i. **Concurrent Preliminary and Final Plat for a Two (2) Lot Subdivision**

Mr. Gadow stated the Planning Commission began review of the application at their January 26 meeting. After conclusion of the public hearing, the Commission directed Staff to work with the Applicant to provide additional information on alternative house designs and a review of the existing oak tree on the property by the City Forester. He reviewed the alternate 1-1/2 story home designs proposed. The proposed homes would have heights of 28-feet and 30.4-feet. He also reviewed the report provided by Mr. Jordan from Heritage Shade Tree Consultants regarding the site inspection of the oak tree on the property. He stated he had also received an e-mail from the property owner to the north of Lot 1. This property owner would like to see a design that did not have windows on the side of the home and he would also like to see the oak tree saved. He also expressed concerns with how the driveways would align as related to his driveway.

Mr. Fritz Gullickson, 3443 Crystal Place, Orono, stated he had additional experts look at the oak tree to determine if this tree could be saved and their opinion was with the extensive excavating under the tree to remove the sewer it was unlikely the tree would survive. He also provided a rendering of a single 2-story home that he could be put on the parcel if the property was not subdivided.

1 Mr. Gadow stated the additional information provided by Mr. Gullickson had not been received
2 by the City until shortly before the meeting and had not been reviewed by Staff.

3
4 Commissioner Gonzalez asked if it would be possible to reduce the height of the home on Lot 2
5 to 28-feet to match the height of the proposed home for Lot 1.

6
7 Mr. Gullickson stated it might be possible to change the pitch of the roof enough but he does not
8 believe that the 2-foot height difference would be noticeable. He explained he had brought down
9 the front of the 2-story homes he had previously proposed in order to match the neighborhood.

10
11 Chair Vanderheyden asked what the height of the proposed homes would be at the front.

12
13 Mr. Gullickson stated the height would be approximately 32-feet for the side facing the street for
14 the 2-story homes and approximately 30-feet for the 1-1/2-story homes.

15
16 Commissioner Ramy asked if the proposed grading and utilities had changed with the new
17 proposed home designs. He also asked how the new designs would impact the hardcover
18 calculations. He clarified it was difficult to compare the different home designs without all the
19 calculations being done.

20
21 Mr. Gadow stated the grading plan provided is the same as the one included in the application
22 reviewed at the January 26 meeting. The proposed 1-1/2 story homes did not change the
23 grading, utilities or hardcover calculations significantly.

24
25 Mr. Gullickson stated the foundation for both proposals would be the same. The only difference
26 would be the shortening the height of the home by 2-feet by moving from a 2-story to a 1-1/2
27 story home. He stated the pitch of the roof for the 2-story homes could be changed to bring the
28 height down as well.

29
30 Commissioner Ramy clarified the Commission had been concerned with the mass of a 2-story
31 home in this neighborhood as well as the height. A 2-story home would be too large for this
32 neighborhood. He stated he would like to see the Applicant calculate the elevations and
33 hardcover. He would also like to know what the setbacks would be for the 1-1/2 story homes
34 along with an updated grading plan.

35
36 Mr. Gullickson stated the setbacks would not change because the foundation size for either home
37 design would be approximately the same.

38
39 Commissioner Gonzalez asked if there would be fill brought in for the project.

40
41 Mr. Gullickson stated the lots are perfect for a walk-out basement and he would not expect to
42 have any fill brought in or removed from the site because there would not be significant
43 regarding done on the site.

44
45 Mr. Gadow stated the elevation with the proposed 1-1/2-story homes would be the same as what
46 had been proposed with the 2-story homes on January 26.

1
2 Commissioner Ramy stated the City Forester had not stated if the tree would survive the
3 construction.

4
5 Mr. Gadow stated if the driveways stay where they are proposed it is unlikely the tree would
6 survive the construction and it would be difficult to determine if it would survive if the
7 driveways were moved.

8
9 Commissioner Gonzalez asked what type of trees the Applicant had planned on planting.

10
11 Mr. Gullickson stated there would be 5-6 large evergreens located between Lot 1 and Mr.
12 Engel's home and 3 large maple trees planted in the front. There are several maple trees in the
13 neighborhood currently.

14
15 Chair Vanderheyden opened the public hearing at 7:28 p.m.

16
17 Ms. Lisa Peterson-Nelson, 655 Harmony Circle, expressed concerns that having two (2) homes
18 on this property would be too much and she would not like to see the oak tree removed. If the
19 homes are scaled to match the neighborhood, it would work. She stated the City has parted from
20 the charm of what the City use to be in exchange for bigger and better.

21
22 Ms. Jeanne Osterby, 636 Harmony Circle, stated she would prefer to have only one (1) house on
23 this property and for it to be a rambler or a true story and a half home, similar to the style that is
24 currently in the neighborhood. There are other developments in Wayzata that are building
25 ramblers so this is possible. The 1-1/2-story homes proposed appear to be 2-story homes and are
26 taller than the 1-1/2 story homes currently in the neighborhood. She would also like to see the
27 oak tree preserved. She does not believe the proposed homes fit the character of the
28 neighborhood and if the subdivision is allowed, she would recommend having the driveways on
29 the left side of the lot to allow the tree to be saved. She explained the proposed homes were also
30 located closer to the road than the existing homes in the neighborhood.

31
32 Ms. Cheri Morris, 663 Harmony Circle, stated she would prefer to have only one (1) rambler
33 home built on this parcel and not two (2) larger 1-1/2 story homes. Two (2) homes on this
34 property would be overwhelming.

35
36 Chair Vanderheyden closed the public hearing at 7:43 p.m.

37
38 Mr. Gullickson provided a rendering of the single home he would propose if the subdivision
39 were not approved. This proposed home would meet all of the setback requirements including
40 the 35-foot height maximum and would not require any variances. He explained he had
41 provided all the setback information for the two (2) proposed homes and these homes would
42 meet all of the requirements of the Code including the height. The foundation of the single home
43 would be approximately 3300-feet including the garage.

44
45 Commissioner Young asked how the front yard setback compared to other homes in the
46 neighborhood.

1
2 Mr. Gullickson stated the proposed homes would be closer to the street. He had talked with Mr.
3 Gadow about the possibility of moving the homes back on the property but this would affect
4 raise the height of the homes because of the drainage issues that would need to be addressed.

5
6 Commissioner Ramy stated he would like to see the proposed homes be in line visually with the
7 existing homes.

8
9 Ms. Person-Nelson asked if the tree could be saved if the driveways were shifted.

10
11 Commissioner Gonzalez stated it would be unlikely the tree would survive the excavation of the
12 sewer line.

13
14 Mr. Gullickson explained it could be possible to push the homes back on the lot farther to
15 increase the front yard setback.

16
17 Commissioner Young stated the proposal meets the requirements of the Ordinances so it comes
18 down to the character and he believes pushing the homes back on the lot would fit in more with
19 the neighborhood.

20
21 Mr. Gullickson stated if the drainage could be worked out then he would be able to move the
22 homes back from the street farther.

23
24 Commissioner Gonzalez stated the character of the neighborhood would be altered and the
25 proposal meets the requirements of the Ordinances. She clarified she could support the 1-1/2-
26 story homes if they were set back farther on the property. She would recommend a condition of
27 approval that the homes could not exceed 28-feet in height and the landscaping should be done
28 with native trees in consultation with the City Forester.

29
30 Commissioner Gnos stated the Applicant has been willing to work with the neighborhood and he
31 would agree with the conditions proposed by Commissioner Gonzalez.

32
33 Commissioner Ramy stated he would favor the two (2) home proposal over the one (1) larger
34 home. He stated a maximum height of 28-feet would be reasonable and he would like to see the
35 homes pushed back on the property. If these homes are moved on the property then a new
36 grading plan would be required for the City Council to review and he would like to have the City
37 Forester look at the potential for saving the oak tree under these circumstances.

38
39 Chair Vanderheyden stated he would also prefer the two (2) homes and having the homes set
40 back farther on the property. He would also like information on potentially saving the oak tree
41 and the impacts if the driveways are relocated and the tree dies. He would also like to know
42 what the height of the homes would be from the street view.

43
44 Mr. Gadow suggested the Commission direct Staff to prepare a report and recommendation for
45 the Commission to adopt at their next meeting.

46

1 Commissioner Gonzalez suggested adding the following conditions for approval: 1) The
2 Developer follow the recommendations of the City Engineer detailed on page 7, Section 4.1, of
3 the January 26, 2015 Staff Report, 2) Neither home exceed a total of 28-feet in height, 3) The
4 applicant shall pay the park dedication fee as required by the Ordinance.

5
6 Chair Vanderheyden clarified if the homes were pushed back on the property the calculated
7 height would be increase because the data points would change. This may increase the
8 calculated height of the homes over 28-feet even though the actual designs have not changed.

9
10 Mr. Gadow stated there could be a condition the homes that the homes be pushed back on the
11 property and the maximum height from the street level could not exceed 28-feet.

12
13 Commissioner Gonzalez suggested condition 2 be changed to: 2) the homes should be pushed
14 back on the property 4-6 feet and the maximum height from the street level could not exceed 28-
15 feet. She continued with the following conditions: 4) The Applicant shall take all necessary
16 measures to prevent runoff into the wetlands at the back of the property during construction, 5)
17 The Applicant shall work with the City Forester on a landscaping plan that would use native
18 trees whenever possible, 6) the project shall meet all the performance standards as required by
19 the Zoning Ordinance, 7) The Applicant shall construct the 1-1/2-story homes as presented and
20 not the 2-story homes previously presented, and 8) Any deviation from the construction
21 materials presented at the January 26 Planning Commission meeting should be approved by the
22 City Council.

23
24 Commissioner Young stated based on the information provided it is likely the tree would not
25 survive and he would like to see taken care of on the front end of the project. He felt the more
26 important concerns were to bring down the height of the homes and setting them farther back on
27 the property to match the character of the neighborhood.

28
29 Commissioner Gnos stated he would like to see the addition of the large spaded trees to replace
30 the removal of the oak tree at this time rather than potentially have the oak tree die and no trees
31 to replace it.

32
33 Commissioner Gonzalez made a motion, Seconded by Commissioner Ramy to direct Staff to
34 prepare a report and recommendation for approval for the Concurrent Preliminary and Final Plat
35 for a two (2) lot subdivision with the eight conditions outlined. The motion carried
36 unanimously.

37
38 **AGENDA ITEM 3. Other Items:**

39
40 **a. Review of Development Activities**

41
42 Mr. Gadow stated the next meeting, March 2, would be a 2 (two) lot sub-division for 151
43 Westwood Lane and a variance request for 123 Broadway Avenue North for hardcover. He
44 stated there would be a Planning 101 training offered by WSB and Associates on March 7 and
45 Commissioners were welcome to attend. He stated the City Council had approved the expansion
46 request for CoV Restaurant and the right-of-way encroachment for one (1) container. The other

1 container would need to be relocated onto the Applicant's property. The City Council had also
2 discussed telecommunication towers in the City and Staff would be working on these ordinances.

3
4 Commissioner Gnos stated he had tried to attend the Heritage Preservation Board meeting but
5 had the date incorrect. He stated he would attend the next meeting.

6
7 **b. Other Items**

8
9 There was no other business.

10
11 **AGENDA ITEM 4. Adjournment.**

12
13 There being no further business, Commissioner Ramy made a motion, seconded by
14 Commissioner Young, to adjourn the meeting. The motion passed unanimously.

15
16 The meeting was adjourned at 8:30 p.m.

17
18 Respectfully submitted,

19
20 Tina Borg

21 *TimeSaver Off Site Secretarial, Inc.*



Planning Report
March 2, 2015
Wayzata Planning Commission Meeting

File Case No:	PR 2015-1
Owner:	Brian and Tasha Winkels
Address of request:	123 Broadway Ave N.
PID number:	06-117-22-13-0058
Prepared By:	Bryan Gadow, Director of Planning and Building
Project Summary:	The Application is for a Variance from the 35% Hardcover Standard in the R-3A District

Section 1: Background.

Brian and Tasha Winkels (collectively, the “Owner” or “Applicant”) have submitted a development application (the “Application”) requesting approval to construct a new two story single family residence at 123 Broadway Ave N (the “Property”). The Application requests approval to exceed the thirty five percent (35%) impervious surface limit in the R-3A District to allow for the location of a driveway to a side loading garage (the “Project”). The proposed site plan and building plans for the new residence are included as Attachment B to this Report. The Applicant has removed the previous residence on the Property.

The Property is encumbered by an existing private shared driveway easement for a joint driveway with the property to the north at 131 Broadway Ave N. The easement extends eighty five (85) ft west from the Broadway Ave property onto the two properties. The easement is 4.5 ft wide on the 123 Broadway Ave N property (or 382.5 SF in area) and 6.5 ft wide on the 131 Broadway Ave N property (or 552.5 SF in area). The City is not a party to the easement agreement. The Applicant would be required to maintain the easement agreement or work with the adjacent property owner to have it removed or modified.

The zoning request included in the Application is:

- A Variance from the Impervious Surface limit of 35% (Section 801.55.7.A) to have up to 43.6% impervious surface on the Property (the “Impervious Surface Variance”)

1.1 Approval Requests.

The Project includes one (1) approval requests associated with the Application:

A. *Variance for Impervious Surface above 35%*

The Property has a lot area of 7,243 SF, which is below the 9,000 SF lot area minimum in the R-3A District. The Applicant proposes to construct a new single family residence on the Property with 2,170 SF of building footprint and 987 SF of hardcover for sidewalk and driveways for a total of 43.6%, which would exceed the 35% impervious coverage limit in the R-3A District.

1.2 Relevant Property Information.

Zoning:	R-3A Single and Two Family Residential District
Comp Plan:	Low Density Single Family
Total lot size:	7,243 square feet (SF) or 0.17 acres

Map 1: Existing Property Aerial



1.3 Legal Description.

A copy of the legal description for the subject properties are on file and available for viewing at City Hall. The following properties are included in the project area of the Application:

123 Broadway Ave N	06-117-22-13-0058	Brian and Tasha Winkels
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1.4 Public Noticing Requirements.

Zoning Ordinance Section 801.05 requires the Planning Commission to hold a public hearing on the Application. The Notice of Public Hearing was published in the Lakeshore Weekly on February 10, 2015. A copy of the Notice of Public Hearing was also mailed to all property owners located within 350 feet of the subject property on February 19, 2015.

Section 2. Summary of Issues.

2.1 Zoning Analysis.

Adjacent property uses are:

Adjacent Property	Zoning	Uses
North	R-3A	Single Family Residences
West	R-3A	Single Family Residences
East	R-3A	Single Family Residences
South	R-3A and R-5	Single Family Residences and Multi-Family

Within the block that the Property is located, on the western side of Broadway Ave N, four properties have smaller lot sizes than the R-3A District minimum of 9,000 SF, at approximately 7,200 SF. Those properties include 117, 123, 131, and 135 Broadway Ave N.

A comparison of the R-3A Standards and the proposed Project is as follows:

R-3A District	Code Standard	Proposed
Minimum Lot Area	9,000 square feet (SF)	7,243 SF (existing condition)
Minimum Lot Width	60 ft	55 ft (existing condition)
Minimum Lot Depth	100 ft	131.9 ft

Front Yard Setback (min.)	20 ft	20 ft
Side Yard Setback (North)	10 ft	13.1 ft
Side Yard Setback (South)	10 ft	10.2 ft
Rear Yard Setback (min.)	20 ft	20 ft
Lot Coverage	30%	30% (2,170 SF)
Impervious Surface	35%	43.6% (3,157 SF)
Building Height	32 ft to peak of roof	31 ft 2 inch to peak

2.2 Hardcover Calculations.

Based upon staff's analysis of the survey and calculations submitted by the Applicant, the Property has the following proposed hardcover as part of the Project.

Item	Proposed
House & Garage	1,992 SF
Front Porch	95 SF
Side Porch	83 SF
Sidewalk	70 SF
Driveway	917 SF
Hardcover Total	3,157 SF
Hardcover Percent	43.6%

2.3 Stormwater Treatment Methods.

As noted above, the maximum allowed hardcover in the R-3A District is thirty five percent (35%) of lot area. As proposed, the Applicant's hardcover would be 43.6%. The Property does not fall within the Shoreland Overlay District, so there is not a conditional use permit (CUP) process to address credits for stormwater treatment methods. However, the Applicant has indicated a willingness to work with the City to incorporate stormwater treatment methods, such as pervious pavers, rain barrels, rain gardens, etc., to mitigate the impact of the additional hardcover proposed. The Planning Commission should discuss whether stormwater treatment methods should be incorporated into the Project, if it is recommended for approval.

Section 3. **Applicable Review Criteria:**

- 3.1 Zoning Ordinance Variance Standards. Section 801.05.1.C provides the criteria for reviewing variances from the Zoning Ordinance. The Variance requested in the Application is an Impervious Surface Variance. The variance review criteria are as follows (with Staff's comments included in *italics*):

- A. Variances shall only be permitted when they are:
- (i) in harmony with the general purposes and intent of this Ordinance; and
 - (ii) consistent with the Comprehensive Plan.

The Property is guided for Low Density Single Family residential use. The Application proposes to construct a new single family residence on the Property. The Variance is for additional hardcover above the thirty five percent (35%) limit in the R-3A District for driveway area to access a side-loading garage. The Planning Commission and City Council should make a finding of fact on whether or not the variance requests are in harmony with the general purpose and intent of the ordinance and consistent with the Comprehensive Plan.

- B. Variances may be granted when the Applicant for the variance establishes that there are practical difficulties in complying with this Ordinance.

The Planning Commission and City Council should make a finding of fact on whether or not the Applicant has established that there are practical difficulties in complying with the Ordinance.

- C. "Practical difficulties," as used in connection with the granting of a variance, means that:
- (i) the property owner's proposal for the property is reasonable but not permitted by this Ordinance;
 - (ii) the plight of the landowner is due to circumstances unique to the property, and not created by the landowner; and
 - (iii) the variance, if granted, will not alter the essential character of the locality.

The Property is currently guided for single family use, and the Applicant desires to continue that use by constructing a new single family residence on the Property. The Planning Commission and City Council should make a finding of fact on whether or not the Project meets the practical difficulties and reasonableness standard.

- D. Economic considerations alone do not constitute practical difficulties. Practical difficulties include, but are not limited to, inadequate access to direct sunlight for solar energy systems.

The Planning Commission and City Council should make a finding of fact on whether or not economic considerations are the sole reason for the practical difficulties.

- E. Variances shall be granted for earth sheltered construction as defined in Minnesota Statutes, section 216C.06, subdivision 14, when in harmony with this Ordinance.

Not applicable in this case, as the Applicant is not proposing earth sheltered construction.

- F. The City Council shall not permit as a variance any use that is not allowed under this Ordinance for property in the zoning district where the affected person's land is located, except the City Council may permit as a variance the temporary use of a one family dwelling as a two family dwelling.

The proposed new single family detached house is a permitted use in the R-3A District.

- G. The City Council may impose conditions in the granting of variances. A condition must be directly related to and must bear a rough proportionality to the impact created by the variance.

The Planning Commission and City Council should determine if there are any applicable conditions that apply, if the Project is recommended for approval.

- H. An application for a variance shall set forth reasons that the variance is justified under the criteria of this section in order to make reasonable use of the land, structure or building.

The Applicant has provided a narrative to describe their reasons for requesting the Variance.

Section 4. Staff Input

Staff has reviewed the proposal. Comments are as follows.

4.1 City Engineer

- Water service will need to be increased from ¾" to 1" minimum.
- Sewer service should be televised.
- Property owner will be responsible for curb replacement in area of driveway removal.

Section 5. Action Steps.

After considering the items outlined in this Report, the Planning Commission should pursue one of the following options as an action step:

1. Develop findings of fact basis upon this staff report, with any additions or deletions that the Planning Commission wishes to make, and adopt a recommendation on the Application after the conclusion of the public hearing at the March 2, 2015 meeting.
2. Direct staff to prepare a *Planning Commission Report and Recommendation*, with appropriate findings, reflecting a recommendation

on the Application for review and adoption at the next Planning Commission meeting.

Attachments:

1. Attachment A: Project Narrative
2. Attachment B: Submitted Plan Set
 - Existing Conditions Site Plan
 - Proposed Site Plan
 - Proposed Building Plans

Attachment A

January 2, 2015

City of Wayzata
600 Rice Street East
Wayzata, MN 55391

Re: Variance Request

To Whom It May Concern:

Due to the unique circumstances of our property located at 123 Broadway Ave. N., Wayzata, we are requesting a variance to exceed the hard cover requirement for our property, which will allow us to split the existing shared driveway. If granted, we believe the variance will not alter the essential character of the property, or its surroundings. Our intention will be to maintain the streetscape and continuity with surrounding neighbors by having our garage located towards the rear of the house and property (see attached survey), altering the existing curb cut and having minimal width throughout its length, finishing with concrete, pavers or both. An agreement is already in place with our neighbor located at 131 Broadway Ave. N., Wayzata, to vacate the existing easement and create two separate driveways. We will handle all of the legal paperwork for the vacation of the existing agreement/easement.

Our family is delighted to join the community of Wayzata and we sincerely appreciate your consideration.



Brian & Tasha Winkels
123 Broadway Ave. N.
Wayzata, MN 55391

Mobile: (612) 968 – 0988
Email: bwinkels@cbiz.com

Attachment A

Hello!

We are writing to let you know that we stopped by to introduce ourselves as your soon-to-be neighbors at 123 Broadway. You've probably noticed the giant hole in the ground at this point. Our intent is to build on the lot and our plans are currently at the City of Wayzata. Due to our long driveway, our house exceeds the 35% hard cover ratio so we have asked for a variance.

We have worked long and hard with our builder and architect to design a home that maintains the look, character and feel of what is currently on Broadway and the surrounding homes. With that in mind, it was important to us to put the garage in the rear of the home. By placing the garage in the rear, our driveway is longer and puts us over the city's hardcover ratio. We are willing to work with the City of Wayzata and staff to mitigate and address this issue. We are considering measures such as: pervious pavers, rain barrel(s), a wheel track, etc. Our landscaping will include adding trees and shrubbery.

The style of our home will be similar to what you see in the neighborhood to keep it looking historically consistent. We know there is rich tradition in the Wayzata area as both my husband and I grew up here.

It has been a dream of ours to move into downtown Wayzata since we got married. We looked at many homes throughout the area, but could not find one that met our needs. This past summer we had the opportunity to purchase Ginger Quay's home. We feel blessed we got it as there were six additional offers beyond ours. We were able to get to know her and we still keep in touch with her. She shared wonderful stories and memories about her beloved home that she grew up in, all of which we cherished. Although we would have loved to remodel the current home, it needed a significant amount of work to make it livable for our family of four so we decided to take it down and start from scratch.

The house we designed fits the lot. It was important to us to be respectful to this well-established neighborhood. We have two small children and we are thrilled to be able to raise them in such a wonderful area. I attended St. Bart's as a child and we are excited our daughter has the opportunity to attend school there next year. The fact that we can walk her to school makes our move to Wayzata even more appealing. When our son is old enough, he, too, will attend St. Bart's.

You have probably received a letter from the city discussing our plans for a variance, but we wanted to take the opportunity to let you know our intentions personally. We are eager to get started with the building process and be able to walk our daughter to school on her first day of kindergarten.

We are looking forward to meeting everyone in the neighborhood. Please feel free to contact us should you have any further questions.

Warmest regards,

Tasha & Brian Winkels
123 Broadway Avenue North
tmueffelman@yahoo.com
612-325-9666
bwinkels@cbiz.com
612-968-0988

Attachment B: Project Plan Set

EXISTING CONDITIONS SURVEY FOR:
BRIAN WINKELS

Property located in Section
6, Township 117, Range 22,
Hennepin County, Minnesota

The Gregory Group
d.b.a.
LOT SURVEYS COMPANY, INC.
Established in 1962
LAND SURVEYORS
REGISTERED UNDER THE LAWS OF STATE OF MINNESOTA
7601 73rd Avenue North (763) 560-3093
Minneapolis, Minnesota 55428 Fax No. 560-3522
Surveyors Certificate

INVOICE NO. 82693
F.B.NO. 1073-74
SCALE: 1" = 20'

- Denotes Found Iron Monument
- Denotes Iron Monument

x000.0 Denotes Existing Elevation

Basis for
bearings is
assumed

Property Address: 123 Broadway Ave. N., Wayzata, MN

Benchmark: Top nut of hydrant at NW Broadway &
Wayzata Blvd.
Elevation = 991.43 feet

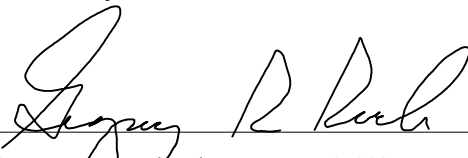
Existing Hardcover
Residence = 788 sq.ft
Stoop = 43 sq.ft
Concrete = 269 sq.ft
Bituminous = 617 sq.ft
Total Hardcover = 1717 sq.ft
Area of Parcel = 7243 sq.ft
Percentage of Hardcover = 23.7%

Lot 11, Block 16, Wayzata Revised, Hennepin County, Minnesota.

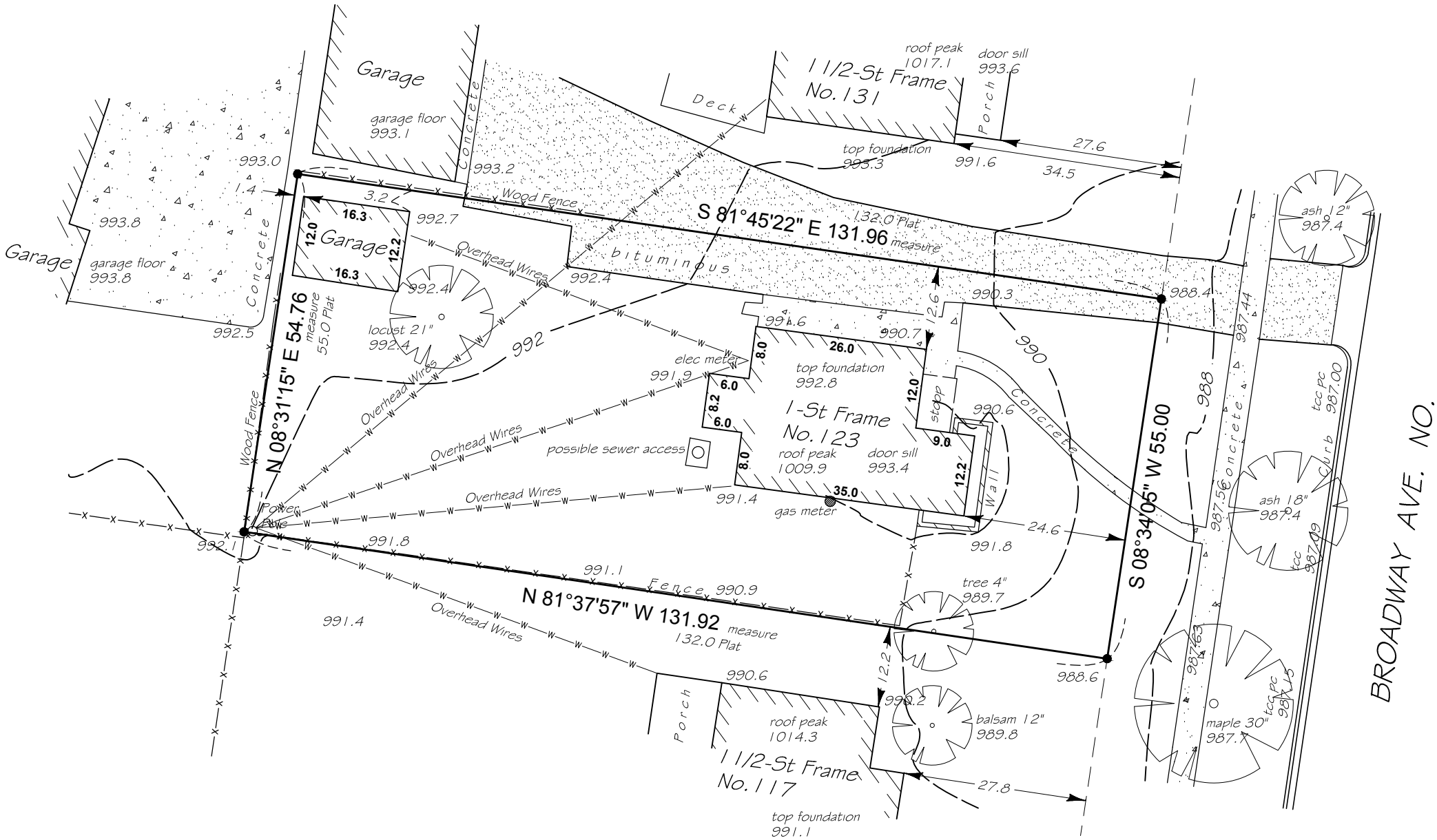
The only easements shown are from plats of record or information
provided by client.

I certify that this plan, specification, or report was prepared by me or
under my direct supervision and that I am a duly Licensed land
Surveyor under the laws of the State of Minnesota

Surveyed this 12th day of June 2014.

Signed 
Gregory R. Prasch, Minn. Reg. No. 24992

Rev	Drawn By DJE
	File Name
	Wr-11-16fb107374inv82693.dwg



Attachment B: Project Plan Set

Proposed Site Plan Survey For:

DONNAY HOMES

Property located in Section
6, Township 117, Range 22,
Hennepin County, Minnesota

The Gregory Group
d.b.a.
LOT SURVEYS COMPANY, INC.
Established in 1962
LAND SURVEYORS

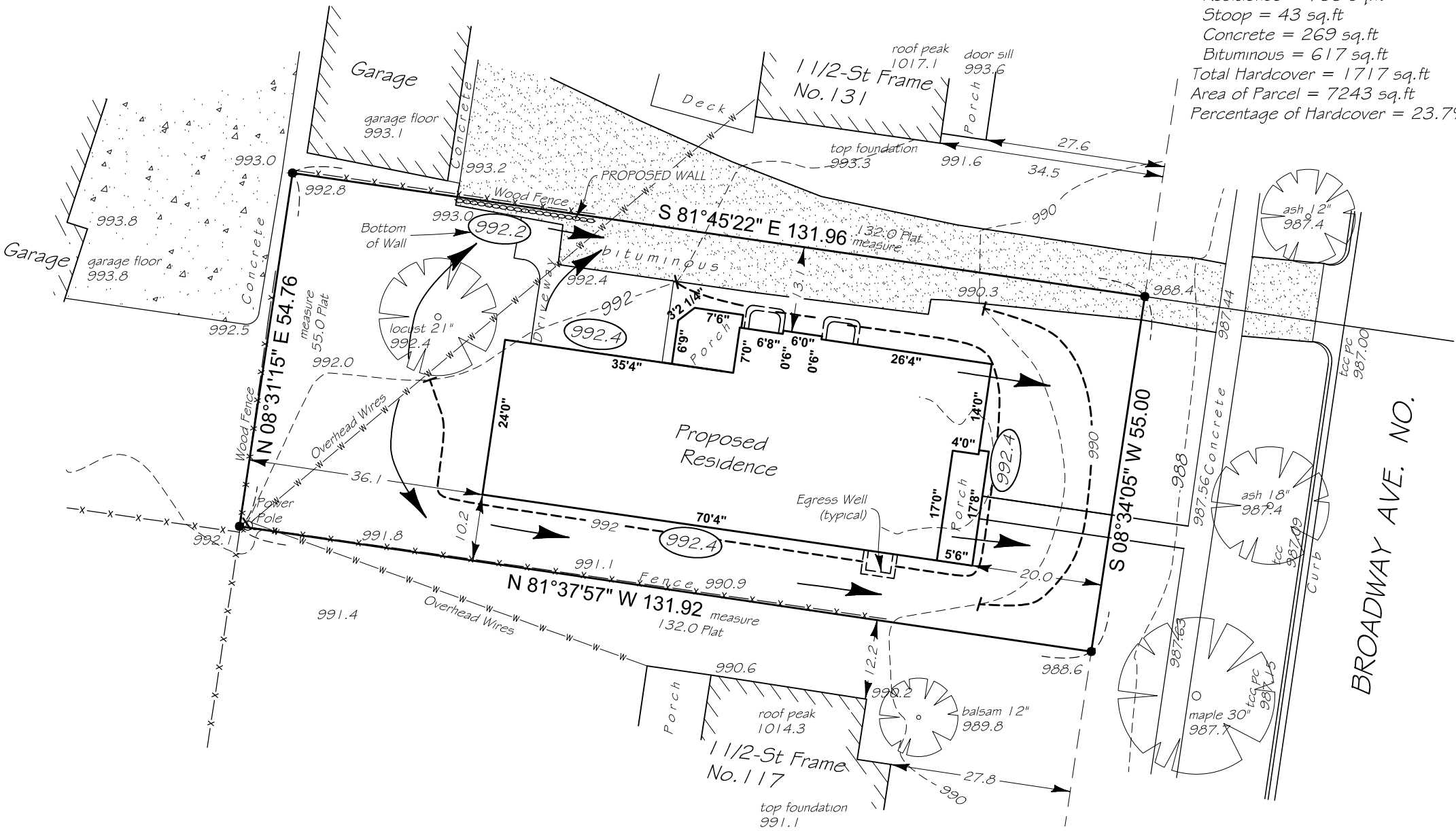
REGISTERED UNDER THE LAWS OF STATE OF MINNESOTA
7601 73rd Avenue North (763) 560-3093
Minneapolis, Minnesota 55428 Fax No. 560-3522

Surveyors Certificate

Proposed Hardcover		
Lot area	=	7,243 sq ft
Building	=	1,992 sq ft
Front Porch	=	95 sq ft
Side Porch	=	83 sq ft
Sidewalk	=	70 sq ft
Total Driveway	=	917 sq ft
Total	=	3,157 sq ft
Percentage	=	43.59%

Building Coverage		
Lot area	=	7,243 sq ft
Building	=	2,170 sq ft
Percentage	=	29.96%

Existing Hardcover		
Residence	=	788 sq.ft
Stoop	=	43 sq.ft
Concrete	=	269 sq.ft
Bituminous	=	617 sq.ft
Total Hardcover	=	1717 sq.ft
Area of Parcel	=	7243 sq.ft
Percentage of Hardcover	=	23.7%



INVOICE NO. 83412 / 83428
F.B.NO. 1073-74
SCALE: 1" = 20'

- Denotes Found Iron Monument
- Denotes Iron Monument
- Denotes Wood Hub Set for excavation only
- - - Denotes Existing Contours
- - - Denotes Proposed Contours
- x000.0 Denotes Existing Elevation
- 000.0 Denotes Proposed Elevation
- ← Denotes Surface Drainage

NOTE: Proposed grades are subject to results of soil tests.
Proposed building information must be checked with
approved building plan and development or grading
plan before excavation and construction.
Proposed grades shown on this survey are
interpolations of proposed contours from the
drainage, grading and/or development plans.

NOTE: The relationship between proposed floor
elevations to be verified by builder.

992.9	Proposed Top of Block
991.4	Proposed Top of Block
992.4	Proposed Garage Floor
982.07	Proposed Lowest Floor
Type of Building	
Full Basement	

Property Address: 123 Broadway Ave. N., Wayzata, MN

Benchmark: Top nut of hydrant at NW Broadway &
Wayzata Blvd.
Elevation = 991.43 feet

Property Zoned R-3A

The only easements shown are from plats of record or information
provided by client.

I certify that this plan, specification, or report was prepared by me or
under my direct supervision and that I am a duly Licensed land
Surveyor under the laws of the State of Minnesota

Surveyed this 12th day of December 2014.

Signed
Gregory R. Prasch, Minn. Reg. No. 24992

Lot 11, Block 16, Wayzata Revised, Hennepin County, Minnesota.

Rev 12-22-14 moved house	Drawn By DJE
12-24-14 building coverage	
1-5-15 driveway	File Name
2-20-15 new house	Wr-11-16inv83412 site plan.dwg
2-23-15 new drive layout	

ELEVATION NOTES:

Heavyweight ASPHALT/FIBERGLASS SHINGLES
FRONT GABLES are 12/12 MAIN ROOFS are 6/12
PORCH ROOF is 5/12 PITCH
12" RAFTERS - TYPICAL
18" OVERHANGS - TYPICAL
6" ALUMINUM FASCIA
VENTED ALUMINUM SOFFIT
VENT ROOF at RIDGE AND SOFFIT PER CODE
(1/300 of the Area of the Attic; 1/2 in Soffit; 1/2 at Ridge)

FRONT SIDING, 7" Exposure COMPOSITE SHINGLE

STANDARD STONE VENEER Shown
TRIM is Woodgrain COMPOSITE (Painted), Size as Noted.
Gable FLASHING at TRIM as REQUIRED.

SIDING at SIDES and REAR is COMPOSITE LAP - 7" Exposure
Corner Posts are 4"

ALL WINDOWS are "100" by (Anderson) (COLOR is WHITE)
WINDOWS GRIDS are STANDARD (As Shown)
OVERHEAD GARAGE DOORS are RAISED PANEL METAL
CONCRETE STOOP - BROOM FINISH
CONCRETE WALK - BROOM FINISH
ASPHALT DRIVE
POURED CONCRETE FOUNDATION
POURED CONCRETE FOOTINGS



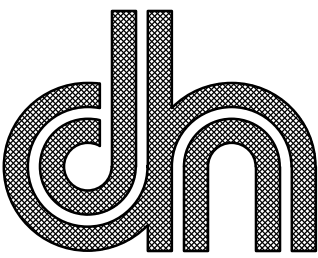
FRONT ELEVATION



NOTES & SPECIFICATIONS

Traditions

by



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Maple Grove, Minnesota 55369
(763) 531-0714
Builder #593040

NOTES:

Fine Line
DESIGN
group

13913 W PRESERVE BLVD
BURNSVILLE, MINNESOTA 55337

OFFICE 612/386-0273
FAX 952/736-0333

D	Revised/City Comment	2/19/15
C	Issued / for Permit	12/29/14
B	Issued / for Review	12/10/14
A	Issued / for Review	11/12/14
No. ISSUED/REVISIONS/SUBMISSIONS		DATE

Project Name
Brian and Tasha Winkels
123 Broadway Ave. N.
Lot 11, Block 16, Wayzata Revised
PID - 06-117-22-13-0050
Wayzata, MN

Drawing Title

BLDG. No.

Drawn
SKB

Checked

Reviewed

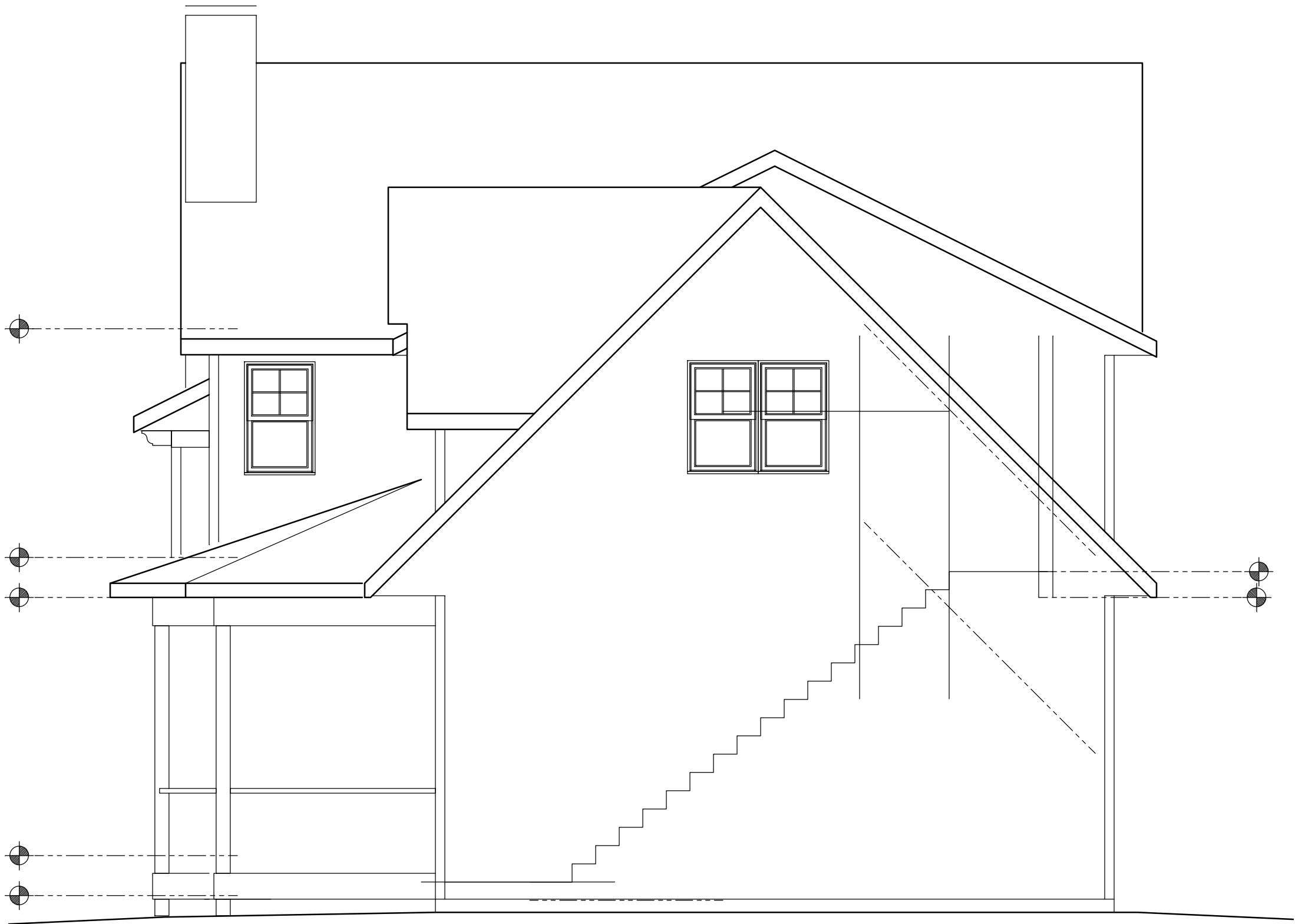
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of

SCALE : NONE

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2

SCALE : 1/4" = 1'- 0"

NOTES



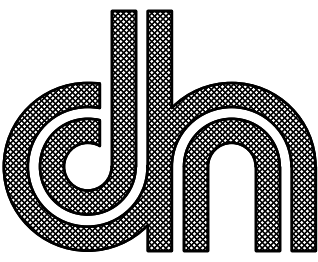
1

SCALE : 1/4" = 1'- 0"

REAR & SIDE ELEVATIONS

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BBuilder##0993446

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Project Name
Brian and Tasha Winkels
123 Broadway Ave. N.
Lot 11, Block 16, Wayzata Revised
PID - 06-117-22-13-0058
Wayzata, MN

Drawing Title
ELEVATIONS

BLDG. No.

Drawn
SKB

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Reviewed

Date

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Builder #593848

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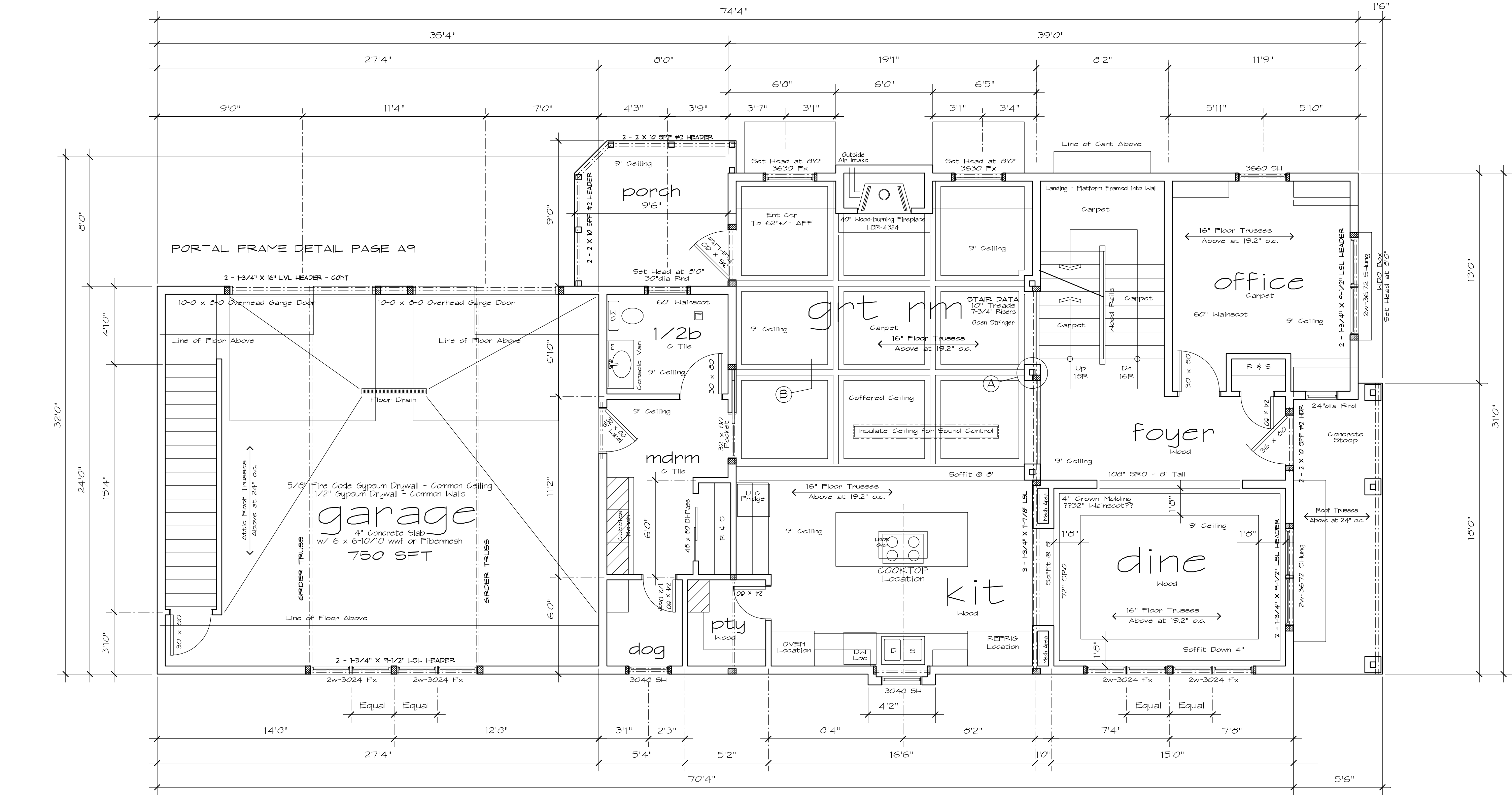
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A	Issued / for Review	11/12/14
No. ISSUED/REVISIONS/SUBMISSIONS DATE		

Project Name
Brian and Tasha
Winkels
123 Broadway Ave. N.
Lot 11, Block 16, Wayzata Revised
PID - 06-117-22-13-0058
Wayzata, MN

PLANS

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	of



1,400SFT

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No. ISSUED/REVISIONS/SUBMISSIONS DATE		

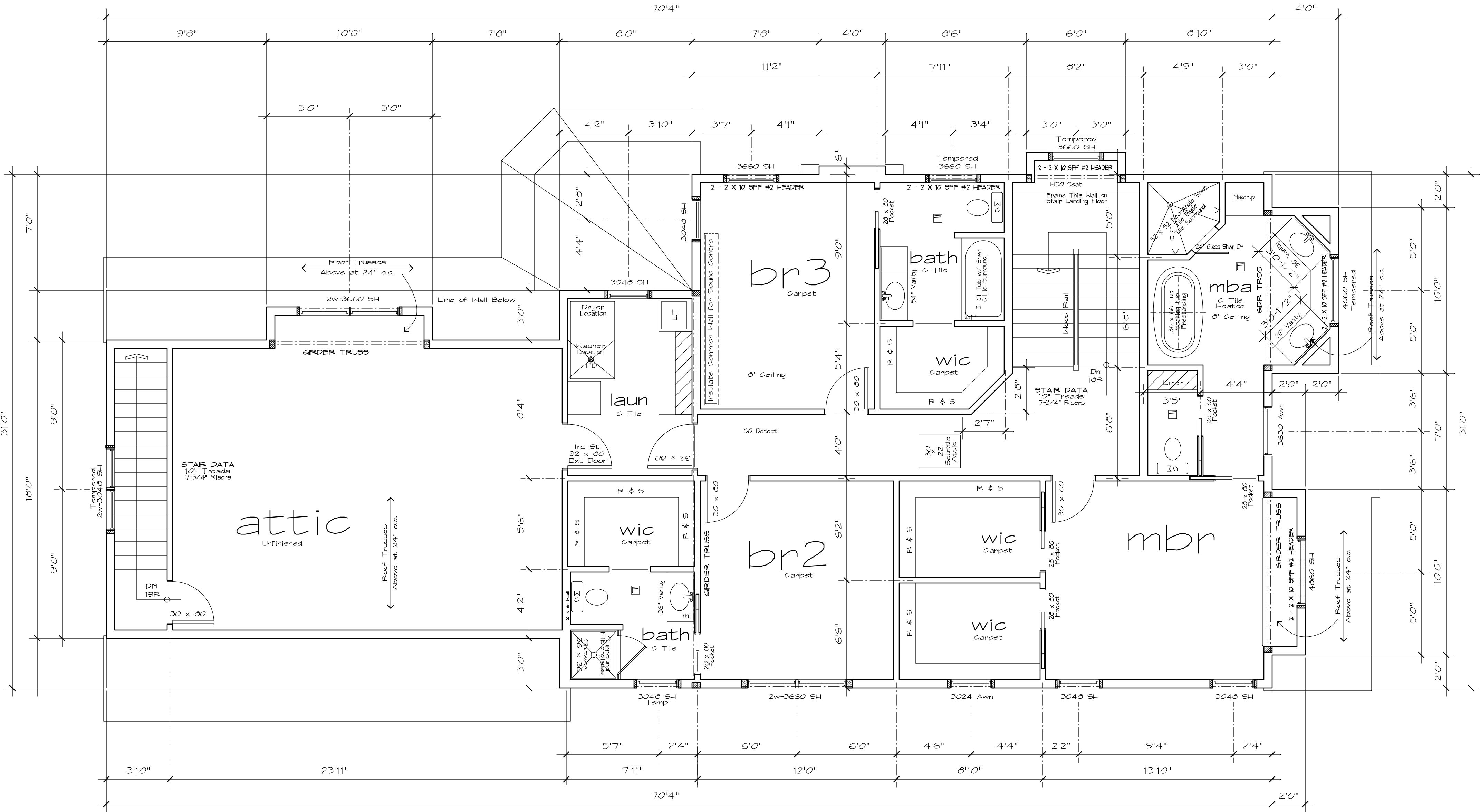
Project Name

Brian and Tasha
Winkels
123 Broadway Ave. N.
Lot 11, Block 16, Wayzata Revised
PID - 06-117-22-13-0050
Wayzata, MN

Drawing Title

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1,845sft

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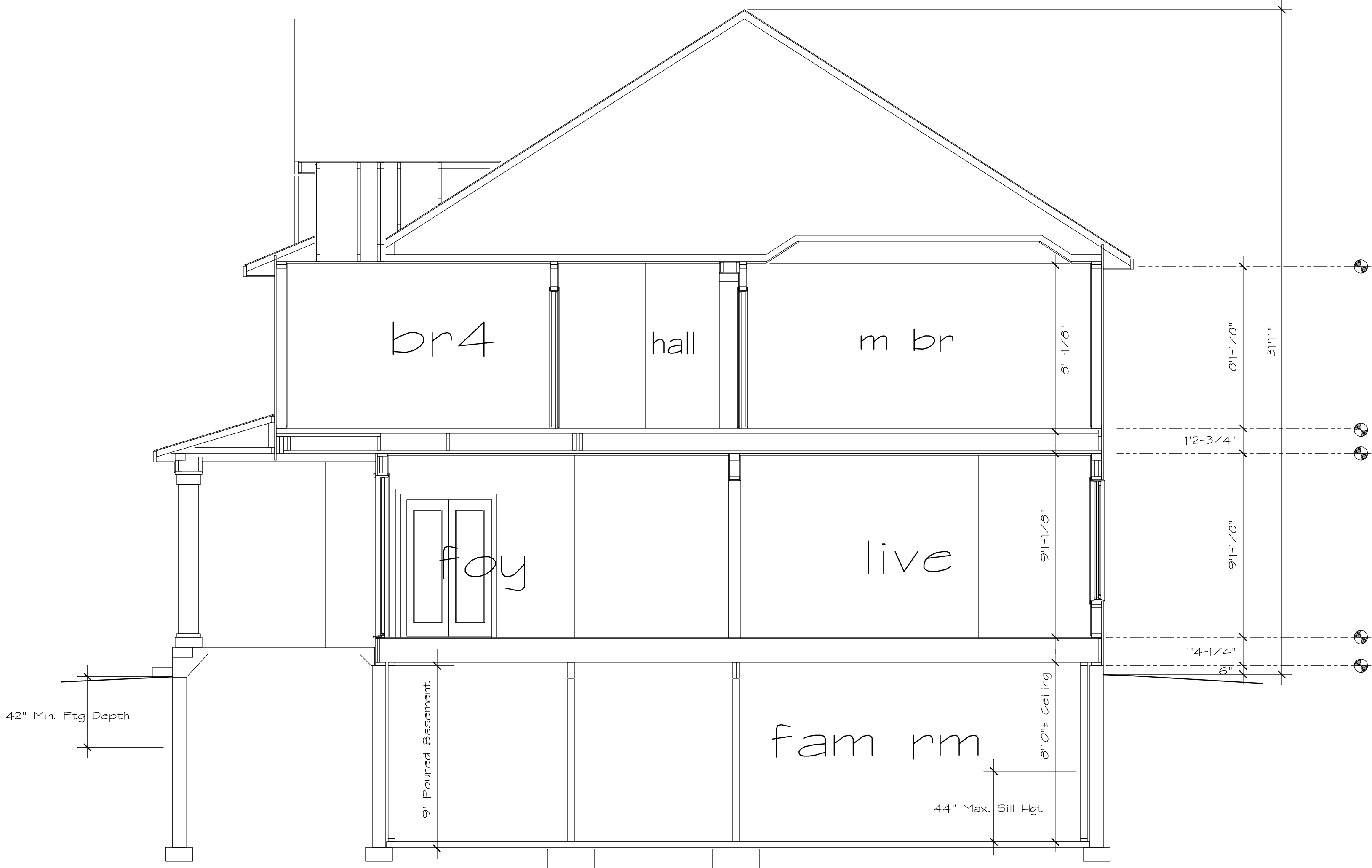
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SPECS

2

SCALE : 1/4" = 1'- 0"

UPPER LEVEL PLAN



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1

SPECS

2

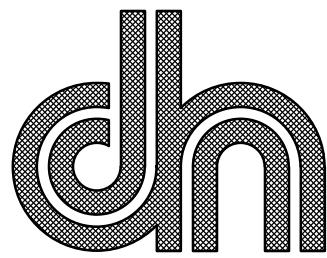
BUILDING SECTION

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Drawing Title

SECTIONS

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Drawn

SKB

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Drawing No.

Date

A6
_____ of _____

RADON MITIGATION SYSTEM

(Passive)

RADON NOTES:

4" Layer Clean Aggregate (1/2" - 1-1/2")
6mil Poly Soil Vapor Retarder
12"(min) Laps,
Close Fitting around Pipes and other penetrations
Radon Entry Routes shall be sealed with Elastomeric Caulk, incl:
Floor Openings, Pipes, Wires, etc.
Concrete Joints, Cracks, etc.
Concrete-to-Wall or -Curb Joint
Radon Vent shall be 3"dia ABS routed through the bldg.
opening within 2' vertically
Label Vent reading "Radon Reduction System" at all Floors
DO NOT SCALE DRAWINGS
Contractors Responsible for Verifying Dimensions
and Existing Conditions

GARAGE PORTAL FRAME

VAPOR BARRIER SEALING INSTRUCTIONS:

Seal Tops of ALL Interior Partitions
Seal Between All Changes in Assembly
(i.e., Ext. to Int. Walls, Floors to Walls, Etc.)
Seal ALL Electrical Boxes and Fan Housings
Seal ALL Horizontal and Vertical Penetrations at Walls and Floors
where they penetrate the exterior envelope

RM SEALING INSTRUCTIONS:

Caulk or Seal Seams at Rim/Subfloor & Rim/Top Plate
(All Caulk to be Placed at Warm Side of System)
Install RMin Pre-Insulated Rim

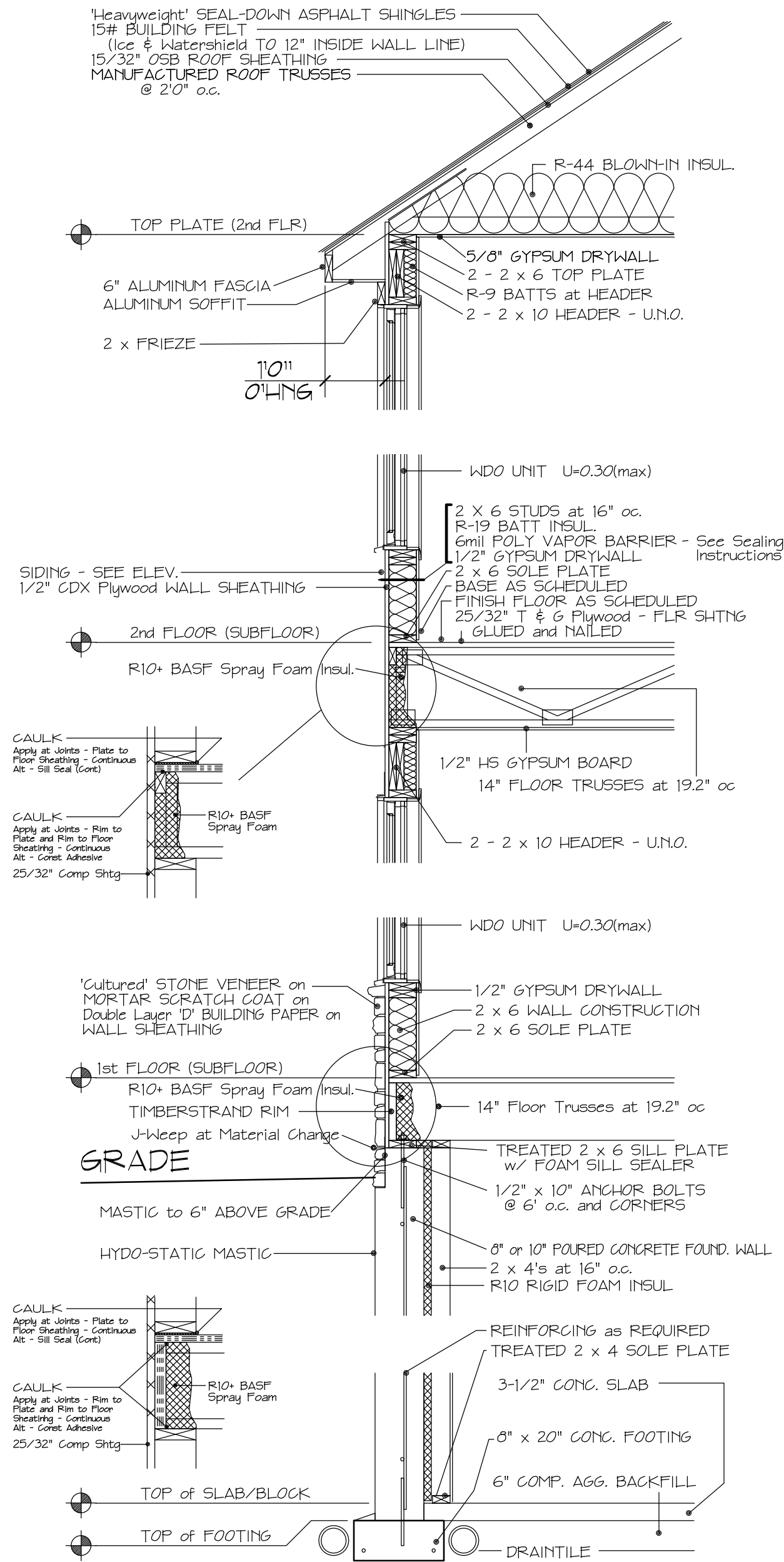
FOUNDATION NOTES:

CORE FILLS at ALL Solid Post Locations
CORE FILLS at Walls as Required
CLOSED COURSE at Ledges and Masonry Openings
LEAVE NO VOIDS
Cove ALL Brick Ledges and Footings
Soil Bearing assumed at 2,000psf
Inside and Outside Drantile
Poured Concrete Systems, Engineering by Contractor
Contractors Responsible for Verifying Dimensions
and Existing Conditions
DO NOT SCALE DRAWINGS

FRAMING NOTES:

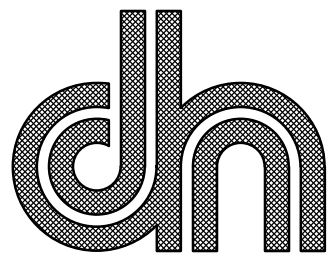
Double Joists under ALL Parallel Partitions
Bridging at 1/2 Span, and as per Manuf. Spec.
2 - 2 x 10 Headers at Windows and Doors, U. N. O.
Head off around Plumbing Traps
Assure Floor Structure Layout misses Mechanical Fixtures
Floor Load = 50psf (Live) + 10psf (Dead)
Floor design = 1/400'
Roof Load = 45 psf (Live and Dead) + 15 psf (Snow)
2 - 2 x 10 Headers at Windows and Doors, U. N. O.
Contractors Responsible for Verifying Dimensions
and Existing Conditions
DO NOT SCALE DRAWINGS

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and/or omissions for possible correction prior to start
of construction. No warranties express or implied including
compliance of this plan with applicable building code requirements
are made, except those in writing and signed by the maker.



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Project Name

Drawing Title

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Checked		
Reviewed		Drawing No.
Date		A9
		_____ of _____



WAYZATA PLANNING COMMISSION

March 2, 2015

REPORT AND RECOMMENDATION OF APPROVAL OF CONCURRENT PRELIMINARY AND FINAL PLAT AT 637 HARMONY CIRCLE

DRAFT

SUMMARY OF RECOMMENDATION

Approval* of Concurrent Preliminary and Final Plat for Two (2) Lot Subdivision

** subject to certain conditions noted in Section 4 of this Report*

REPORT AND RECOMMENDATION

Section 1. BACKGROUND

- 1.1 **Project.** Mr. Fritz Gullickson (the “Applicant”) has submitted a Development Application (the “Application”) requesting concurrent preliminary and final plat subdivision approval (the “Subdivision” or the “Preliminary/Final Plat”) to divide 37,565 SF parcel into two (2) new lots at 637 Harmony Circle (the “Property”). The previous residence on the Property was removed by the Applicant and the Property is currently vacant.
- 1.2 **Application Requests.** As specified further in the Application, the Applicant is requesting approval of the following:
- A. Concurrent Preliminary and Final Plat for two (2) Lot Subdivision of the Property (the “Proposed Subdivision”)
- 1.3 **Property.** The property identification numbers and owners of the parcels comprising the property (the “Property”) are:

637 Harmony Circle	31-118-22-44-0036	Fritz Jon Gullickson
--------------------	-------------------	----------------------

- 1.4 Land Use. Uses in the general vicinity are entirely single family residential, with the area zoned for R-3 Single and Two Family Residential (9,000 SF minimum lot sizes).
- 1.5 Notice and Public Hearing. Notice of a public hearing on the Application was published in the *Lakeshore Weekly* on January 13, 2015. A copy of the notice was mailed to all property owners located with 350 feet of the Property on January 15, 2015. The required public hearing was held at the January 26, 2015 Planning Commission meeting. Additional public comment was received at the February 23, 2015 Planning Commission meeting.

Section 2. STANDARDS

- 2.1 Preliminary and Final Plat Subdivision. Chapter 805 of the Wayzata City Code, (the "Subdivision Ordinance") sets forth the procedure and substantive review criteria for applications for a subdivision. Before any plat can be recorded or of any validity, it must be referred to the City Planning Commission and approved by the City Council as having fulfilled the requirements of the Subdivision Ordinance. Section 805.15 of the Wayzata Subdivision Ordinance allows the City to review a proposed preliminary and final plat simultaneously.
 - A. Goals. Under Section 805.2.b of the Subdivision Ordinance, subdivisions approved under the Subdivision Ordinance must be guided by the following:
 1. Preserve and enhance Wayzata's "small town" character (Comprehensive Plan).
 2. Respect the existing scale, character and pattern of the City, recognizing existing neighborhoods and commercial areas (Wayzata Physical Plan).
 3. Provide a balanced housing supply available for all people no matter their income, age, race or ethnicity (Comprehensive Plan).
 4. Support a pedestrian environment at a human, not automotive scale (Wayzata Physical Plan).
 5. Relate development/redevelopment to the natural characteristics of the land to enhance the development through the preservation of attractive natural amenities (i.e., lakes, wetlands, creeks, wooded areas, slopes, etc.) (Comprehensive Plan).
 - B. Criteria for Approval. Under Section 805.14.e of the Subdivision Ordinance, the Planning Commission must consider the possible adverse effects of a preliminary plat and report its findings and recommendation to City Council. Its judgment must be based upon, but not limited to, the following factors:

1. The proposed subdivision or lot combination shall be consistent with the Wayzata Comprehensive Plan.
2. Building pads that result from a subdivision or lot combination shall preserve sensitive areas such as lakes, streams, wetlands, wildlife habitat, trees and vegetation, scenic points, historical locations, or similar community assets.
3. Building pads that result from subdivision or lot combination shall be selected and located with respect to natural topography to minimize filling or grading.
4. Existing stands of significant trees shall be retained where possible. Building pads that result from a subdivision or lot combination shall be sensitively integrated into existing trees.
5. The creation of a lot or lots shall not adversely impact the scale, pattern or character of the City, its neighborhoods, or its commercial areas.
6. The design of a lot, the building pad, and the site layout shall respond to and be reflective of the surrounding lots and neighborhood character.
7. The lot size that results from a subdivision or lot combination shall not be dissimilar from adjacent lots or lots found in the surrounding neighborhood or commercial area.
8. The architectural appearance, scale, mass, construction materials, proportion and scale of roof line and functional plan of a building proposed on a lot to be divided or combined shall be similar to the characteristics and quality of existing development in the City, a neighborhood or commercial area.
9. The design, scale and massing of buildings proposed on a subdivided or combined lot shall be subject to the architectural guidelines and criteria for the Downtown Architectural District, Commercial and Institutional Architectural Districts, and Residential Architectural Districts and the Design Review Board/City Council review process outline in Section 9 of the Wayzata Zoning Ordinance.
10. The proposed lot layout and building pads shall conform with all relevant performance standards.

11. The proposed subdivision or lot combination shall not tend to or actually depreciate the values of neighboring properties in the area in which the subdivision or lot combination is proposed.
 12. The proposed subdivision or lot combination shall be accommodated with existing public services, primarily related to transportation and utility systems, and will not overburden the City's service capacity.
- C. Concurrent Preliminary/Final Plat. Section 805.15 of the Subdivision Ordinance allows the City to review the preliminary and final plat simultaneously.
- D. Parkland Dedication. Section 805.37 of the Subdivision Ordinance requires a parkland dedication contribution for new single family lots at the time of recording of the Final Plat.

Section 3. FINDINGS

Based on the Application materials, staff reports, public comment presented at the hearing, and Wayzata's Zoning Ordinance and Subdivision Ordinance, the Planning Commission of the City of Wayzata makes the following findings of fact with respect to the Proposed Subdivision:

3.1 Proposed Subdivision.

- A. Goals. The Proposed Subdivision is consistent with the goals of the Subdivision Ordinance.
- B. Criteria for Approval.
1. The Project associated with the Proposed Subdivision is consistent with the Wayzata Comprehensive Plan. The proposed Subdivision conforms with the low density residential guidance of the Comp Plan for this area and the One Acre Single Family District. The proposed lots are 17,166 SF (Lot 1) and 20,399 SF (Lot 2).
 2. The building pads associated with the Project ("Proposed Building Pads") would not negatively impact any sensitive areas, however one (1) significant tree, a Bur Oak measuring thirty-four (34) inches in diameter, would be impacted by the Project.
 3. The Proposed Building Pads have been selected and located with respect to natural topography to minimize filling or grading, though the Commission would recommend a condition be attached to approval that the City Engineer's approval must be secured for a grading plan, prior to any construction work so that land disruption is minimized.

4. Existing significant trees would be retained where possible on the Property, with the exception on one (1) thirty-four (34) inch diameter Bur Oak tree. The Applicant proposes to install five (5) to six (6) evergreen trees along the northern property line of Lot 1 to serve as screening for the Property, and three (3) additional mature trees.
5. The creation of the proposed lots in the Proposed Subdivision would not adversely impact the scale, pattern or character of the City, its neighborhoods, as the lots would be consistent with the lots in the surrounding area in terms of lot area.
6. The design of the lots, the proposed building pads, and the site layout of the Proposed Subdivision responds to and is reflective of the surrounding lots and neighborhood character. The proposed lot layout provides for two larger sized lots that exceed the lot area minimum for the district.
7. The lot sizes that result from the Proposed Subdivision would not be dissimilar from adjacent lots or lots found in the surrounding neighborhood. The proposed lots conform with and exceed the R-3 District and Comprehensive Plan minimums for lot area.
8. The building plans originally submitted with the Application were not similar to the architectural appearance, scale, mass, proportion and scale of roof lines and functional plans of existing development in the surrounding neighborhood. As recommended by the Planning Commission at its January 26, 2015 meeting, the Applicant has provided two (2) alternative building plans for two story residences for the Property, which are included as Attachment A. The Planning Commission finds that the plans on Attachment A better reflect and are similar to the architectural appearance, scale, mass, proportion and scale of roof lines and functional plans of existing development in the surrounding neighborhood.
9. The proposed lot layout and Proposed Building Pads of the Proposed Subdivision would conform will all relevant performance standards.
10. The Proposed Subdivision is not likely to tend to or actually depreciate the values of neighboring properties in the area in which it is proposed.
11. The Proposed Subdivision would be accommodated with existing public services, primarily related to transportation and utility systems, and will not overburden the City's service capacity.

- C. Parkland Dedication. A parkland dedication fee in lieu of land under Section 805.37 of the Subdivision Ordinance for the new single family lots must be made at the time of recording of the Final Plat.

Section 4. RECOMMENDATION

- 4.1 Planning Commission Recommendation. Based on the findings in section 3 of this Report, the Planning Commission recommends approval of the Proposed Subdivision and Final Plat (Attachment B), subject to the following conditions:
- A. The Applicant and/or future homeowners shall construct the residences in the Proposed Subdivision according to the alternative residential building plans presented to the Planning Commission on February 23, 2015, included as Attachment A to this Report. Any alternative or substantially modified final building plans that differ materially from those depicted in Attachment A to this Report must be reviewed by the Planning Commission and approved by the City Council to ensure that such building plans would result in buildings that are similar to the characteristics and quality of the existing homes in the neighborhood as required under Section 805.14.E.8.
 - B. The Applicant and/or future homeowners shall construct the residential buildings with the same high quality materials as presented by the Applicant at the Planning Commission's January 26, 2015 meeting. Any deviations from such building materials must be reviewed by the Planning Commission and approved by the City Council to ensure that the building materials are compatible with the characteristics and quality of the existing homes in the neighborhood as required under Section 805.14.E.8 and 805.14.E.9.
 - C. The Applicant and/or future homeowners must work with the City Forester on a landscape plan for Lots 1 and 2, which incorporate native trees and plants, and at least five (5) to six (6) evergreens between Lot 1 and the property at 645 Harmony Circle, and three (3) additional mature trees on the Property.
 - D. The Applicant and/or future homeowners must construct the proposed residences (depicted in Attachment A), in such a manner that neither home exceeds twenty eight (28) ft in height as viewed and measured from the adjacent street.
 - E. The Applicant and/or future homeowners must construct the proposed residence on Lot 2 (depicted in Attachment A) with an additional front yard setback of four (4) to six (6) ft, for a total front yard setback of 27.9 ft to 29.9 ft, to be more in line with adjacent property front yard setbacks.
 - F. The Applicant and/or future homeowners must construct the proposed residence on Lot 1 (depicted in Attachment A) with an additional front yard setback of four (4) to six (6) ft for a total front yard setback of 36 ft to 38 ft.

- G. The Applicant and/or future homeowners must take all necessary measures, as directed by the City Engineer, to prevent water runoff into the wetlands in the rear of the Property during construction.
- H. The City Engineer's approval must be secured for a grading plan, prior to any construction work on the Property so that land disruption is minimized.
- I. The Applicant and/or future homeowners shall ensure that the Project meets all of the performance standards required by the City's Zoning Ordinance.
- H. The following comments of City Staff outlined in the Planning Report on the Application dated January 26, 2015 must be incorporated into the Final Plat:
 - 1. Existing services (water) shall be abandoned at main if less than one inch (1").
 - 2. New water services shall be one inch (1") minimum.
 - 3. Existing service sewer shall be televised to document structural integrity prior to reconnection.
 - 4. Existing storm sewer on north parcel shall be relocated and easement recorded.
- J. The Applicant and/or future homeowners must secure all necessary building permits for construction, and conform to all laws and regulations applicable to the Project.
- K. All expenses of the City of Wayzata, including consultant, expert, legal, and planning fees incurred must be fully reimbursed by the Applicant.
- L. The Applicant must pay the required Park Dedication Fee for each new single family lot at the time of recording of the Final Plat, as required under Section 805.37.
- M. The Applicant must record the Final Plat document with the appropriate Hennepin County officials within one hundred twenty (120) days in conformance with Section 805.15.E.7, and provide a recorded copy to the City.

Adopted by the Wayzata Planning Commission this _____ day of March 2015.

Voting In Favor:

Voting Against:

Abstaining:

Chair, Planning Commission

DRAFT

Attachment A

Alternative Single Family Residential Building Plans for Lots 1 and 2, Block 1, Bailey Woods

DRAFT

PLAN NUMBER

21407

DATE

1-30-2015

REVISIONS

RESIDENCE FOR:

BUILT BY:

612-597-4269

EXCELLENCE FROM EVERY ANGLE

Beyond Design
Architecture



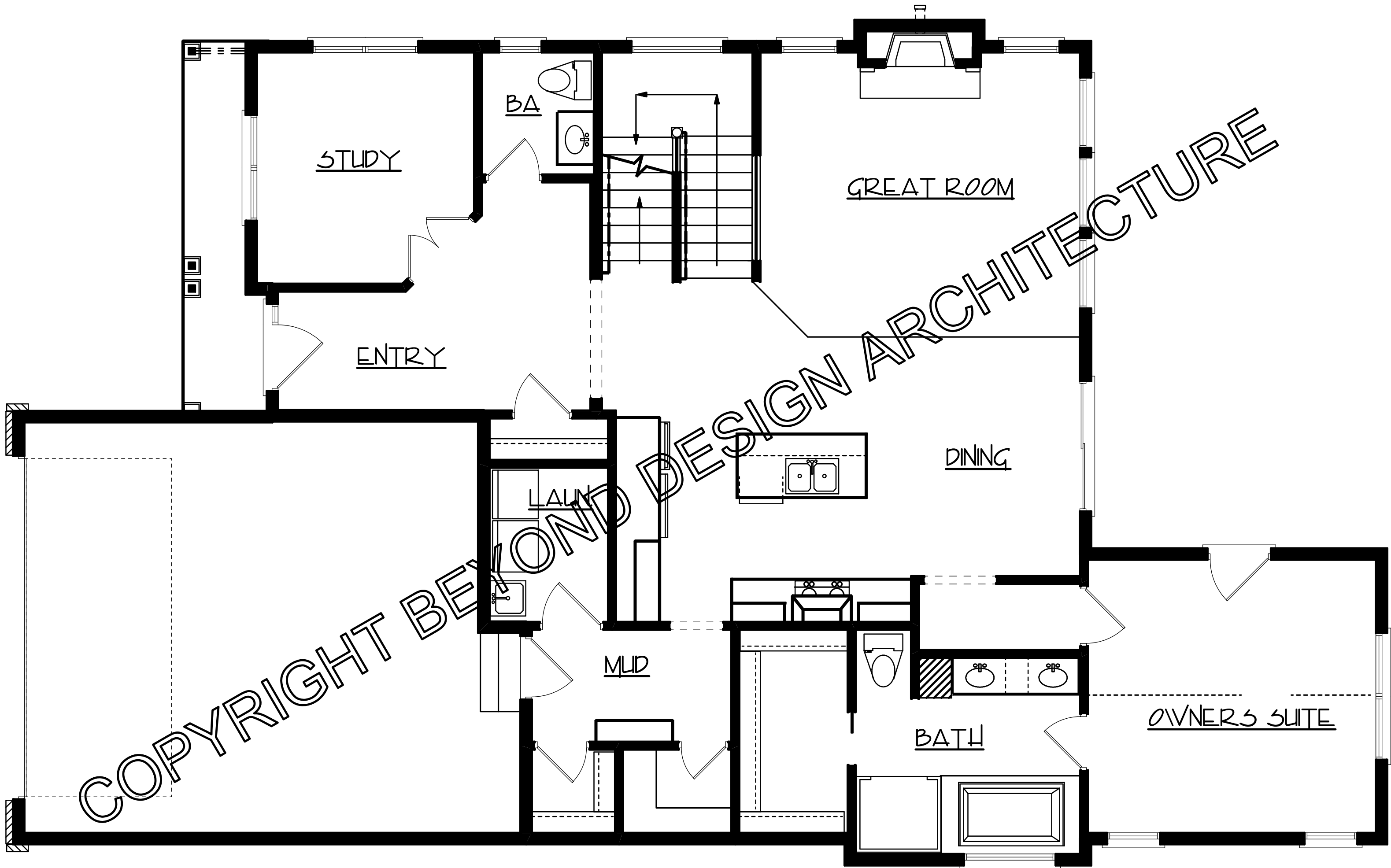
FRONT ELEVATION

© COPYRIGHT BEYOND DESIGN ARCHITECTURE

Lot 1

SHEET

OF



MAIN FLOOR PLAN
© COPYRIGHT BEYOND DESIGN ARCHITECTURE

Lot 1

PLAN NUMBER
21407

DATE
1-30-2015

REVISIONS

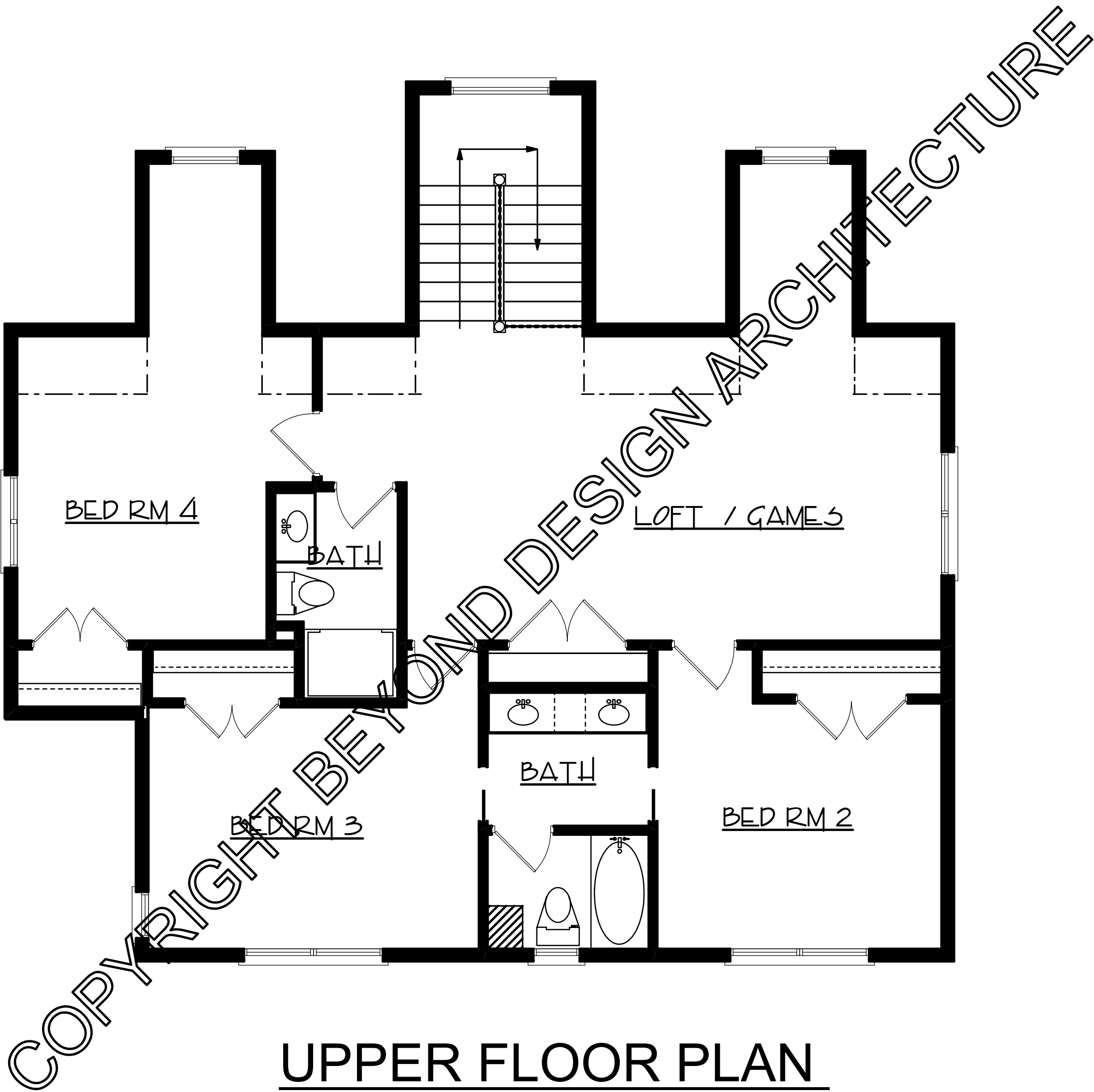
RESIDENCE FOR:

BUILT BY:

612-597-4269

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Beyond Design Architecture



UPPER FLOOR PLAN
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Lot 1

PLAN NUMBER
21407

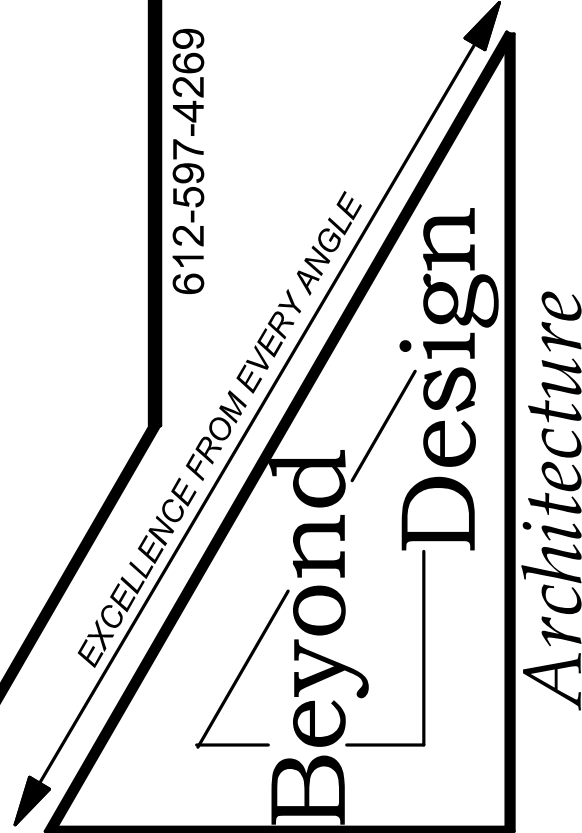
DATE
1-30-2015

REVISIONS

RESIDENCE FOR:

BUILT BY:

612-597-4269



SHEET **OF**

PLAN NUMBER
21408

DATE
1-30-2015

REVISIONS

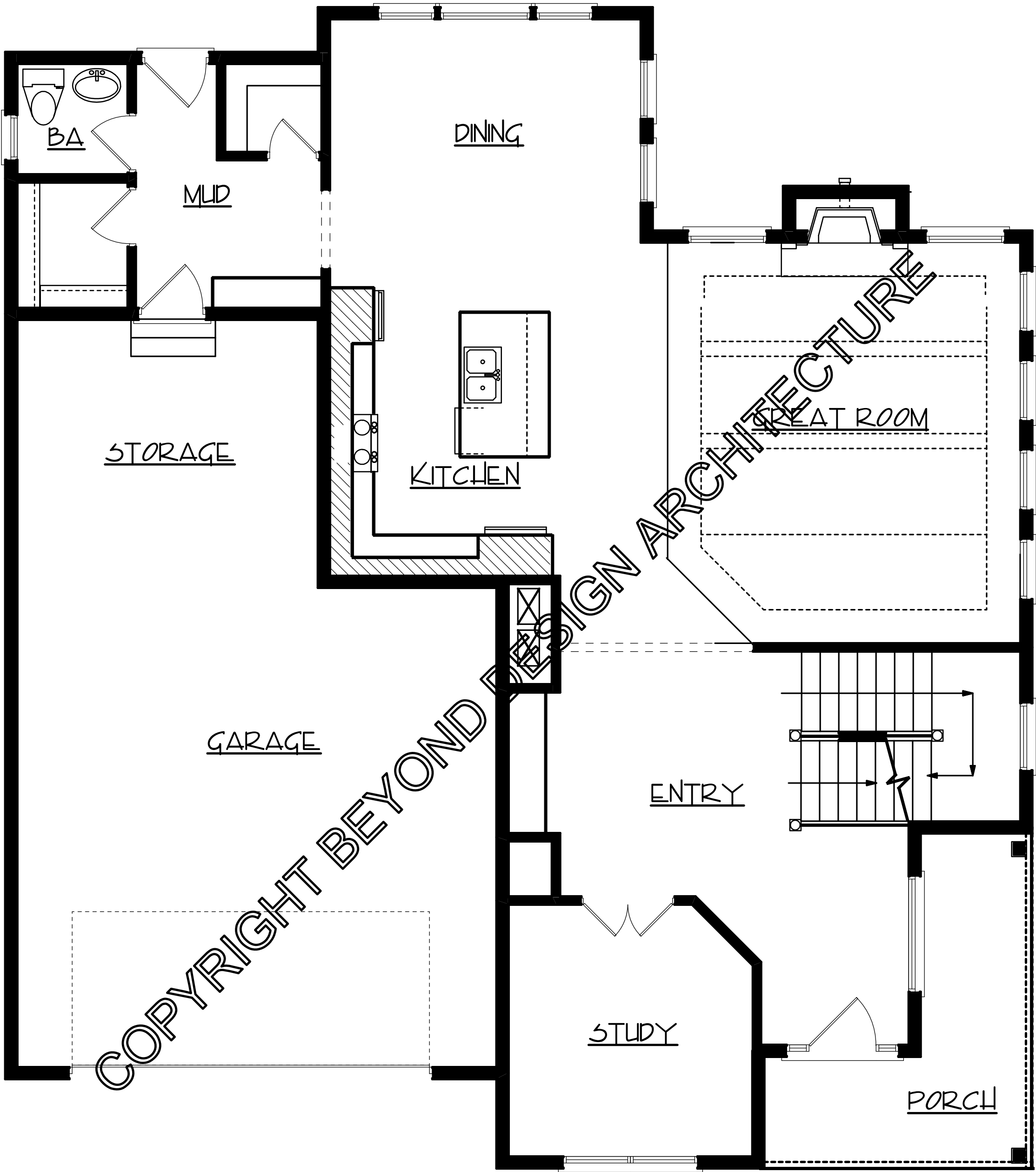
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FRONT ELEVATION 1/4"= 1'-0'
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MAIN FLOOR PLAN

© COPYRIGHT BEYOND DESIGN ARCHITECTURE

PLAN NUMBER
21408

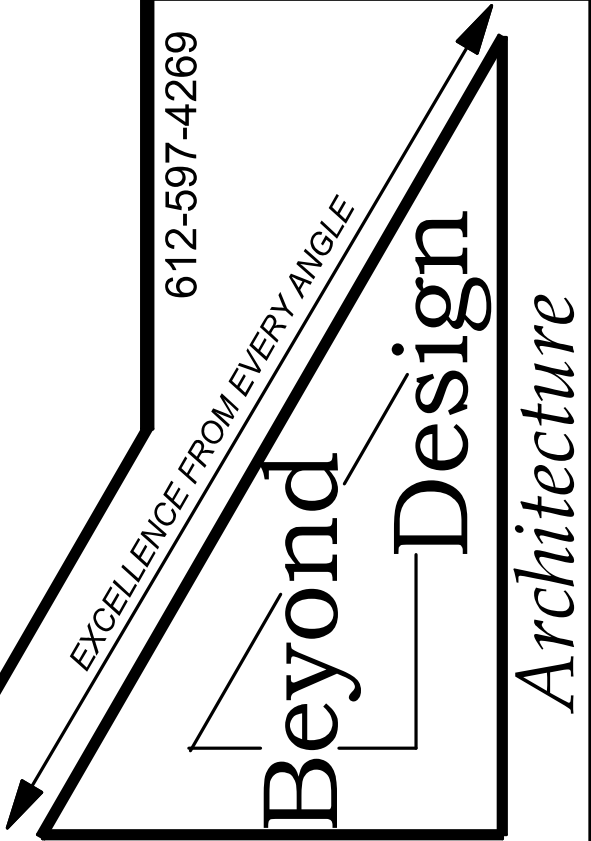
DATE
1-30-2015

REVISIONS

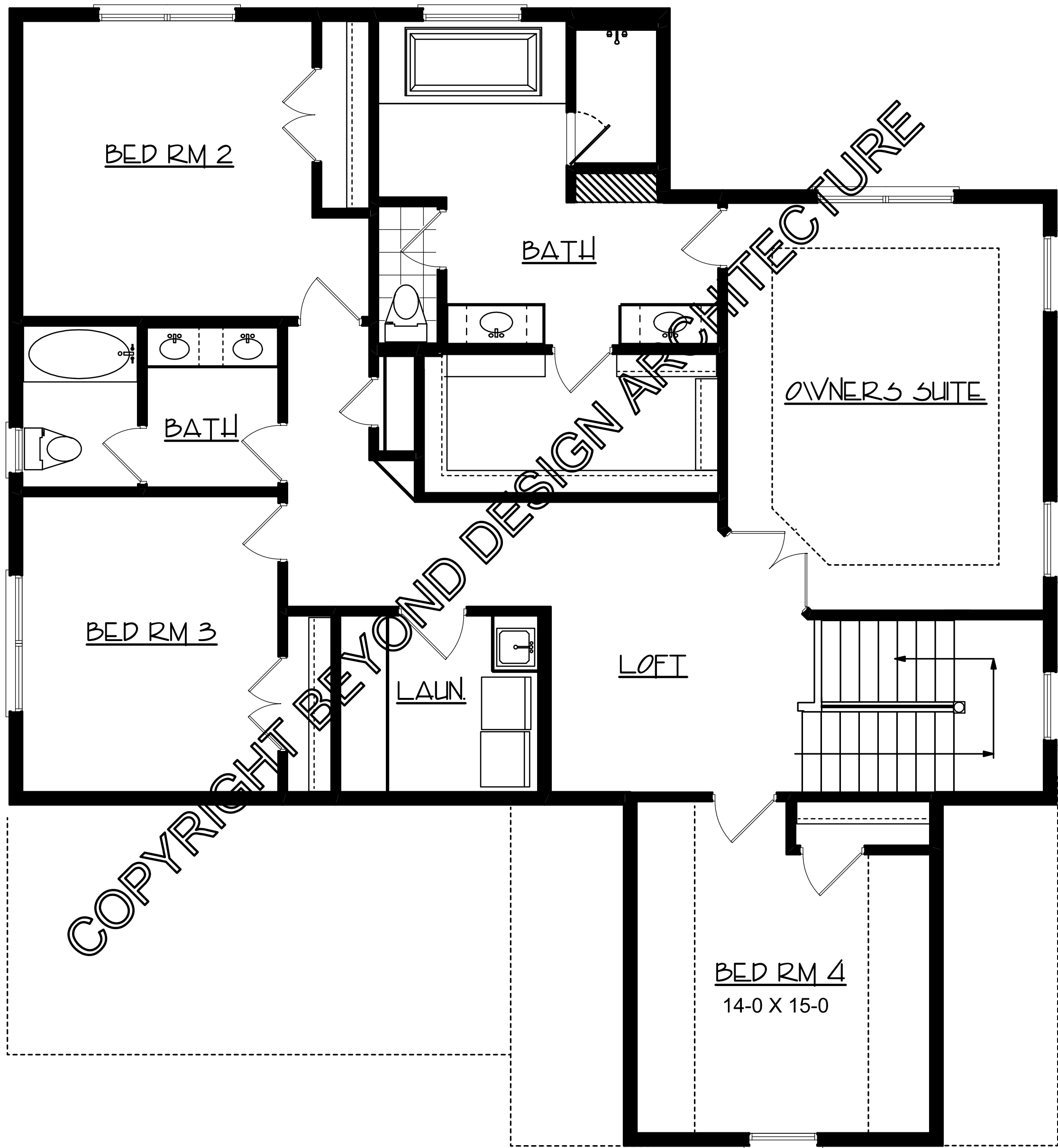
RESIDENCE FOR:

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612-597-4269



SHEET OF



UPPER FLOOR PLAN

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PLAN NUMBER
21408

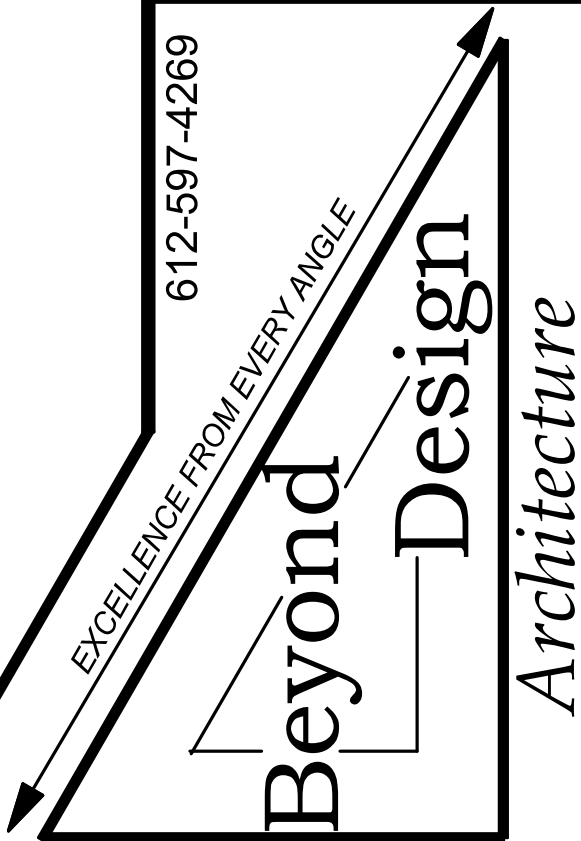
DATE
1-30-2015

REVISIONS

RESIDENCE FOR:

BUILT BY:

612-597-4269



SHEET OF

Attachment A: Alternative House Designs



Lot 2

Attachment B

Preliminary and Final Plat Application Materials

DRAFT

HARDCOVER CALCULATIONS

LOT 1 17166+- S.F.

HOUSE 2162+-
PORCH 180+-
DRIVEWAY 100+-
WALK 792+-
TOTAL 3234+- S.F.
3234/17166 = 18.84%

LOT 2 20399+- S.F.

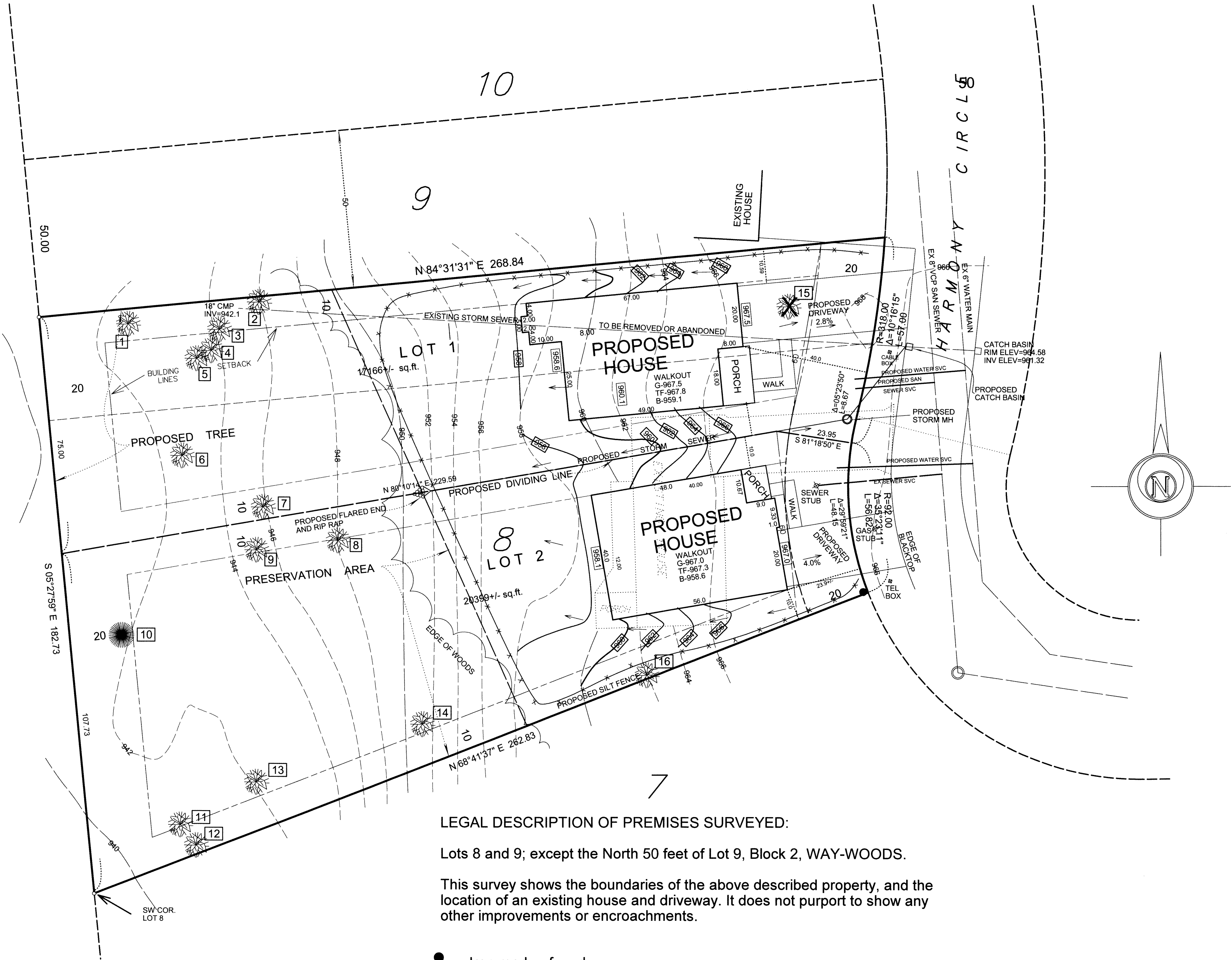
HOUSE 2164+-
PORCH 85+-
DRIVEWAY 76+-
WALK 421+-
TOTAL 2746+- S.F.
2746/20399 = 13.46%

TREE INVENTORY

- | | |
|----|-------------------|
| 1 | 8X12" ASH |
| 2 | 8" OAK |
| 3 | 8" OAK |
| 4 | 10" OAK |
| 5 | 14" OAK |
| 6 | 40" COTTONWOOD |
| 7 | 40" COTTONWOOD |
| 8 | 12" OAK |
| 9 | 12" OAK |
| 10 | 5" SPRUCE |
| 11 | 12" MAPLE |
| 12 | 20X38" COTTONWOOD |
| 13 | 36" COTTONWOOD |
| 14 | 48" OAK |
| 15 | 34" OAK |
| 16 | 12" LINDEN |

(TO BE REMOVED) X

PROPOSED GRADING, UTILITIES AND
PRELIMINARY PLAT FOR
FRITZ GULLICKSON
IN LOTS 8 AND 9, BLOCK 2, WAY-WOODS
HENNEPIN COUNTY, MINNESOTA



LEGAL DESCRIPTION OF PREMISES SURVEYED:

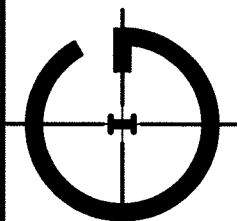
Lots 8 and 9; except the North 50 feet of Lot 9, Block 2, WAY-WOODS.

This survey shows the boundaries of the above described property, and the location of an existing house and driveway. It does not purport to show any other improvements or encroachments.

- : Iron marker found
- : Iron marker set
- 960.1 : Proposed spot elevation
- 958 : Existing contour line
- 950 : Proposed contour line

Bearings shown are based upon an assumed datum
NOTE: Topo is from Henn. Co. Nat. Res. website

GRONBERG & ASSOCIATES, INC.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS
445 N. WILLOW DRIVE LONG LAKE, MN 55356
PHONE: 952-473-4141 FAX: 952-473-4435



DATE	SCALE	JOB NO.	SHEET OF
11-20-14	1"=20'-0"	10-28-14	14-343

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
Mark J. Gronberg
DATE 1-22-15 MNN LICENSE NUMBER 12255

DESIGNED		REVISIONS	
DATE	BY	REMARKS	
11-20-14		TREES ADDED	
11-25-14		PROPOSED GRADING	
1-22-15		REVISED HOUSES, GRADING	

C.R.DOC.NO. _____

BAILEY WOODS

Know all persons by these presents that Fritz J. Gullickson, single, fee owner of the following described property situated in the County of Hennepin, State of Minnesota, to wit:

Lots 8 and 9, EXCEPT the north 50 feet of said Lot 9, Block 1, WAY-WOODS

Has caused the same to be surveyed and platted as BAILEY WOODS, and does hereby dedicate to the public for public use forever the drainage and utility easements as shown on the plat.

In witness whereof said Fritz J. Gullickson, single, and hereunto set his hand this _____ day of _____, 20____.

FRITZ J. GULLICKSON
STATE OF _____
COUNTY OF _____) The foregoing instrument was acknowledged before me this _____ day of _____, 20____, by Fritz J. Gullickson, single.

Notary Public, _____ County, _____ Notary's printed name
My commission expires _____

I, Mark S. Gronberg, do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands as defined in Minnesota Statutes, Section 505.01, Subd.3 as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Mark S. Gronberg Licensed Land Surveyor and Engineer
Minnesota License Number 12755

STATE OF _____
COUNTY OF _____) The foregoing instrument was acknowledged before me this _____ day of _____, 20____, by Mark S. Gronberg, Land Surveyor and Engineer.

Notary Public, _____ County, _____ Notary's printed name
My commission expires _____

WAYZATA, MINNESOTA
This plat of BAILEY WOODS was approved and accepted by the City Council of Wayzata, Minnesota, at a regular meeting held this _____ day of _____, 20____. If applicable, the written comments and recommendations of the Commissioner of Transportation and the County Highway Engineer have been received by the City, or the prescribed 30 day period has elapsed without receipt of such comments and recommendations, as provided by Minnesota Statutes, Section 505.03, Subd. 2.

CITY COUNCIL OF WAYZATA, MINNESOTA
_____, Mayor
_____, Clerk

RESIDENT AND REAL ESTATE SERVICES, HENNEPIN COUNTY, MINNESOTA
I hereby certify that taxes payable in 20____ and prior years have been paid for land described on this plat. Dated this _____ day of _____, 20____.

MARK V. CHAPIN, HENNEPIN COUNTY AUDITOR
By _____, Deputy

SURVEY DIVISION, HENNEPIN COUNTY, MINNESOTA
Pursuant to MINN. STAT. Sec. 383B.565, (1969), this plat has been approved this _____ day of _____, 20____.

CHRIS F. MAVIS, HENNEPIN COUNTY SURVEYOR
By _____

COUNTY RECORDER, HENNEPIN COUNTY, MINNESOTA
I hereby certify that the within plat of BAILEY WOODS was recorded in this office this _____ day of _____, 20____, at _____ o'clock ____M.

MARTIN MCCORMICK, HENNEPIN COUNTY RECORDER
By _____, Deputy

