

WAYZATA CITY COUNCIL MEETING AGENDA
Wayzata City Hall Community Room, 600 Rice Street
Tuesday, April 21, 2015

4:30 PM - Dinner Available for Wayzata City Council - Conference Rm.

WORKSHOP TOPICS FOR DISCUSSION:

- 1. Communications Policy with Communications Board (5:00 PM)**
- 2. Discuss Year End Transfers (5:30 PM or immediately following)**
- 3. 637 Harmony Circle (6:00 PM or immediately following)**

7:00 PM - CITY COUNCIL MEETING

ITEM	DESCRIPTION	PRESENTER	JM	AM	KW	BA	ST	VOTE	PAGE #
1	Roll Call								
2	Approve Agenda								
3	Public Forum - 15 Minutes (3 min/person)								
4	Consent Agenda								2
a.	Approval of Workshop Minutes of April 7, 2015 and Minutes of April 7, 2015								
b.	Approval of Check Register								
c.	Municipal Licenses Which Received Administrative Approval (Informational Only)								
d.	Police Activity Report								
e.	Building Activity Report								
5	New Business								
a.	Section Foreman House Update	Gadow							38
b.	Consider Award of Bid for Transient Docks and Swimming Dock at the Beach	Dudinsky							111
c.	Consider Resolution No. 18-2015 Approving 2014 Year End Transfers	Uram							113
d.	Update & Recommendations on Transcription of City Council Minutes and Environmental Health Inspections of Food, Lodging and Public Swimming Pools	Uram							119
e.	Update & Recommendations on Charitable Gambling	Uram							125
f.	Update on Strategic Plan	Nelson							135
6	City Manager's Report and Discussion Items								
7	Public Forum (as necessary)								
8	Adjournment								

Meeting Rules of Conduct:

Turn in white card for public forum and blue card for agenda item
Give name and address
Indicate if representing a group
Limit remarks to 3 minutes

Upcoming Meetings:

City Council - May 5 & 19, 2015
Planning Commission - May 4 & 18, 2015

WAYZATA CITY COUNCIL
DRAFT – WORKSHOP MEETING MINUTES
April 7, 2015

4:30 PM CLOSED SPECIAL MEETING

Mayor Willcox called the meeting to order at 4:30 pm in the Conference Room at Wayzata City Hall. Council members present: Anderson, McCarthy, Mullin, and Tyacke. Also present: City Manager Nelson.

Mr. Tyacke made a motion, seconded by Mrs. McCarthy, to recess to a closed special meeting of the Wayzata City Council to conduct a performance evaluation of Wayzata City Manager Heidi Nelson pursuant to Minn. Stat. § 13D.05, Subd. 3. The motion carried 5/0.

Mrs. McCarthy made a motion, seconded by Mr. Tyacke to adjourn the closed meeting at 5:37.

Respectfully submitted,

Becky Malone
Deputy City Clerk

WAYZATA CITY COUNCIL
DRAFT - MEETING MINUTES
April 7, 2015

AGENDA ITEM 1. Public Meeting.

a. Open Local Board of Appeal and Equalization Meeting

Mayor Willcox opened the Local Board of Appeals and Equalization at 5:40 p.m. Members present: Anderson, McCarthy, Mullin, and Tyacke.

Assessor Distel described his work as the assessor, noting that Chris Bennett was in attendance to represent Hennepin County who assesses apartments, commercial property, and Presbyterian Homes in Wayzata. Assessor Distel provided an overview of the Assessor's responsibilities and explained how valuations were determined that provided for equalization.

b. Hear Appeals

The Council considered the request from Gary and Kelley Knight, appealing the valuation of 146 Benton Avenue.

Gary Knight, 146 Benton Avenue, suggested that the Council had not adequately reviewed the Anchor Bank development and it had negatively affected the value of his home because of a lack of screening. However, the valuation of his home had increased by 6.1%. Mr. Knight presented pictures of the development as viewed from his home.

Assessor Distel stated the purchase price of the home, \$580,000.00, was a good deal in his opinion. He had increased the property the previous year but at a much lower rate than the rest of the neighborhood. Mr. Distel asked why Mr. Knight was building a home two doors away if he believed the commercial use devalued the neighborhood.

Mr. Knight explained that he felt the negative impacts were the highest for his home and that the other piece of property was blocked, higher, and had room to plant trees.

Mr. Knight answered a question of the Council sharing the increases from the surrounding homes that might be affected by the development. The two long lots on Wayzata Boulevard were increased by 15% in 2014, 6% in 2015, 16.5% in 2014, and 5.6% in 2015. The second lot that Mr. Knight owned was increased by 15% in 2014 and was decreased in 2015 because the home was removed. The next lot was increased by 13% in 2014 and 6% in 2015. The Knight's home was increased only 3.8% in 2014 and 6.1% in 2015.

Mr. Gadow answered a question of the Council indicating the landscaping for the development had not been completed and would be finished this spring.

Mr. Mullin acknowledged that the gap in screening was for public safety but did impact the property value and supported a slight reduction.

The Council requested that staff ensure the landscaping plan was carried out and to monitor the area in regard to the effects the development had on surrounding property values.

Mr. Tyacke made a motion, seconded by Mrs. Anderson, to maintain the valuation of 146 Benton Avenue at \$661,000.00. The motion carried 4/1 (Mullin).

The Council considered the request from David Heil, appealing the valuation of 190 Gleason Lake Road.

David Heil, 190 Gleason Lake Road, stated that he purchased the property in December, 2012 for \$399,000.00. There were substantial issues with the home and he had been making improvements as a hobby. Mr. Heil stated there had been a substantial increase of 30%. The assessor had assigned a value of \$50,000.00 for improvements, but he could provide receipts for only \$5,000.00 to \$10,000.00 in improvements.

Assessor Distel stated that he had been in contact with Mr. Heil in November and had warned him that he was considering a substantial increase. He had offered to walk the home to

1 analyze actual improvements and correct the data, but Mr. Heil had not scheduled a meeting.
2 Assessor Distel had looked at the home and noted new siding and improvements to the porch.

3 The Council asked questions related to the assumptions made around the home
4 improvements and the home next door that had been given a reduction.

5 The Council agreed that it could not make a judgment without the Assessor having an
6 opportunity to enter the home.

7 Assessor Distel stated the owner had every opportunity to arrange for an appointment to
8 have the Assessor view his home and did not do so. Mr. Distel felt it was the intention of the
9 owner to come to the meeting without having his home viewed. Assessor Distel stated the owner
10 should be given the opportunity to appeal to the Hennepin County Board of Equalization since
11 the time had passed for him to enter the home and there seemed to be a conflict with the property
12 owner.

13 Mrs. Anderson made a motion, seconded by Mr. Mullin, to maintain the valuation of 190
14 Gleason Lake Road at \$519,000.00. The motion carried 5/0.

15 The Council explained the process of appealing to the Hennepin County Board of
16 Equalization and believed that it would give the property owner a fair and unbiased appeal
17 process.

18
19 The Council considered the request from Eric Fortney, appealing the valuation of 195 Lakeview
20 Lane South at \$1,732,000.00.

21 Mr. Fortney stated that his property had increased by a total of \$252,000.00 over the last
22 three years. The previous year's valuation was \$1,630,000.00 and this year's valuation was
23 \$1,732,000.00. Mr. Fortney expressed concern over this rate of increase and presented
24 comparable homes in the Highlands neighborhood. 180 Lakeview Lane was assessed at
25 \$1,426,000.00 for the previous year. 161 Ferndale Road South was assessed at \$1,537,000.00 for
26 the previous year. 182 Westwood Lane South was assessed at \$1,387,000.00 for the previous
27 year. 175 Westwood Lane South was assessed at \$1,700,000.00 this year. Mr. Fortney shared
28 that his home was 5,300 square feet, was built in 2009, and did not have high-end finishes.

29 Assessor Distel stated that he had been able to go into the home and there was a quality
30 factor used by assessors to account for high-end finishes and other items.

31 The Council asked a question relating to how the quality grade was used in determining
32 valuation and increases in valuation in comparable properties.

33 Mrs. Anderson stated that the quality grade did not seem equitable with comparable
34 properties and she was uncomfortable with the consistency.

35 The Council agreed that the property might be overvalued, but the percentages were
36 consistent in the neighborhood. The Council advised of the option to appeal to Hennepin County.

37 Mr. Tyacke made a motion, seconded by Mrs. McCarthy, to maintain the valuation of
38 195 Lakeview Lane South at \$1,732,000.00. The motion carried 3/2 (Anderson, Mullin).

39
40 The Council considered a letter from Del Johnson, appealing the valuation of 403 Waycliffe
41 Drive North at \$639,000.00.

42 Assessor Distel stated that Mr. Johnson had sent a letter requesting that 403 Waycliffe
43 Drive North be entered into the record for appeal of valuation. Mr. Johnson noted, in his letter,
44 that 323 Waycliffe Drive North was very similar to his home and had the same views of the pond,
45 but sold for \$500,000.00 in 2014. Mr. Distel provided a map of sales of similar homes
46 surrounding the pond that listed a home that sold in 2012 for \$635,000.00, a home that sold in
47 2013 for \$657,000.00, a home that sold in 2013 for \$580,000.00, and a home that sold in 2014 for
48 \$670,000.00. Mr. Distel confirmed that the 323 Waycliffe Drive North home sold for
49 \$500,000.00. The details concerning that sale included that the home was sold after the owners
50 had passed away and needed a total update.

The Council asked a question relating to a seasonal/recreational classification. The Council agreed it was comfortable with the assessment and that the sale of 323 Waycliffe Drive North seemed to be out of the normal range.

Mrs. Anderson made a motion, seconded by Mrs. McCarthy, to maintain the valuation of 403 Waycliffe Drive North at \$639,000.00. The motion carried 5/0.

The Council considered a letter from Jeff Rotsch, Bushaway LLC, appealing the valuation of 167 Bushaway Road at \$574,000.00.

Assessor Distel stated that the property had been for sale off and on since 2008 and that Mr. Rotsch had purchased the home at auction in January, 2015 for \$488,250.00. The home was in a state of disrepair and Mr. Rotsch believed that the property value should be equal to the amount he paid.

The Council asked a question relating to the Bushaway LLC ownership and the break out in cost between land and buildings.

Assessor Distel stated that the LLC was owned by Mr. Rotsch and his children and he was unaware of their intentions for the property. The land was valued at \$381,000.00 and the building was valued at \$193,000.00 for a total of \$574,000.00. Assessor Distel suggested an adjustment because he was not previously aware of the state of disrepair. He recommended maintaining the land value at \$381,000 and reducing the building value to \$163,000 for a total of \$544,000.00.

Mrs. McCarthy made a motion, seconded by Mrs. Anderson, to reduce the valuation of 167 Bushaway Road to \$544,000.00. The motion carried 5/0.

The Council considered a letter from Connie and Al Draves, appealing the valuation of 435 Lake Street West at \$643,000.00.

Assessor Distel stated that he received the letter in today's mail. He called the property owner and visited the property, but received no answer. The valuation increased from \$563,000.00 in 2014 to \$643,000.00 in 2015. The land value had been decreased in the past because of the proximity of a City pump house, but the trees had grown and Assessor Distel believed that it no longer had the same negative effects. The property also received a discount of \$30,000.00 because of its proximity to a commercial parking lot.

The Council agreed to include the appeal in tonight's Local Board of Appeals and Equalization.

Assessor Distel reported on sale prices of comparable properties.

The Council discussed the best course of action and agreed to maintain the current valuation and preserve the owner's right to appeal to Hennepin County.

Mr. Tyacke made a motion, seconded by Mrs. McCarthy, to maintain the valuation of 435 Lake Street West at \$643,000.00. The motion carried 5/0.

Assessor Distel noted that the owner of 1120 and 1200 Wayzata Boulevard had received his notice in the mail only one day prior and requested to be entered into the record so that he could appeal to Hennepin County.

Mrs. Anderson made a motion, seconded by Mr. Tyacke, to accept the appeal of 1120 and 1200 Wayzata Boulevard. The motion carried 5/0.

c. Adjourn Local Board of Appeal and Equalization Meeting

Mrs. McCarthy made a motion, seconded by Mrs. Anderson, to adjourn the Local Board of Appeal and Equalization meeting at 7:02 p.m.

AGENDA ITEM 2. City Council Meeting.

Mayor Willcox called the meeting to order at 7:07 p.m.

AGENDA ITEM 3. Roll Call.

Council Members present: Anderson, McCarthy, Mullin, and Tyacke. Also present: City Manager Nelson, Director of Planning and Building Gadow, Administrative Services Director Uram, Public Works Director Dudinsky, Police Chief Risvold, and City Attorney Schelzel.

AGENDA ITEM 4. Approve Agenda.

Mrs. Anderson made a motion, seconded by Mrs. McCarthy, to approve the agenda, as presented. The motion carried 5/0.

AGENDA ITEM 5. Public Forum – 15 Minutes (3 minutes per person).

a. Recognition of Bob Nash, Owner of the Barbers Inn

Mayor Willcox shared that the Council recognizes citizens from time to time and tonight the Council would recognize Bob Nash as an extraordinary citizen of Wayzata.

Jake Beard, Greg Rye, Chief Risvold, Don Scanlon, Chris Pierson, and Paul Webster each thanked Mr. Nash and described his many contributions to Wayzata.

Mayor Willcox thanked Mr. Nash for the roles he had played in Wayzata as a barber, a volunteer, and a caring human being. He then read the Proclamation recognizing Robert E. Nash and designated April 11, 2015 Bob Nash Day in Wayzata.

Mr. Nash thanked the Council and everyone in attendance.

The Council recessed at 7:37 p.m. and reconvened at 7:54 p.m.

b. Bushaway Road Construction Update

Trudy Richter, representative for Shafer Contracting Co., shared that McGinty Road and Eastman Lane would re-open in June. A current issue was that the mailboxes along Bushaway Road had to be removed, but house numbers were being installed per police request. She indicated there had been communication issues with the railroad. Ms. Richter discussed the Native American burial remains that were discovered at the intersection of County Road 101 and Breezy Point Road. An archeological study had been completed and an archaeologist was on site at all times. A mutually acceptable area had been established and would be checked for remains.

The Council asked a question relating to the utilities using common ductwork and issues with the high water table.

Mrs. Anderson shared an update on the Minnehaha Creek Watershed District who had given final approval for the work that they were doing. She also recognized Ron Anderson who volunteered his time and worked with their staff to increase the number of trees planted along the causeway.

c. Dig It Day

Pat Broyles, 212 Benton Avenue, shared that Saturday, May 16, 2015, had been set for Dig It Day. Volunteers were welcome and would meet at 8:30 a.m. at Public Works.

Mayor Willcox announced that a closed special meeting of the Council was held at 4:30 p.m. to conduct a performance evaluation of City Manager Heidi Nelson pursuant to Minnesota Statute Section 13D.05, Subdivision 3. He shared the positive conclusions from the meeting stating that Ms. Nelson exceeded expectations in all categories.

AGENDA ITEM 6. Consent Agenda.

Mr. Tyacke requested to pull Item 6.d. Consider Peavey Bridge Agreement – Amendment No. 1, from the consent agenda for discussion.

Mrs. Anderson made a motion, seconded by Mrs. McCarthy, to approve the consent agenda:

- a. Approval of Workshop Minutes of March 17, 2015 and Minutes of March 17, 2015
- b. Approval of Check Register
- c. Approval of Municipal Licenses
- d. ~~Consider Peavey Bridge Agreement Amendment No. 1~~
- e. Municipal licenses which received administrative approval (informational only)

The motion carried 5/0.

AGENDA ITEM 7. Public Hearing.

- a. **Consider Approval of an On-Sale Wine License and an On-Sale 3.2% Malt Liquor License for Anderson Franchise Investments Inc. dba "Peoples Organic Coffee and Wine Café"**

Ms. Nelson presented the request of Anderson Franchise Investments Inc. dba "Peoples Organic Coffee and Wine Café" for an on-sale wine license and on-sale 3.2% malt liquor license for People Organic Coffee and Wine Café, a restaurant located at 765 Lake Street East. The licensed premises would include the first floor indoor restaurant and a compact and contiguous outdoor patio. Staff recommended approval of both licenses as the applications were in order.

Mr. Willcox opened the public hearing at 8:15 p.m. There being no input, Mr. Willcox closed the public hearing at 8:15 p.m.

Mrs. Anderson made a motion, seconded by Mr. Tyacke, approving an On-Sale Wine License and On-Sale 3.2% Malt Liquor License for Anderson Franchise Investments Inc. dba "Peoples Organic Coffee and Wine Café" located at 765 Lake Street East. The motion carried 5/0.

AGENDA ITEM 8. New Business.

- a. **Consider Resolution No. 17-2015 151 Westwood Lane Two Lot Subdivision**

Mr. Gadow presented a request for concurrent preliminary and final plat subdivision approval for a new two-lot subdivision at 151 Westwood Lane from White Birch Properties and Development Group. The project would require the removal of the existing structure on the property and a subdivision of the parcel. Access would be through an existing private driveway that would be widened to 20 feet to meet State Fire Code requirements and would require approval of variances from the Subdivision Ordinance. Building plans were not currently available so approval should include a condition requiring future owners to submit building plans to the Planning Commission and Council for review prior to submitting building permits. Mr. Gadow presented the existing conditions survey, final plat, and tree inventory. He also noted that the Planning Commission had recommended approval.

The Council asked questions relating to the private roadway instead of a public road, the parkland dedication fee, and the Poling driveway.

Scott Roe, 5128 Bryant Avenue South, Minneapolis, stated that he had spoken with Mr. Poling about the driveway and was willing to work with him. There was not currently an easement.

The Council asked questions relating to a property buffer and construction time frame.

Mr. Tyacke made a motion, seconded by Mrs. Anderson, to Adopt Resolution No. 17-2015, Approving Concurrent Preliminary and Final Plat and Subdivision Variances at 151 Westwood Lane, with additional conditions to submit building plans to the Planning Commission and City Council and to resolve the easement for the Poling's driveway. The motion carried 5/0.

- b. **Consider On-Sale Intoxicating Liquor License including Sunday Sales for: Gianni's LLC dba "Gianni's Steakhouse"; McCormick Hospitality Group LLC dba "McCormick's"; and Sushi Fix LLC dba "Sushi Fix"**

Ms. Nelson reported that liquor licenses were normally approved on the Consent Agenda, but these were being considered in the Regular Agenda because of two or more violations.

Chief Risvold reported on the details of the three liquor license violations of Gianni's Steakhouse during the previous year.

Teri Huml, Gianni's Steakhouse, explained that these violations were situational and happened because of events. She expressed her appreciation of having a liquor license.

Chief Risvold reported on the details of the two liquor license violations of McCormick's during the previous year.

Tim McCormick, McCormick's, apologized for the violations and stated that he took them very seriously. Both violations were due to events and the restaurant had learned from these instances.

Chief Risvold reported on several incidents concerning the owner of Sushi Fix including a 2013 failed alcohol compliance check, three DWI's in 10 years, and a dispute between the owner and a patron where the police were called.

Enkhbileg Tserenbat, Sushi Fix, apologized for his actions and stated that he was working on becoming more responsible. He also expressed appreciation over the privilege to have a liquor license.

Staff recommended approval of the liquor licenses, but would note the violations and expect no violations in the following year. The Council encouraged all businesses to work with the City staff to find solutions especially in regard to special events.

Mr. Tyacke made a motion, seconded by Mr. Mullin, to approve On-Sale Intoxicating Liquor License including Sunday Sales for: Gianni's LLC dba "Gianni's Steakhouse", McCormick Hospitality Group LLC dba "McCormick's", and Sushi Fix LLC dba "Sushi Fix". The motion carried 5/0.

c. Consider Approving Year End Transfers

Mr. Uram explained that in 2013, the City adopted a Fund Balance Policy to establish a minimum fund balance of 40% for general fund operations and establish a process for the allocation of excess revenues at yearend. Staff anticipated that the General Fund would have excess revenues in 2014, allowing the City to transfer funds consistent with past practices or to fund other priority projects as determined by the Council. For 2014, a transfer of \$1,466,140 was possible compared to \$951,548 in 2013. There was a short-term deficit in the Street Improvement Fund that could be eliminated with a transfer of \$312,000.00. If that transfer was made, there was approximately \$1.15 million available for other projects. Staff suggested possible options for the remaining funds including Lake Effect, Pilot Parking Projects, Downtown Parking Ramp, Admin/Planning Intern, and Dock Master.

The Council discussed each of their priorities and suggested additional items including Telecommunication, Eastman Lane landscaping, Bushaway Road landscaping, and Contingency. The Council discussed whether to continue discussions in a workshop and how to conduct a survey of the Council for what each Member would like to allocate and then compile results.

Ms. Nelson noted that a Telecommunication Fund had been set up.

The Council directed staff to conduct a survey with total fund availability, priority projects, and how much money each project had been allocated.

Ms. Nelson asked if there was a consensus from the Council concerning the \$312,000.00 transfer to the Street Improvement Fund, as this would affect the next agenda item.

Mr. Tyacke made a motion, seconded by Mrs. McCarthy, to transfer \$312,000.00 to the Street Improvement Fund. The motion carried 5/0.

The Council discussed the Admin/Planning Intern and Dock Master noting that these items were continuing cost. Ms. Nelson discussed possible grants and other options for funding.

d. Consider Authorization to Obtain Bids for 2015 Street Maintenance Projects

Mr. Dudinsky reported that the Public Works Department was proposing that the following streets be considered for reconstruction as part of the City Street Project STR-2015-01: Beaver Dam Street, Edgewood Court, Ferndale Road South, Ferndale Road West, Gardner Street, and Bovey Road/Ferndale Woods. The project was designed by WSB and Associates and the engineer's estimate for the project was \$1,764,550.00. The project was proposed to be funded by the Street CIP, Stormwater CIP, and a Minnehaha Creek Watershed District Low Impact Development Grant. The project would start in late May, 2015 and be completed in October, 2015. The Council asked a question relating to oil prices.

Mrs. Anderson made a motion, seconded by Mrs. McCarthy, to approve the authorization to obtain bids for 2015 Street Maintenance Projects. The motion carried 5/0.

The Council discussed a request from residents on Beaver Dam Road for noise abatement. Mr. Dudinsky shared that a noise study had been completed by the Minnesota Department of Transportation 12 to 15 years ago. He shared the length of time and challenges for receiving Minnesota Department of Transportation funding, noting the four or five locations that were the lowest were on the list.

e. Consider Award of Bid for 2015 Sewer Lining Project

Mr. Dudinsky shared that the Wayzata sewer system was very old, but that it had been very cost effective and efficient to line the sewer system instead of total replacement. Public Works had received six bids on April 1, 2015, for the 2015 Sanitary Sewer Rehabilitation project. The project involved the lining of approximately 6,860 lineal feet of eight-inch clay sewer main in the Highlands neighborhood and on Bovey Road and Peavey Lane. The Sewer CIP had \$415,800.00 budgeted for the project. Staff recommended the low bidder, Insituform Tech USA, Inc. at \$156,578.00

As there was available funding, the Council suggested adding other areas of concern to this project. Mr. Dudinsky responded that it could be increased up to 20% without rebidding.

Mrs. Anderson made a motion, seconded by Mr. Tyacke, to award the bid for the 2015 Sewer Lining Project to Insituform Tech USA, Inc. at \$156,578.00, and give the staff the discretion to increase the project up to 20%. The motion carried 5/0.

AGENDA ITEM 4. Consent Agenda - continued.

d. Consider Peavey Bridge Agreement – Amendment No. 1

Mr. Tyacke stated concern over possible gaps in insurance. The report from Public Works stated the reason for the change was that the bridge was designed by SRF Consulting but the City was responsible for the design risk. Mr. Tyacke asked if SRF Consulting had a contract and whether it had professional liability insurance.

Attorney Schelzel replied that this particular contract was only removing the type of insurance that would not be applicable to those who were building the project, but he would confirm that SRF Consulting had liability coverage.

Mrs. Anderson made a motion, seconded by Mr. Tyacke to approve the Peavey Bridge Agreement – Amendment No. 1, subject to City Attorney review of the architectural and engineering contract with SRF Consulting for the bridge design and whether they have professional liability insurance coverage.

AGENDA ITEM 6. City Manager's Report and Discussion Items.

a. Update on Transient Docks

Ms. Nelson stated she hoped to finalize application with the Lake Minnetonka Conservation District for 15 additional transient docks.

b. Update on Downtown Parking

1 Ms. Nelson reported that downtown parking was moving forward. A meeting was scheduled with
2 the Widsten neighborhood on April 16, 2015 at 5:00 p.m. at the home of Chris and Jack
3 Morrison. The intent was to listen to the concerns of the neighborhood. Staff was also working
4 to set up a community engagement process.

5
6 **c. Update on DNR Trail**

7 Mrs. Anderson requested an update on the DNR trail project underneath the freeway. Mr.
8 Dudinsky reported that heavy rains last June had caused an erosion problem and a pipe under the
9 trail had collapsed. The DNR assessed the collapse and accepted responsibility. The pipe was
10 replaced, but the area was still fenced until vegetation was established.

11 Mrs. Anderson asked Mr. Dudinsky to look at the area for safety concerns because it was
12 steeper with jagged rocks.

13
14 **AGENDA ITEM 7. Public Forum Continued (if necessary).**

15 There were no comments.

16
17 **AGENDA ITEM 8. Adjournment.**

18 Mrs. Anderson made a motion, seconded by Mr. Tyacke to adjourn. There being no further
19 business, Mr. Willcox adjourned the meeting at 10:11 p.m.

20
21 Respectfully submitted,

22
23
24
25 Becky Malone
26 Deputy City Clerk

27
28 Drafted by Sarah Peterson
29 *TimeSaver Off Site Secretarial, Inc.*

***Check Detail Register©**

April 2015

		Check Amt	Invoice	Comment
10100 Anchor Bank				
Paid Chk#	098392	4/8/2015	AHMANN-MARTIN	
E 640-48000-361	General Liability Ins	\$1,525.81	131183	LIQ.LIAB.INS.
E 640-47000-361	General Liability Ins	\$1,600.00	131183	LIQ.LIAB.INS.
Total AHMANN-MARTIN		\$3,125.81		
Paid Chk#	098393	4/8/2015	AT&T MOBILITY	
E 101-41940-321	Telephone	\$618.71		CELL PHONE SERVICE
E 101-41940-321	Telephone	\$418.60		CELL PHONE SERVICE
Total AT&T MOBILITY		\$1,037.31		
Paid Chk#	098394	4/8/2015	AUSTIN, ANDY	
E 640-48000-341	General Promotions	\$300.00	4/23/15	BAR MUSIC 4/23/15
Total AUSTIN, ANDY		\$300.00		
Paid Chk#	098395	4/8/2015	BARCO MUNICIPAL PRODUCTS	
E 610-40000-210	Operating Supplies (GENERAL)	\$126.98	215140	UTILITY MARKING PAINT
E 620-40000-210	Operating Supplies (GENERAL)	\$126.98	215140	UTILITY MARKING PAINT
Total BARCO MUNICIPAL PRODUCTS		\$253.96		
Paid Chk#	098396	4/8/2015	BETH, GERALD O	
E 640-48000-341	General Promotions	\$175.00	4/14/15	BAR MUSIC 4/14/15
Total BETH, GERALD O		\$175.00		
Paid Chk#	098397	4/8/2015	BETH, GERALD O	
E 640-48000-341	General Promotions	\$175.00	4/21/15	BAR MUSIC 4/21/15
Total BETH, GERALD O		\$175.00		
Paid Chk#	098398	4/8/2015	BETH, GERALD O	
E 640-48000-341	General Promotions	\$175.00	4/28/15	BAR MUSIC 4/28/15
Total BETH, GERALD O		\$175.00		
Paid Chk#	098399	4/8/2015	BIFFS, INC.	
E 101-45200-415	Other Equipment Rentals	\$62.50	W556226	PARKS SERVICE
Total BIFFS, INC.		\$62.50		
Paid Chk#	098400	4/8/2015	BLUE CROSS AND BLUE SHIELD	
G 101-21706	Health Insurance	\$43,257.50		HEALTH INS.MAY 2015
Total BLUE CROSS AND BLUE SHIELD		\$43,257.50		
Paid Chk#	098401	4/8/2015	BROOKDALE CHRYSLER, JEEP,DODGE	
E 101-42100-404	Repairs/Maint - Machin/Equip	\$418.75	261743	SQUAD REPAIRS
Total BROOKDALE CHRYSLER, JEEP,DODGE		\$418.75		
Paid Chk#	098402	4/8/2015	CARISH, INC	
E 101-42200-210	Operating Supplies (GENERAL)	\$89.99	20150327	FD SUPPLIES
Total CARISH, INC		\$89.99		
Paid Chk#	098403	4/8/2015	CARQUEST OF WAYZATA	
E 101-43100-210	Operating Supplies (GENERAL)	\$10.20	6973-247953	SUPPLIES
Total CARQUEST OF WAYZATA		\$10.20		
Paid Chk#	098404	4/8/2015	CITY VIEW PLUMBING & HEATING	
E 101-41940-404	Repairs/Maint - Machin/Equip	\$227.36	42861	PW REPAIRS
Total CITY VIEW PLUMBING & HEATING		\$227.36		
Paid Chk#	098405	4/8/2015	CLAREY S SAFETY EQUIPMENT	
E 101-42200-240	Small Tools and Minor Equip	\$254.40		FD TOOLS

***Check Detail Register©**

April 2015

			Check Amt	Invoice	Comment
Total	CLAREY S SAFETY EQUIPMENT		\$254.40		
Paid Chk#	098406	4/8/2015	CLASSEY, KRISTIN		
E 235-40000-331	Mileage & Expense Account		\$23.24	REIMB.	MILEAGE
Total	CLASSEY, KRISTIN		\$23.24		
Paid Chk#	098407	4/8/2015	COMMERCIAL ASPHALT CO.		
E 430-40000-309	Contractual Services		\$1,089.33	150331	ASPHALT
Total	COMMERCIAL ASPHALT CO.		\$1,089.33		
Paid Chk#	098408	4/8/2015	CRABTREE COMPANIES		
E 630-40000-540	Equipment		\$1,849.00	131420	MV COPIER
E 630-40000-433	Dues, Licensing & Seminars		\$117.00	131421	MAINT.CONTRACT ON COPIER
Total	CRABTREE COMPANIES		\$1,966.00		
Paid Chk#	098409	4/8/2015	DISTEL, DANIEL		
E 101-41550-302	Consultants		\$3,496.00		MONTHLY ASSESSING
Total	DISTEL, DANIEL		\$3,496.00		
Paid Chk#	098410	4/8/2015	EIBENSTEINER, JIM		
E 620-40000-217	Uniforms		\$140.94	REIMB.	CLOTHING ALLOWANCE
E 610-40000-217	Uniforms		\$141.00	REIMB.	CLOTHING ALLOWANCE
Total	EIBENSTEINER, JIM		\$281.94		
Paid Chk#	098411	4/8/2015	ESS BROTHERS & SONS INC.		
E 670-40000-409	Maint services & Improv		\$148.50	UU1130	STORMSEWER RING
Total	ESS BROTHERS & SONS INC.		\$148.50		
Paid Chk#	098412	4/8/2015	FINANCE AND COMMERCE		
E 233-40000-499	Miscellaneous		\$159.03	742104721	DOCK PROJECT CONSTRUCTION BID AD
Total	FINANCE AND COMMERCE		\$159.03		
Paid Chk#	098413	4/8/2015	FOURTH JUDICIAL DISTRICT		
E 101-42100-350	Printing & Publishing		\$52.29	1518	PD CITATIONS
Total	FOURTH JUDICIAL DISTRICT		\$52.29		
Paid Chk#	098414	4/8/2015	GOPHER STATE ONE CALL		
E 610-40000-313	Permit Fees/Gopher State		\$87.15	133563	UTILITY LOCATES
E 620-40000-313	Permit Fees/Gopher State		\$87.15	133563	UTILITY LOCATES
Total	GOPHER STATE ONE CALL		\$174.30		
Paid Chk#	098415	4/8/2015	GRAINGER, INC.		
E 101-41940-210	Operating Supplies (GENERAL)		\$70.40	9706416535	SUPPLIES
Total	GRAINGER, INC.		\$70.40		
Paid Chk#	098416	4/8/2015	HD SUPPLY WATERWORKS, LTD		
E 610-40000-225	Repair & Maint - System		\$419.52	D658547	PARTS
E 610-40000-225	Repair & Maint - System		\$414.96	D658639	PARTS
E 670-40000-409	Maint services & Improv		\$124.74	D727454	PARTS
Total	HD SUPPLY WATERWORKS, LTD		\$959.22		
Paid Chk#	098417	4/8/2015	HENN.CNTY.ACCTG.SERVICES		
E 101-42120-308	Prisoner Care		\$186.82	1000059040	PRISONER PROCESSING
E 101-42100-323	Radio Units		\$786.87	1000059144	PD RADIO CONNECTION
Total	HENN.CNTY.ACCTG.SERVICES		\$973.69		
Paid Chk#	098418	4/8/2015	ISRAEL, DAN		
E 640-48000-341	General Promotions		\$300.00	4/25/15	BAR MUSIC 4/25/15
Total	ISRAEL, DAN		\$300.00		

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Paid Chk#	098419	4/8/2015	JOHN S AUTO ELECTRIC & REPAIR		
E 101-42100-404	Repairs/Maint - Machin/Equip		\$101.00	3/31/15	SQUAD REPAIRS
Total	JOHN S AUTO ELECTRIC & REPAIR		\$101.00		
Paid Chk#	098420	4/8/2015	JONES, REBECCA		
E 610-40000-210	Operating Supplies (GENERAL)		\$11.26	REIMB.	SUPPLIES
E 620-40000-210	Operating Supplies (GENERAL)		\$11.26	REIMB.	SUPPLIES
Total	JONES, REBECCA		\$22.52		
Paid Chk#	098421	4/8/2015	KILLMER ELECTRIC CO.,INC.		
E 101-45203-220	Repair/Maint Supply (GENERAL)		\$353.42	80082	BLVD.LIGHTING REPAIRS
E 101-45203-220	Repair/Maint Supply (GENERAL)		\$370.88	80083	BLVD.LIGHTING REPAIRS
Total	KILLMER ELECTRIC CO.,INC.		\$724.30		
Paid Chk#	098422	4/8/2015	LANO EQUIPMENT, INC.		
E 620-40000-415	Other Equipment Rentals		\$200.00	03-268181	STORM SEWER REPAIR-EQUIP.RENTAL
Total	LANO EQUIPMENT, INC.		\$200.00		
Paid Chk#	098423	4/8/2015	LEXISNEXIS RISK DATA		
E 101-42100-309	Contractual Services		\$33.00	121455020150	PD SERVICE
Total	LEXISNEXIS RISK DATA		\$33.00		
Paid Chk#	098424	4/8/2015	LHB, INC.		
E 430-40000-302	Consultants		\$1,857.50	130445.00-11	EASTMAN LANE/ROUNDAABOUT
Total	LHB, INC.		\$1,857.50		
Paid Chk#	098425	4/8/2015	LOFFLER COMPANIES, INC.		
E 409-40000-540	Equipment		\$3,171.00	1948685	COMPUTER FOR NEW ENG.
E 101-41500-311	Data Processing		\$2,911.76	1955512	NETWORK SUPPORT
E 409-40000-540	Equipment		\$115.00	CW40856	COMPUTER SETUP
Total	LOFFLER COMPANIES, INC.		\$6,197.76		
Paid Chk#	098426	4/8/2015	MACQUEEN EQUIPMENT, INC.		
E 620-40000-224	Repair & Maint - Motor Equip		\$369.53	2151751	PARTS
E 101-43100-220	Repair/Maint Supply (GENERAL)		\$63.91	2151810	PARTS
E 101-43100-220	Repair/Maint Supply (GENERAL)		\$40.33	2152254	PARTS
E 101-43100-220	Repair/Maint Supply (GENERAL)		\$55.65	2152296	PARTS
Total	MACQUEEN EQUIPMENT, INC.		\$529.42		
Paid Chk#	098427	4/8/2015	MANSFIELD OIL COMPANY		
E 101-49200-212	Motor Fuels		\$684.71	353104	FUEL
E 101-49200-212	Motor Fuels		\$1,023.96	353111	FUEL
E 101-49200-212	Motor Fuels		\$1,376.72	364445	FUEL
Total	MANSFIELD OIL COMPANY		\$3,085.39		
Paid Chk#	098428	4/8/2015	MARY DELAITTRE		
E 233-40000-302	Consultants		\$4,090.00	3/28/15	LAKE EFFECT
Total	MARY DELAITTRE		\$4,090.00		
Paid Chk#	098429	4/8/2015	METROPOLITAN COUNCIL		
E 620-40000-386	Other Utilities		\$36,867.42	0001043147	SEWER SERVICE
Total	METROPOLITAN COUNCIL		\$36,867.42		
Paid Chk#	098430	4/8/2015	MINNESOTA EQUIPMENT		
E 101-45200-212	Motor Fuels		\$97.62	P27999	SUPPLIES
E 101-45200-222	Repair & Maint - Equip		\$85.38	P28396	SUPPLIES
Total	MINNESOTA EQUIPMENT		\$183.00		
Paid Chk#	098431	4/8/2015	MN CNTY ATTORNEYS ASSOC.		

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E 101-42100-350	Printing & Publishing		\$58.00	18176120	PD SUPPLIES/FORMS
Total	MN CNTY ATTORNEYS ASSOC.		\$58.00		
Paid Chk# 098432	4/8/2015	MUNSON LAKES NUTRITION			
E 610-40000-217	Uniforms		\$28.33	0408980	PW UNIFORMS
E 620-40000-217	Uniforms		\$28.34	0408980	PW UNIFORMS
E 101-45200-217	Uniforms		\$36.00	0409300	PW UNIFORMS
E 101-43100-217	Uniforms		\$72.00	0409301	PW UNIFORMS
E 610-40000-217	Uniforms		\$46.67	0409305	PW UNIFORMS
E 620-40000-217	Uniforms		\$46.66	0409305	PW UNIFORMS
Total	MUNSON LAKES NUTRITION		\$258.00		
Paid Chk# 098433	4/8/2015	NORTHERN SAFETY TECHNOLOGY			
E 101-43100-220	Repair/Maint Supply (GENERAL)		\$138.64	38435	PARTS
Total	NORTHERN SAFETY TECHNOLOGY		\$138.64		
Paid Chk# 098434	4/8/2015	OFFICE DEPOT			
E 101-41100-210	Operating Supplies (GENERAL)		\$39.89	761290623001	SUPPLIES
E 101-41100-210	Operating Supplies (GENERAL)		\$22.90	761290727001	SUPPLIES
E 101-41500-200	Office Supplies (GENERAL)		\$25.38	761290727001	SUPPLIES
E 101-41500-200	Office Supplies (GENERAL)		\$10.99	761290728001	SUPPLIES
E 630-40000-200	Office Supplies (GENERAL)		\$18.85	762464444001	SUPPLIES
E 640-48000-200	Office Supplies (GENERAL)		\$90.03	762464444001	SUPPLIES
Total	OFFICE DEPOT		\$208.04		
Paid Chk# 098435	4/8/2015	OVSHAK, KATHY			
E 101-41500-331	Mileage & Expense Account		\$75.90	REIMB.	MILEAGE
Total	OVSHAK, KATHY		\$75.90		
Paid Chk# 098436	4/8/2015	PETERSON CEDARWORKS			
E 233-40000-499	Miscellaneous		\$1,820.00		LAKEFRONT CHAIRS
Total	PETERSON CEDARWORKS		\$1,820.00		
Paid Chk# 098437	4/8/2015	PETERSON, TODD			
E 101-42100-331	Mileage & Expense Account		\$11.00	REIMB.	MTG.MEAL
Total	PETERSON, TODD		\$11.00		
Paid Chk# 098438	4/8/2015	POPP TELECOM			
E 101-42100-309	Contractual Services		\$33.38	10011563	PD SERVICE AT LONG LAKE
Total	POPP TELECOM		\$33.38		
Paid Chk# 098439	4/8/2015	POST BOARD			
E 101-42100-433	Dues, Licensing & Seminars		\$540.00		OFFICER CERTIFICATION RENEWAL
Total	POST BOARD		\$540.00		
Paid Chk# 098440	4/8/2015	REYCRAFT, TOM			
E 640-48000-341	General Promotions		\$300.00	4/16/15	BAR MUSIC 4/16/15
Total	REYCRAFT, TOM		\$300.00		
Paid Chk# 098441	4/8/2015	RITE			
E 640-47000-433	Dues, Licensing & Seminars		\$164.93	10106	SUPPORT
Total	RITE		\$164.93		
Paid Chk# 098442	4/8/2015	SAFEASSURE CONSULTANTS INC.			
E 620-40000-433	Dues, Licensing & Seminars		\$507.50	865	PW SAFETY TRAINING
E 610-40000-433	Dues, Licensing & Seminars		\$507.50	865	PW SAFETY TRAINING
E 101-45200-433	Dues, Licensing & Seminars		\$1,015.00	865	PW SAFETY TRAINING
E 101-43100-433	Dues, Licensing & Seminars		\$1,015.00	865	PW SAFETY TRAINING

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Total	SAFEASSURE CONSULTANTS INC.		\$3,045.00		
Paid Chk#	098443	4/8/2015	SCHRUPP, WYATT		
E 620-40000-331	Mileage & Expense Account		\$82.80	MILEAGE	MILEAGE
Total	SCHRUPP, WYATT		\$82.80		
Paid Chk#	098444	4/8/2015	SMITH, BRANTON		
G 101-20300	Deposits Payable		\$380.00	REFUND	WATER USAGE PERMIT REFUND
R 610-00000-37130	Service to Other Cities		(\$93.45)	REFUND	WATER USAGE PERMIT REFUND
Total	SMITH, BRANTON		\$286.55		
Paid Chk#	098445	4/8/2015	STARY, MARK		
E 640-48000-341	General Promotions		\$300.00	4/11/15	BAR MUSIC 4/11/15
Total	STARY, MARK		\$300.00		
Paid Chk#	098446	4/8/2015	STARY, MARK		
E 640-48000-341	General Promotions		\$300.00	4/30/15	BAR MUSIC 4/30/15
Total	STARY, MARK		\$300.00		
Paid Chk#	098447	4/8/2015	STREICHER S		
E 101-42100-217	Uniforms		\$184.95	I1129915	PD UNIFORMS
E 101-42100-210	Operating Supplies (GENERAL)		\$123.89	I1144203	PD SUPPLIES
Total	STREICHER S		\$308.84		
Paid Chk#	098448	4/8/2015	TIME SAVER		
E 101-41100-302	Consultants		\$510.00	M21234	MTG. MINUTES
Total	TIME SAVER		\$510.00		
Paid Chk#	098449	4/8/2015	UPS STORE		
E 640-48000-210	Operating Supplies (GENERAL)		\$124.13	8552	BAR MENUS
E 101-45200-499	Miscellaneous		\$17.60	8812	EASTMAN LANE TRAIL MAP
Total	UPS STORE		\$141.73		
Paid Chk#	098450	4/8/2015	US BANK		
E 640-49100-621	Fiscal Agent s Fees		\$450.00	3934695	PAYING AGENT FEE
Total	US BANK		\$450.00		
Paid Chk#	098451	4/8/2015	VANDERHEIDEN, ROBERT		
E 101-42100-331	Mileage & Expense Account		\$123.43	REIMB.	MILEAGE, PARKING & MEALS
Total	VANDERHEIDEN, ROBERT		\$123.43		
Paid Chk#	098452	4/8/2015	VILLAGE CHEVROLET		
E 101-45200-222	Repair & Maint - Equip		\$134.10	699701	PARTS
Total	VILLAGE CHEVROLET		\$134.10		
Paid Chk#	098453	4/8/2015	WARNING LITES		
E 610-40000-415	Other Equipment Rentals		\$836.48	144926	TRAFFIC BARRICADES FOR WATERMAIN BREAK
Total	WARNING LITES		\$836.48		
Paid Chk#	098454	4/8/2015	WAYZATA CHAMBER OF COMMERCE		
E 640-47000-331	Mileage & Expense Account		\$25.00	6509	STATE OF CITY LUNCHEON
E 640-48000-331	Mileage & Expense Account		\$25.00	6509	STATE OF CITY LUNCHEON
E 101-41500-331	Mileage & Expense Account		\$25.00	6509	STATE OF CITY LUNCHEON
E 101-42200-331	Mileage & Expense Account		\$25.00	6509	STATE OF CITY LUNCHEON
E 101-41910-331	Mileage & Expense Account		\$25.00	6509	STATE OF CITY LUNCHEON
E 101-43100-331	Mileage & Expense Account		\$25.00	6509	STATE OF CITY LUNCHEON
E 235-40000-331	Mileage & Expense Account		\$25.00	6509	STATE OF CITY LUNCHEON
E 101-41100-331	Mileage & Expense Account		\$75.00	6509	STATE OF CITY LUNCHEON
Total	WAYZATA CHAMBER OF COMMERCE		\$250.00		

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Paid Chk# 098455	4/8/2015	WAYZATA ROTARY CLUB			
E 101-42100-331	Mileage & Expense Account		\$18.00	527	LUNCHEON
	Total WAYZATA ROTARY CLUB		\$18.00		
Paid Chk# 098456	4/8/2015	WBC HOLDINGS, INC.			
E 610-40000-499	Miscellaneous		\$8.02	12012	VEHICLE MAINT.
E 620-40000-499	Miscellaneous		\$7.51	12034	VEHICLE MAINT.
E 610-40000-499	Miscellaneous		\$7.51	12049	VEHICLE MAINT.
E 620-40000-499	Miscellaneous		\$7.51	12066	VEHICLE MAINT.
	Total WBC HOLDINGS, INC.		\$30.55		
Paid Chk# 098457	4/8/2015	WILLIAMS, CRAIG			
E 640-48500-130	Employer Paid Ins		\$300.00	MARCH 2015	HEALTH INS.REIMB. MARCH 2015
	Total WILLIAMS, CRAIG		\$300.00		
Paid Chk# 098458	4/8/2015	XCEL ENERGY			
E 101-41940-381	Electric Utilities		\$11.30		SERVICE
E 101-45203-381	Electric Utilities		\$311.20		SERVICE
E 640-48000-381	Electric Utilities		\$2,830.93		SERVICE
E 640-47000-381	Electric Utilities		\$1,213.25		SERVICE
E 610-40000-381	Electric Utilities		\$4,370.75		SERVICE
E 101-42200-381	Electric Utilities		\$370.26		SERVICE
E 101-41940-381	Electric Utilities		\$3,774.07		SERVICE
E 620-40000-381	Electric Utilities		\$1,064.01		SERVICE
	Total XCEL ENERGY		\$13,945.77		
Paid Chk# 098459	4/8/2015	ZAHLER, TONY			
E 640-48000-341	General Promotions		\$400.00	4/18/15	BAR MUSIC 4/18/15
	Total ZAHLER, TONY		\$400.00		
Paid Chk# 098460	4/8/2015	ZARNOTH BRUSH WORKS, INC.			
E 101-43100-220	Repair/Maint Supply (GENERAL)		\$460.00	0154071	PARTS
	Total ZARNOTH BRUSH WORKS, INC.		\$460.00		
Paid Chk# 098461	4/15/2015	A-1 OUTDOOR POWER, INC.			
E 101-45200-221	Equipment Parts		\$272.95	353682	PARTS
E 101-45200-221	Equipment Parts		(\$222.97)	354080	PARTS
E 101-45200-221	Equipment Parts		\$47.47	354081	PARTS
	Total A-1 OUTDOOR POWER, INC.		\$97.45		
Paid Chk# 098462	4/15/2015	AMERICAN FLAGPOLE & FLAG CO.			
E 101-41940-210	Operating Supplies (GENERAL)		\$56.40	118776	PARTS
	Total AMERICAN FLAGPOLE & FLAG CO.		\$56.40		
Paid Chk# 098463	4/15/2015	ANCHOR BANK-CARDMEMBER SERV.			
E 640-48000-200	Office Supplies (GENERAL)		\$94.19		BAR SUPPLIES
E 640-48000-499	Miscellaneous		\$25.00		BAR EMPL.AD
E 235-40000-433	Dues, Licensing & Seminars		\$10.00		COMM.CONF.
E 640-47000-340	Advertising		\$30.00		MAIL CHIMP SAVOUR BLAST
E 101-41100-210	Operating Supplies (GENERAL)		\$13.48		COUNCIL SUPPLIES
E 101-43300-331	Mileage & Expense Account		\$48.18		ENG.MTG.MEALS
E 101-41500-331	Mileage & Expense Account		\$110.50		MTG.MEALS
E 101-41500-200	Office Supplies (GENERAL)		\$113.93		SUPPLIES
E 101-41500-433	Dues, Licensing & Seminars		\$423.38		DOMAIN NAMES RENEWAL
E 101-41500-200	Office Supplies (GENERAL)		\$74.80		SUPPLIES
E 101-41910-433	Dues, Licensing & Seminars		\$85.00		PLANNING CONF.
	Total ANCHOR BANK-CARDMEMBER SERV.		\$1,028.46		

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Paid Chk#	098464	4/15/2015	CARQUEST OF WAYZATA		
E 101-43100-210	Operating Supplies (GENERAL)		\$9.88	6973-248064	SUPPLIES
	Total CARQUEST OF WAYZATA		\$9.88		
Paid Chk#	098465	4/15/2015	CENTERPOINT ENERGY		
E 101-42200-383	Fuel, oil and natural gas		\$829.01		SERVICE
E 101-41940-383	Fuel, oil and natural gas		\$9.50		SERVICE
E 640-48000-383	Fuel, oil and natural gas		\$1,245.30		SERVICE
E 101-41940-383	Fuel, oil and natural gas		\$2,424.20		SERVICE
E 610-40000-383	Fuel, oil and natural gas		\$148.07		SERVICE
E 640-47000-383	Fuel, oil and natural gas		\$311.32		SERVICE
	Total CENTERPOINT ENERGY		\$4,967.40		
Paid Chk#	098466	4/15/2015	CLASSIC CLEANING COMPANY		
E 101-41940-409	Maint services & Improv		\$1,345.00	22053	MONTHLY CLEANING
E 101-41940-409	Maint services & Improv		\$360.00	22054	PW MONTHLY CLEANING
	Total CLASSIC CLEANING COMPANY		\$1,705.00		
Paid Chk#	098467	4/15/2015	CRABTREE COMPANIES		
E 101-41500-404	Repairs/Maint - Machin/Equip		\$375.00	131698	EQUIP.REPAIRS
	Total CRABTREE COMPANIES		\$375.00		
Paid Chk#	098468	4/15/2015	DORSEY & WHITNEY LLP		
E 401-40000-304	Legal Fees		\$3,520.00	2008882	DOWNTOWN PARKING
E 401-40000-304	Legal Fees		\$1,758.76	2008883	DOWNTOWN PARKING
	Total DORSEY & WHITNEY LLP		\$5,278.76		
Paid Chk#	098469	4/15/2015	EXCEL DOCUMENT MGMT.		
E 630-40000-200	Office Supplies (GENERAL)		\$31.00	40753	COPY PAPER
E 101-42100-200	Office Supplies (GENERAL)		\$62.00	40753	COPY PAPER
E 101-41500-200	Office Supplies (GENERAL)		\$289.00	40753	COPY PAPER
	Total EXCEL DOCUMENT MGMT.		\$382.00		
Paid Chk#	098470	4/15/2015	GRAINGER, INC.		
E 101-41940-210	Operating Supplies (GENERAL)		\$827.48	9639227819	BACKFLOW PREVENTER
	Total GRAINGER, INC.		\$827.48		
Paid Chk#	098471	4/15/2015	GTS		
E 101-41500-433	Dues, Licensing & Seminars		\$500.00	CONF.REG.	CONF.REG.
	Total GTS		\$500.00		
Paid Chk#	098472	4/15/2015	HENN.CNTY.INFO.TECH.DEPT.		
E 620-40000-323	Radio Units		\$60.39	1000059155	PW RADIO CONNECTION
E 610-40000-323	Radio Units		\$61.00	1000059155	PW RADIO CONNECTION
E 101-43100-323	Radio Units		\$170.00	1000059155	PW RADIO CONNECTION
E 101-45200-323	Radio Units		\$170.00	1000059155	PW RADIO CONNECTION
	Total HENN.CNTY.INFO.TECH.DEPT.		\$461.39		
Paid Chk#	098473	4/15/2015	HOME DEPOT		
E 620-40000-240	Small Tools and Minor Equip		\$22.48		SUPPLIES
E 101-45200-210	Operating Supplies (GENERAL)		\$31.43		SUPPLIES
E 101-45200-210	Operating Supplies (GENERAL)		\$83.49		SUPPLIES
E 610-40000-240	Small Tools and Minor Equip		\$22.48		SUPPLIES
E 101-41940-401	Repairs/Maint Buildings		\$176.07		SUPPLIES
	Total HOME DEPOT		\$335.95		
Paid Chk#	098474	4/15/2015	J.H. LARSON COMPANY		
E 101-41940-401	Repairs/Maint Buildings		\$147.46	S100897275.0	BLDG.SUPPLIES

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Total J.H. LARSON COMPANY			\$147.46		
Paid Chk# 098475	4/15/2015	JOHN DEERE LANDSCAPES			
E 101-45200-210	Operating Supplies (GENERAL)	\$11.99	69130010		PARTS & SUPPLIES
E 101-45200-210	Operating Supplies (GENERAL)	(\$22.72)	69219875		PARTS & SUPPLIES
E 101-45200-210	Operating Supplies (GENERAL)	\$1.44	69849237		PARTS & SUPPLIES
E 101-45200-210	Operating Supplies (GENERAL)	\$5.87	70801932		PARTS & SUPPLIES
E 232-40000-210	Operating Supplies (GENERAL)	\$223.30	71312452		PARTS & SUPPLIES
Total JOHN DEERE LANDSCAPES		\$219.88			
Paid Chk# 098476	4/15/2015	KLAPPRICH, KURT			
E 101-45200-331	Mileage & Expense Account	\$29.16	REIMB.		MTG.MEAL
Total KLAPPRICH, KURT		\$29.16			
Paid Chk# 098477	4/15/2015	LOFFLER COMPANIES, INC.			
E 101-41500-540	Equipment	\$376.00	1959250		VIDEO ADAPTER
E 101-41500-311	Data Processing	\$115.00	CW40907		NETWORK SUPPORT
Total LOFFLER COMPANIES, INC.		\$491.00			
Paid Chk# 098478	4/15/2015	MADDEN, GALANTER, HANSEN, LLP			
E 101-41500-306	Personnel Expense	\$148.50	4/1/15		LABOR RELATIONS SERVICES
Total MADDEN, GALANTER, HANSEN, LLP		\$148.50			
Paid Chk# 098479	4/15/2015	MANSFIELD OIL COMPANY			
E 101-49200-212	Motor Fuels	\$2,215.70	396315		FUEL
Total MANSFIELD OIL COMPANY		\$2,215.70			
Paid Chk# 098480	4/15/2015	MENARD S			
E 101-45200-210	Operating Supplies (GENERAL)	\$13.38			SUPPLIES
Total MENARD S		\$13.38			
Paid Chk# 098481	4/15/2015	MICRO CENTER			
E 409-40000-540	Equipment	(\$42.98)	045-RE-55326		COMPUTER EQUIP
E 101-43100-200	Office Supplies (GENERAL)	\$57.98	5531792		OFFICE SUPPLIES
E 409-40000-540	Equipment	\$87.97	5531792		COMPUTER EQUIP
E 610-40000-499	Miscellaneous	\$19.96	5531796		PARTS
E 409-40000-540	Equipment	\$95.97	5532701		COMPUTER EQUIP
Total MICRO CENTER		\$218.90			
Paid Chk# 098482	4/15/2015	MN CHILD SUPPORT PAYMENT CENTE			
G 101-21710	County WH	\$235.00	0015104841		WITHHOLDING ORDER
Total MN CHILD SUPPORT PAYMENT CENTE		\$235.00			
Paid Chk# 098483	4/15/2015	MUNSON LAKES NUTRITION			
E 610-40000-217	Uniforms	\$28.00	0409570CP		PW UNIFORMS
E 620-40000-217	Uniforms	\$28.00	0409570CP		PW UNIFORMS
E 610-40000-217	Uniforms	\$14.00	0409994CP		PW UNIFORMS
E 620-40000-217	Uniforms	\$14.00	0409994CP		PW UNIFORMS
Total MUNSON LAKES NUTRITION		\$84.00			
Paid Chk# 098484	4/15/2015	NAPA AUTO PARTS-WATERTOWN			
E 101-43100-220	Repair/Maint Supply (GENERAL)	\$93.44	435693		PARTS
Total NAPA AUTO PARTS-WATERTOWN		\$93.44			
Paid Chk# 098485	4/15/2015	OFFICE DEPOT			
E 101-43100-200	Office Supplies (GENERAL)	\$135.53	763557774001		SUPPLIES
E 610-40000-200	Office Supplies (GENERAL)	\$67.76	763557774001		SUPPLIES
E 620-40000-200	Office Supplies (GENERAL)	\$67.77	763557774001		SUPPLIES
E 101-45200-200	Office Supplies (GENERAL)	\$135.53	763557774001		SUPPLIES

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Total OFFICE DEPOT			\$406.59		
Paid Chk# 098486	4/15/2015	POPP TELECOM			
E 101-41500-200	Office Supplies (GENERAL)		\$414.50	127719	PHONE SYSTEM EQUIP
E 101-41500-200	Office Supplies (GENERAL)		(\$50.00)	3357	PHONE SYSTEM EQUIP
Total POPP TELECOM			\$364.50		
Paid Chk# 098487	4/15/2015	POTTERS INDUSTRIES INC.			
E 101-43100-226	Sign Repair Materials		\$1,323.00	90969526	PARTS
Total POTTERS INDUSTRIES INC.			\$1,323.00		
Paid Chk# 098488	4/15/2015	RADERMACHER, KURT			
E 610-40000-331	Mileage & Expense Account		\$120.75	REIMB.	MILEAGE
Total RADERMACHER, KURT			\$120.75		
Paid Chk# 098489	4/15/2015	RAILROAD MANAGEMENT CO. III			
E 610-40000-499	Miscellaneous		\$160.78	318297	WATER LINE CROSSING LICENSE
Total RAILROAD MANAGEMENT CO. III			\$160.78		
Paid Chk# 098490	4/15/2015	SCOTT COUNTY			
G 101-20300	Deposits Payable		\$325.00	CASH BAIL	CASH BAIL 201300527
Total SCOTT COUNTY			\$325.00		
Paid Chk# 098491	4/15/2015	SILENT KNIGHT SECURITY GROUP			
E 101-41940-409	Maint services & Improv		\$144.00	87558	YEARLY MONITORING OF DEPOT
Total SILENT KNIGHT SECURITY GROUP			\$144.00		
Paid Chk# 098492	4/15/2015	SOUTHWEST NEWSPAPERS			
E 640-48000-340	Advertising		\$60.90	378113	LEGAL NOTICES
E 670-40000-499	Miscellaneous		\$33.25	8164	LEGAL NOTICES
E 101-41500-350	Printing & Publishing		\$61.75	8167	LEGAL NOTICES
E 620-49100-309	Contractual Services		\$76.00	8178	LEGAL NOTICES
E 620-49100-309	Contractual Services		\$80.75	8179	LEGAL NOTICES
E 101-41500-350	Printing & Publishing		\$114.00	8180	LEGAL NOTICES
E 101-41500-350	Printing & Publishing		\$28.50	8185	LEGAL NOTICES
E 101-41500-350	Printing & Publishing		\$42.75	8186	LEGAL NOTICES
E 233-40000-309	Contractual Services		\$80.75	8188	LEGAL NOTICES
E 101-41500-350	Printing & Publishing		\$47.50	8189	LEGAL NOTICES
E 101-41500-350	Printing & Publishing		\$47.50	8190	LEGAL NOTICES
Total SOUTHWEST NEWSPAPERS			\$673.65		
Paid Chk# 098493	4/15/2015	ST.PAUL, CITY OF			
E 430-40000-309	Contractual Services		\$375.45	8379	ASPHALT
Total ST.PAUL, CITY OF			\$375.45		
Paid Chk# 098494	4/15/2015	STAPLES BUSINESS SUPPLIES			
E 101-41500-200	Office Supplies (GENERAL)		\$132.88	3261875739	SUPPLIES
Total STAPLES BUSINESS SUPPLIES			\$132.88		
Paid Chk# 098495	4/15/2015	TRI-CITY			
E 610-40000-309	Contractual Services		\$30.00	3/1-3/21/15	WATER ANALYSIS
E 610-40000-309	Contractual Services		\$52.50	3/1-3/31/15	WATER ANALYSIS
Total TRI-CITY			\$82.50		
Paid Chk# 098496	4/15/2015	UPS STORE			
E 101-43100-220	Repair/Maint Supply (GENERAL)		\$38.13	9255	SUPPLIES
Total UPS STORE			\$38.13		
Paid Chk# 098497	4/15/2015	WATER CONSERVATION SERVICE			

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E 610-40000-405	Maint/Replac - System	\$381.63	5955	WATER LEAK LOCATE
Total WATER CONSERVATION SERVICE		\$381.63		
Paid Chk# 098498	4/15/2015	WSB & ASSOCIATES		
E 430-40000-302	Consultants	\$10,282.00	01204-390-3	2015 STREETS
Total WSB & ASSOCIATES		\$10,282.00		
Paid Chk# 098499	4/15/2015	XCEL ENERGY		
E 101-45203-381	Electric Utilities	\$4,021.73		SERVICE
Total XCEL ENERGY		\$4,021.73		
Paid Chk# 098500	4/16/2015	#12 CIDERHOUSE		
E 640-47000-253	Beer For Resale	\$120.00	4	BEER
Total #12 CIDERHOUSE		\$120.00		
Paid Chk# 098501	4/16/2015	ARCTIC GLACIER INC.		
E 640-47000-254	Soft Drinks/Mix For Resale	\$102.40	438509805	ICE RESALE
Total ARCTIC GLACIER INC.		\$102.40		
Paid Chk# 098502	4/16/2015	ARTISAN BEER COMPANY		
E 640-47000-253	Beer For Resale	\$346.80	3026103	BEER
Total ARTISAN BEER COMPANY		\$346.80		
Paid Chk# 098503	4/16/2015	BANK OF AMERICA		
E 101-42200-212	Motor Fuels	\$40.00		FUEL
E 101-42200-404	Repairs/Maint - Machin/Equip	\$68.70		REPAIRS
E 101-42200-210	Operating Supplies (GENERAL)	\$39.63		SUPPLIES
E 101-42200-210	Operating Supplies (GENERAL)	\$257.37		SUPPLIES
E 101-42200-499	Miscellaneous	\$92.16		MISC.MTG.MEALS
Total BANK OF AMERICA		\$497.86		
Paid Chk# 098504	4/16/2015	BAUHAUS BREW LABS		
E 640-47000-253	Beer For Resale	\$283.00	1324	BEER
Total BAUHAUS BREW LABS		\$283.00		
Paid Chk# 098505	4/16/2015	BELLBOY BAR SUPPLY CORP.		
E 640-47000-251	Liquor For Resale	\$619.00	47633800	LIQUOR
E 640-47000-259	Freight	\$12.75	47633800	FREIGHT
E 640-47000-259	Freight	\$18.45	47746700	FREIGHT
E 640-47000-251	Liquor For Resale	\$1,422.69	47746700	LIQUOR
E 640-47000-251	Liquor For Resale	\$378.40	47789100	LIQUOR
E 640-47000-210	Operating Supplies (GENERAL)	\$194.08	91826500	SUPPLIES
Total BELLBOY BAR SUPPLY CORP.		\$2,645.37		
Paid Chk# 098506	4/16/2015	BERNICK'S WINE		
E 640-47000-254	Soft Drinks/Mix For Resale	\$70.70	209988	MISC.BEV.
Total BERNICK'S WINE		\$70.70		
Paid Chk# 098507	4/16/2015	BERRY COFFEE COMPANY		
E 640-48000-254	Soft Drinks/Mix For Resale	\$170.95	M11570	COFFEE
E 640-48000-254	Soft Drinks/Mix For Resale	\$170.95	M5981	COFFEE
E 640-48000-254	Soft Drinks/Mix For Resale	(\$9.08)	M7423	COFFEE
Total BERRY COFFEE COMPANY		\$332.82		
Paid Chk# 098508	4/16/2015	BOURGET IMPORTS		
E 640-47000-259	Freight	\$3.00	125734	FREIGHT
E 640-47000-252	Wine For Resale	\$288.00	125734	WINE
Total BOURGET IMPORTS		\$291.00		

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Paid Chk# 098509	4/16/2015	CENTURY COLLEGE			
E 101-42200-434	Training and schools		\$790.00	00577420	FIRE TRAINING
	Total CENTURY COLLEGE		\$790.00		
Paid Chk# 098510	4/16/2015	COCA-COLA			
E 640-48000-254	Soft Drinks/Mix For Resale		\$755.92		MISC.BEV.
	Total COCA-COLA		\$755.92		
Paid Chk# 098511	4/16/2015	CULLIGAN-METRO			
E 640-48500-210	Operating Supplies (GENERAL)		\$102.45	1034067	SUPPLIES
	Total CULLIGAN-METRO		\$102.45		
Paid Chk# 098512	4/16/2015	DAHLHEIMER DISTRIBUTING CO.			
E 640-47000-253	Beer For Resale		(\$2.50)	106829	BEER
E 640-47000-253	Beer For Resale		\$120.00	107407	BEER
E 640-47000-253	Beer For Resale		\$96.00	107456	BEER
E 640-47000-253	Beer For Resale		\$1,011.60	107665	BEER
E 640-48000-253	Beer For Resale		\$165.00	108013	BEER
E 640-47000-253	Beer For Resale		\$424.60	1150360	BEER
E 640-48000-253	Beer For Resale		\$417.00	1150361	BEER
E 640-48000-253	Beer For Resale		\$297.00	1153615	BEER
	Total DAHLHEIMER DISTRIBUTING CO.		\$2,528.70		
Paid Chk# 098513	4/16/2015	DAY DISTRIBUTING			
E 640-48000-253	Beer For Resale		\$1,096.00	000424	BEER
E 640-48000-253	Beer For Resale		\$604.00	000562	BEER
E 640-47000-253	Beer For Resale		\$76.20	796436	BEER
	Total DAY DISTRIBUTING		\$1,776.20		
Paid Chk# 098514	4/16/2015	DOMACE VINO			
E 640-47000-259	Freight		\$2.00	9216	FREIGHT
E 640-47000-252	Wine For Resale		\$325.00	9216	WINE
	Total DOMACE VINO		\$327.00		
Paid Chk# 098515	4/16/2015	EXTREME BEVERAGE, LLC			
E 640-47000-254	Soft Drinks/Mix For Resale		\$104.70	261-1384	MISC.BEV.
	Total EXTREME BEVERAGE, LLC		\$104.70		
Paid Chk# 098516	4/16/2015	G & K SERVICES			
E 640-48500-217	Uniforms		\$46.51	1013838032	SUPPLIES & UNIFORMS
E 640-48500-210	Operating Supplies (GENERAL)		\$89.95	1013838032	SUPPLIES & UNIFORMS
E 640-48000-210	Operating Supplies (GENERAL)		\$40.05	1013838032	SUPPLIES & UNIFORMS
	Total G & K SERVICES		\$176.51		
Paid Chk# 098517	4/16/2015	GRAPE BEGINNINGS, INC.			
E 640-47000-252	Wine For Resale		\$88.00	179607	WINE
E 640-47000-259	Freight		\$2.25	179607	FREIGHT
E 640-47000-259	Freight		\$11.25	180068	FREIGHT
E 640-47000-252	Wine For Resale		\$742.00	180068	WINE
	Total GRAPE BEGINNINGS, INC.		\$843.50		
Paid Chk# 098518	4/16/2015	HENN.CNTY.INFO.TECH.DEPT.			
E 101-42200-323	Radio Units		\$962.58	1000059143	FD RADIO CONNECTION
E 101-42200-323	Radio Units		(\$122.10)	OA-963	FD RADIO CONNECTION
	Total HENN.CNTY.INFO.TECH.DEPT.		\$840.48		
Paid Chk# 098519	4/16/2015	HENNEPIN TECHNICAL COLLEGE			
E 101-42200-434	Training and schools		\$25.00	00332195	FD TRAINING

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Total HENNEPIN TECHNICAL COLLEGE			\$25.00		
Paid Chk# 098520	4/16/2015	HOHENSTEINS INC.			
E 640-47000-253	Beer For Resale	\$387.75	755042		BEER
Total HOHENSTEINS INC.		\$387.75			
Paid Chk# 098521	4/16/2015	INDOOR BOAT STORAGE, INC.			
E 101-42200-404	Repairs/Maint - Machin/Equip	\$330.60	41570		FD BOAT STORAGE
Total INDOOR BOAT STORAGE, INC.		\$330.60			
Paid Chk# 098522	4/16/2015	JJ TAYLOR DISTRIBUTING OF MN			
E 640-47000-253	Beer For Resale	\$997.40	2346658		BEER
E 640-47000-253	Beer For Resale	\$1,200.04	2346704		BEER
E 640-48000-253	Beer For Resale	\$163.20	2353402		BEER
E 640-48000-253	Beer For Resale	\$422.40	2353459		BEER
Total JJ TAYLOR DISTRIBUTING OF MN		\$2,783.04			
Paid Chk# 098523	4/16/2015	JOHNSON BROS.-ST.PAUL			
E 640-47000-252	Wine For Resale	\$91.45	5127516		WINE
E 640-47000-259	Freight	\$2.44	5127516		FREIGHT
E 640-47000-251	Liquor For Resale	\$528.54	5127517		LIQUOR
E 640-47000-259	Freight	\$4.88	5127517		FREIGHT
E 640-47000-254	Soft Drinks/Mix For Resale	\$119.97	5127518		MISC.MIX
E 640-47000-259	Freight	\$1.22	5127519		FREIGHT
E 640-47000-251	Liquor For Resale	\$120.00	5127519		LIQUOR
E 640-47000-252	Wine For Resale	\$287.85	5127520		WINE
E 640-47000-259	Freight	\$6.10	5127520		FREIGHT
E 640-47000-252	Wine For Resale	\$286.65	5128851		WINE
E 640-47000-259	Freight	\$4.88	5128851		FREIGHT
E 640-47000-259	Freight	\$1.22	5128852		FREIGHT
E 640-47000-251	Liquor For Resale	\$177.70	5128852		LIQUOR
E 640-47000-252	Wine For Resale	\$105.20	5128853		WINE
E 640-47000-259	Freight	\$2.44	5128853		FREIGHT
E 640-47000-252	Wine For Resale	\$191.80	5132599		WINE
E 640-47000-259	Freight	\$6.10	5132599		FREIGHT
E 640-47000-251	Liquor For Resale	\$568.70	5132600		LIQUOR
E 640-47000-259	Freight	\$5.09	5132600		FREIGHT
E 640-47000-252	Wine For Resale	\$170.45	5132601		WINE
E 640-47000-259	Freight	\$3.66	5132601		FREIGHT
E 640-47000-251	Liquor For Resale	\$433.65	5133898		LIQUOR
E 640-47000-259	Freight	\$4.88	5133898		FREIGHT
E 640-47000-259	Freight	\$7.32	5133899		FREIGHT
E 640-47000-252	Wine For Resale	\$304.00	5133899		WINE
E 640-47000-252	Wine For Resale	(\$2.80)	519666		WINE
E 640-47000-252	Wine For Resale	(\$6.42)	519932		WINE
E 640-47000-251	Liquor For Resale	(\$18.79)	519933		LIQUOR
E 640-47000-252	Wine For Resale	(\$7.33)	519934		WINE
E 640-47000-252	Wine For Resale	(\$7.33)	519935		WINE
E 640-47000-252	Wine For Resale	(\$7.33)	519936		WINE
Total JOHNSON BROS.-ST.PAUL		\$3,386.19			
Paid Chk# 098524	4/16/2015	KARLSBURGER FOODS, INC.			
E 640-48500-255	FOODIngredients For Resale	\$173.10	000375782		FOOD
Total KARLSBURGER FOODS, INC.		\$173.10			
Paid Chk# 098525	4/16/2015	M.AMUNDSON LLP			
E 640-47000-256	MISC.MDSE.RESALE	\$835.78	193299		CIGARS & CIGARETTES
Total M.AMUNDSON LLP		\$835.78			

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Paid Chk#	098526	4/16/2015	MAIN STREET BAKERY		
E 640-48500-255	FOOD	Ingredients For Resale	\$95.93	259051	FOOD
E 640-48500-255	FOOD	Ingredients For Resale	(\$22.42)	2592	FOOD
E 640-48500-255	FOOD	Ingredients For Resale	\$91.28	262204	FOOD
E 640-48500-255	FOOD	Ingredients For Resale	\$199.74	262333	FOOD
E 640-48500-255	FOOD	Ingredients For Resale	\$73.19	262396	FOOD
E 640-48500-255	FOOD	Ingredients For Resale	(\$3.85)	2624	FOOD
E 640-48500-255	FOOD	Ingredients For Resale	\$83.94	262469	FOOD
E 640-48500-255	FOOD	Ingredients For Resale	\$95.38	262514	FOOD
E 640-48500-255	FOOD	Ingredients For Resale	(\$3.85)	2628	FOOD
Total MAIN STREET BAKERY			\$609.34		
Paid Chk#	098527	4/16/2015	MN UC FUND		
E 640-48000-140	Unemployment Comp (GENERAL		\$1,005.34	07970965	UNEMPLOYMENT KITCHEN
Total MN UC FUND			\$1,005.34		
Paid Chk#	098528	4/16/2015	NETWORK BUSINESS SUPPLIES		
E 640-47000-210	Operating Supplies (GENERAL)		\$462.37	98379	SUPPLIES
Total NETWORK BUSINESS SUPPLIES			\$462.37		
Paid Chk#	098529	4/16/2015	NORTH EMS EDUCATION		
E 101-42200-434	Training and schools		\$100.00	TC129	FD TRAINING
Total NORTH EMS EDUCATION			\$100.00		
Paid Chk#	098530	4/16/2015	NORTHWESTERN FRUIT COMPANY		
E 640-48500-255	FOOD	Ingredients For Resale	\$407.35	809262	FOOD
E 640-48000-251	Liquor For Resale		\$11.40	809262	LIQUOR
E 640-48500-255	FOOD	Ingredients For Resale	\$531.05	809470	FOOD
E 640-48000-253	Beer For Resale		\$5.40	809470	BEER
E 640-48000-253	Beer For Resale		\$2.70	809668	BEER
E 640-48500-255	FOOD	Ingredients For Resale	\$380.40	809668	FOOD
E 640-48500-255	FOOD	Ingredients For Resale	\$19.90	809736	FOOD
Total NORTHWESTERN FRUIT COMPANY			\$1,358.20		
Paid Chk#	098531	4/16/2015	PAKOR INC.		
E 630-40000-210	Operating Supplies (GENERAL)		\$217.70	8012362	SUPPLIES
Total PAKOR INC.			\$217.70		
Paid Chk#	098532	4/16/2015	PAUSTIS & SONS		
E 640-47000-251	Liquor For Resale		\$99.96	8493136	LIQUOR
E 640-47000-259	Freight		\$2.25	8493136	FREIGHT
E 640-47000-259	Freight		\$11.25	8493140	FREIGHT
E 640-47000-252	Wine For Resale		\$699.00	8493140	WINE
E 640-48000-252	Wine For Resale		\$335.25	8493148	WINE
E 640-48000-252	Wine For Resale		\$188.75	8494102	WINE
E 640-47000-252	Wine For Resale		\$504.00	8494103	WINE
E 640-47000-259	Freight		\$10.00	8494103	FREIGHT
E 640-48000-252	Wine For Resale		(\$64.25)	8494303	WINE
Total PAUSTIS & SONS			\$1,786.21		
Paid Chk#	098533	4/16/2015	PHILLIPS WINES & SPIRITS		
E 640-47000-252	Wine For Resale		(\$49.22)	210240	WINE
E 640-47000-252	Wine For Resale		(\$1.22)	2761837	WINE
E 640-47000-259	Freight		\$7.32	2765330	FREIGHT
E 640-47000-251	Liquor For Resale		\$714.03	2765330	LIQUOR
E 640-48000-251	Liquor For Resale		\$421.36	2768640	LIQUOR
E 640-47000-259	Freight		\$4.88	2768813	FREIGHT
E 640-47000-252	Wine For Resale		\$381.00	2768813	WINE

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E 640-47000-259	Freight		\$4.88	2768814	FREIGHT
E 640-47000-251	Liquor For Resale		\$452.15	2768814	LIQUOR
E 640-47000-254	Soft Drinks/Mix For Resale		\$43.17	2768815	MISC.MIX
Total PHILLIPS WINES & SPIRITS			\$1,978.35		
Paid Chk# 098534	4/16/2015	PINNACLE DISTRIBUTING			
E 640-47000-254	Soft Drinks/Mix For Resale		\$120.00	23990	MISC.BEV.
Total PINNACLE DISTRIBUTING			\$120.00		
Paid Chk# 098535	4/16/2015	PLUNKETT S PEST CONTROL			
E 640-48000-409	Maint services & Improv		\$82.48	4007534	SERVICE
Total PLUNKETT S PEST CONTROL			\$82.48		
Paid Chk# 098536	4/16/2015	QUALITY SERVICE, INC.			
E 640-48500-404	Repairs/Maint - Machin/Equip		\$133.00	30429	OVEN REPAIRS
E 640-48500-404	Repairs/Maint - Machin/Equip		\$76.00	30435	OVEN REPAIRS
Total QUALITY SERVICE, INC.			\$209.00		
Paid Chk# 098537	4/16/2015	SOUTHERN WINE & SPIRITS OF MN			
E 640-47000-259	Freight		\$1.25	1270602	FREIGHT
E 640-47000-252	Wine For Resale		\$88.00	1270602	WINE
E 640-47000-251	Liquor For Resale		\$2,535.50	1270603	WINE
E 640-47000-259	Freight		\$20.52	1270603	FREIGHT
E 640-47000-252	Wine For Resale		\$340.00	1270604	WINE
E 640-47000-259	Freight		\$7.50	1270604	FREIGHT
E 640-47000-259	Freight		\$1.25	1272844	FREIGHT
E 640-47000-251	Liquor For Resale		\$229.67	1272845	LIQUOR
E 640-47000-259	Freight		\$0.42	1272845	FREIGHT
E 640-47000-259	Freight		\$3.75	1272846	FREIGHT
E 640-47000-252	Wine For Resale		\$288.00	1272846	WINE
E 640-47000-252	Wine For Resale		\$274.00	1272847	WINE
E 640-47000-259	Freight		\$3.75	1274847	FREIGHT
Total SOUTHERN WINE & SPIRITS OF MN			\$3,793.61		
Paid Chk# 098538	4/16/2015	SPENCER JANITORIAL			
E 640-48000-409	Maint services & Improv		\$2,248.22	10313	MONTHLY CLEANING
Total SPENCER JANITORIAL			\$2,248.22		
Paid Chk# 098539	4/16/2015	STRATEGIC EQUIPMENT AND			
E 640-48500-210	Operating Supplies (GENERAL)		(\$32.73)	142567	KITCHEN SUPPLIES
E 640-48500-210	Operating Supplies (GENERAL)		(\$67.79)	142575	KITCHEN SUPPLIES
E 640-48500-210	Operating Supplies (GENERAL)		\$711.72	2392120	KITCHEN SUPPLIES
E 640-48000-341	General Promotions		\$65.44	2392120	PROMO SUPPLIES
Total STRATEGIC EQUIPMENT AND			\$676.64		
Paid Chk# 098540	4/16/2015	SUNBURST CHEMICALS, INC.			
E 640-48500-210	Operating Supplies (GENERAL)		\$1,255.21	0342096	KITCHEN SUPPLIES
Total SUNBURST CHEMICALS, INC.			\$1,255.21		
Paid Chk# 098541	4/16/2015	SYSCO MINNESOTA			
E 640-48500-255	FOODIngredients For Resale		(\$25.64)	3473401PU	FOOD
E 640-48500-255	FOODIngredients For Resale		\$205.60	501161306CB	FOOD
E 640-48500-255	FOODIngredients For Resale		(\$116.82)	501301339Z	FOOD
E 640-48500-255	FOODIngredients For Resale		\$3,078.04	504011059	FOOD
E 640-48500-255	FOODIngredients For Resale		\$2,818.97	504031325	FOOD
E 640-48500-210	Operating Supplies (GENERAL)		\$91.22	504031325	KITCHEN SUPPLIES
E 640-48000-251	Liquor For Resale		\$36.36	504031325	LIQUOR
E 640-48000-251	Liquor For Resale		\$59.50	504060899	LIQUOR

***Check Detail Register©**

April 2015

		Check Amt	Invoice	Comment
E 640-48000-210	Operating Supplies (GENERAL)	\$45.78	504060899	SUPPLIES
E 640-48000-342	Promotions - Food/Drinks	\$27.93	504060899	PROMO FOOD
E 640-48500-255	FOODIngredients For Resale	\$1,986.00	504060899	FOOD
E 640-48000-210	Operating Supplies (GENERAL)	\$45.78	504080772	SUPPLIES
E 640-48500-255	FOODIngredients For Resale	\$2,760.80	504080772	FOOD
E 640-48000-342	Promotions - Food/Drinks	\$56.10	504080772	PROMO FOOD
Total SYSCO MINNESOTA		\$11,069.62		
Paid Chk# 098542	4/16/2015	T.D. ANDERSON INC.		
E 640-48000-409	Maint services & Improv	\$115.00	938947	BEER LINES CLEANED
Total T.D. ANDERSON INC.		\$115.00		
Paid Chk# 098543	4/16/2015	THORPE DISTRIBUTING CO.		
E 640-47000-253	Beer For Resale	\$49.30	00701670	BEER
E 640-47000-253	Beer For Resale	(\$0.09)	701577	BEER
E 640-47000-253	Beer For Resale	\$49.20	885144	BEER
E 640-48000-253	Beer For Resale	\$475.00	885145	BEER
E 640-48000-253	Beer For Resale	\$71.65	885146	BEER
E 640-47000-253	Beer For Resale	\$1,841.50	885147	BEER
E 640-48000-253	Beer For Resale	\$555.00	886622	BEER
E 640-47000-253	Beer For Resale	\$35.70	886624	BEER
E 640-47000-253	Beer For Resale	\$4,205.58	886626	BEER
E 640-48000-253	Beer For Resale	\$197.10	888054	BEER
E 640-48000-253	Beer For Resale	(\$5.00)	888055	BEER
Total THORPE DISTRIBUTING CO.		\$7,474.94		
Paid Chk# 098544	4/16/2015	TOLL GAS & WELDING SUPPLY		
E 640-48000-210	Operating Supplies (GENERAL)	\$69.75	40024795	SUPPLIES
Total TOLL GAS & WELDING SUPPLY		\$69.75		
Paid Chk# 098545	4/16/2015	VERIZON WIRELESS		
E 101-42200-323	Radio Units	\$12.01	9742581782	SERVICE
Total VERIZON WIRELESS		\$12.01		
Paid Chk# 098546	4/16/2015	WAYZATA CHAMBER OF COMMERCE		
E 640-47000-433	Dues, Licensing & Seminars	\$315.00	6426	STORE 2015 DUES
Total WAYZATA CHAMBER OF COMMERCE		\$315.00		
Paid Chk# 098547	4/16/2015	WAYZATA LIONS		
E 640-48000-340	Advertising	\$75.00	3/31/15	PLACEMAT AD
Total WAYZATA LIONS		\$75.00		
Paid Chk# 098548	4/16/2015	WINE COMPANY		
E 640-47000-252	Wine For Resale	\$604.00	389031	WINE
E 640-47000-259	Freight	\$8.40	389031	FREIGHT
E 640-47000-252	Wine For Resale	\$280.00	389299	WINE
E 640-47000-252	Wine For Resale	\$192.00	389715	WINE
E 640-47000-259	Freight	\$4.20	389715	FREIGHT
Total WINE COMPANY		\$1,088.60		
Paid Chk# 098549	4/16/2015	WINE MERCHANT		
E 640-48000-252	Wine For Resale	\$452.88	7024226	WINE
E 640-47000-252	Wine For Resale	\$1,624.00	7024263	WINE
E 640-47000-259	Freight	\$12.30	7024263	FREIGHT
E 640-47000-252	Wine For Resale	\$936.00	7024567	WINE
E 640-47000-259	Freight	\$3.66	7024567	FREIGHT
E 640-47000-259	Freight	\$2.44	7025240	FREIGHT
E 640-47000-252	Wine For Resale	\$157.25	7025240	WINE
				CC_04212015

***Check Detail Register©**

April 2015

			Check Amt	Invoice	Comment
Total WINE MERCHANT			\$3,188.53		
Paid Chk# 098550	4/16/2015	WIRTZ BEVERAGE MN BEER			
E 640-48000-253	Beer For Resale	\$466.00	1090385676	BEER	
E 640-47000-253	Beer For Resale	\$1,478.45	1090385932	BEER	
E 640-48000-253	Beer For Resale	\$730.00	1090389158	BEER	
E 640-47000-253	Beer For Resale	(\$64.50)	2090121892	BEER	
Total WIRTZ BEVERAGE MN BEER		\$2,609.95			
Paid Chk# 098551	4/16/2015	WIRTZ BEVERAGE MN WINE & SPIRI			
E 640-47000-259	Freight	\$4.35	1080308536	FREIGHT	
E 640-47000-251	Liquor For Resale	\$820.00	1080308536	LIQUOR	
E 640-47000-252	Wine For Resale	\$288.00	1080308537	WINE	
E 640-47000-259	Freight	\$2.90	1080308537	FREIGHT	
E 640-47000-251	Liquor For Resale	\$896.51	1080308538	LIQUOR	
E 640-47000-254	Soft Drinks/Mix For Resale	\$51.96	1080308538	MISC.BEV.	
E 640-47000-259	Freight	\$10.63	1080308538	FREIGHT	
E 640-47000-252	Wine For Resale	\$723.75	1080309880	WINE	
E 640-47000-259	Freight	\$2.90	1080309880	FREIGHT	
Total WIRTZ BEVERAGE MN WINE & SPIRI		\$2,801.00			
Paid Chk# 098552	4/16/2015	Z WINES USA LLC			
E 640-47000-259	Freight	\$2.50	13825	FREIGHT	
E 640-47000-252	Wine For Resale	\$144.00	13825	WINE	
Total Z WINES USA LLC		\$146.50			
10100 Anchor Bank		\$243,158.79			

Fund Summary

<u>10100 Anchor Bank</u>	
101 GENERAL FUND	\$88,508.24
232 CEMETARY	\$223.30
233 LAKFRONT IMPROVE	\$6,149.78
235 CABLE TV	\$58.24
401 PERM IMPROVEMENT	\$5,278.76
409 EQUIP REVOLVING	\$3,426.96
430 STREET CIP	\$13,604.28
610 WATER FUND	\$8,019.61
620 SEWER FUND	\$39,897.00
630 MOTOR VEHICLE	\$2,233.55
640 LIQUOR	\$75,452.58
670 STORMWATER	\$306.49
	\$243,158.79

4/21/2015
THE FOLLOWING 2015 MUNICIPAL LICENSES
WERE APPROVED ADMINISTRATIVELY

2015 Special Event/Itinerant Food License - Wayzata Art Experience - June 28 & 29,2015	
Simply Nuts & More	Chanhassen, MN

**WAYZATA POLICE DEPARTMENT
ACTIVITY REPORT
MARCH, 2015**

Warrant

Reported: 03-31-2015 1718

27 year old male was arrested on an outstanding warrant. He paid cash bail on scene and was released with a court date.

Addresses Involved

Brown Rd N & Orchard Lane, Long Lake, MN

Names Involved

(Arrested) Stuurmans, John Hawley (Age:27)

Arrest

Reported: 03-31-2015 1001

54 year old male from Plymouth was arrested on probable cause for a theft that occurred in Wayzata.

Addresses Involved

600 Rice St E, Wayzata MN

Names Involved

(Arrested) Frolichman, William Allen (Age:54)

Fire

Reported: 03-30-2015 1902

Report of a possible grass fire. Area checked, no fire.

Addresses Involved

Central Ave N & Hwy 12, Wayzata, MN

Theft

Reported: 03-30-2015 1357

Report of person who left without paying their bill. Loss \$114.

Addresses Involved

700 block of Mill St E, Wayzata, MN

Theft

Reported: 03-30-2015 0954

Report of identity theft. No loss at this time.

Addresses Involved

500 block of Dexter Dr, Long Lake, MN

Open Door

Reported: 03-29-2015 1808

While checking businesses, officer found rear loading ramp door partially open. Officer checked building and found employees inside working on a vehicle.

Addresses Involved

2200 block of Daniels St, Long Lake, MN

Theft of Vehicle

Reported: 03-28-2015 1120

Report of a theft of a vehicle. Owner located vehicle. Unfounded.

Addresses Involved

900 block of Rice St E, Wayzata, MN 55391

Theft

Reported: 03-27-2015 0957

Report of identity theft. No loss at this time.

Addresses Involved

100 block of Benton Ave N, Wayzata, MN

Fire **Reported:** 03-27-2015 0223

Report of a mattress fire. Fire Department extinguished fire and vented house.

Addresses Involved

500 block of Virginia Ave, Long Lake, MN

Fraud **Reported:** 03-26-2015 1510

Report of an attempted phone scam. No loss at this time.

Addresses Involved

200 block of Waycliffe N, Wayzata, MN

Warrant **Reported:** 03-26-2015 1238

26 year old male from Plymouth arrested on an outstanding felony warrant.

Addresses Involved

600 block of Lake Street E, Wayzata, MN 55391

Names Involved

(Arrested) Lindgren, Brandon Mathews (Age:26)

Suspicious **Reported:** 03-25-2015 1631

Report of a suspicious male in the area. Area checked, unable to locate.

Addresses Involved

400 block of Dexter Dr, Long Lake, MN 55356

Suspicious **Reported:** 03-25-2015 0155

Officer observed an occupied vehicle in the parking lot of a closed business. Male was searching dumpsters.

Advised and sent on his way.

Addresses Involved

1100 block of Wayzata Blvd E, Wayzata, MN 55391

Theft **Reported:** 03-24-2015 1616

Report of a theft of a wallet. Loss \$130.

Addresses Involved

100 block of Wayzata Blvd W, Wayzata, MN 55391

Theft **Reported:** 03-24-2015 1326

Report of identity theft. Loss approximately \$1100.

Addresses Involved

100 block of Harrington Dr, Long Lake, MN 55356 USA

Theft **Reported:** 03-24-2015 0900

Report of a theft. Loss approximately \$4.

Addresses Involved

1300 block of Wayzata Blvd E, Wayzata, MN 55391

Suspicious **Reported:** 03-23-2015 1255

Report of a suspicious male and female. Male and female left the area prior to calling police.

Addresses Involved

16100 block of Holdridge Road W, Wayzata, MN 55391 USA

Domestic Assault **Reported:** 03-22-2015 0620

Charges pending for 5th degree domestic assault.

Addresses Involved

300 block of Glenmoor La, Long Lake, MN

Suspicious**Reported:** 03-22-2015 0520

Report of a suspicious vehicle that pulled into caller's driveway and then neighbor's driveway and then left. Area checked, unable to locate.

Addresses Involved

300 block of Park St, Wayzata, MN

Fire**Reported:** 03-21-2015 2259

Report of a vehicle fire. No vehicle fire. Small recreational fire in area. Unfounded.

Addresses Involved

500 block of Broadway Avenue N, Wayzata, MN

Suspicious**Reported:** 03-21-2015 2115

Report of a suspicious male running up street. Male was a valet running back to business. Unfounded.

Addresses Involved

Broadway Ave N & Wayzata E, Wayzata, MN

Theft**Reported:** 03-21-2015 2016

Report of a theft of two signs from inside a business. Loss \$100.

Addresses Involved

1100 block of Wayzata Blvd E, Wayzata, MN

Theft**Reported:** 03-21-2015 1912

Report of a theft of jewelry. Loss approximately \$28,000.

Addresses Involved

100 block of Grove La E, Wayzata, MN

Suspicious**Reported:** 03-21-2015 0235

Report of a suspicious female knocking on doors. Female left prior to officer arrival. Area checked, unable to locate.

Addresses Involved

100 block of Gleason Lake Rd, Wayzata, MN

DWI**Reported:** 03-20-2015 2114

25 year old male from Maple Plain arrested for driving while under the influence of alcohol. Tested .11

Addresses Involved

Superior Blvd & Circle A Drive S, Wayzata, MN 55391

Names Involved

(Arrested) Lahti, Nicholas Mark (Age:25)

Fire**Reported:** 03-19-2015 0006

Report of a dumpster fire. Fire was extinguished.

Addresses Involved

1300 block of Wayzata Blvd E, Wayzata, MN 55391

Suspicious**Reported:** 03-18-2015 1351

Report of three suspicious males in business. Area checked, unable to locate.

Addresses Involved

1100 block of Wayzata Blvd E, Wayzata, MN 55391

Suspicious**Reported:** 03-18-2015 1340

Report of a male asking people for money. Male was given money for bus fare and advised.

Addresses Involved1100 block of Wayzata Blvd E, Wayzata, MN 55391

Domestic**Reported:** 03-18-2015 0006

Report of a male/female verbal domestic dispute.

Addresses Involved300 block of Glenmoor La, Long Lake, MN

DWI**Reported:** 03-17-2015 2048

50 year old female from Eden Prairie arrested for driving while under the influence of alcohol. Tested .12

Addresses Involved

Superior Blvd & Rice St, Wayzata, MN 55391

Names Involved(Arrested) Lund, Vickie Jean (Age:50)

Theft**Reported:** 03-17-2015 1704

Report of a theft of a three wheel bike with a basket. Loss \$300.

Addresses Involved1400 block of Wayzata Blvd, Wayzata, MN 55391

Theft**Reported:** 03-17-2015 1103

Report of a phone scam. Loss \$730.

Addresses Involved200 block of Barry Ave S, Wayzata, MN 55391

Open Door**Reported:** 03-16-2015 2225

Report of an open gate. Nothing suspicious found. Gate was secured.

Addresses Involved800 block of Lake Street E, Wayzata, MN 55391 USA

Tampering with Motor Vehicle**Reported:** 03-16-2015 1403

Report of tampering with motor vehicle windows. No damage to vehicle.

Addresses Involved100 block of Glenbrook Rd N, Wayzata, MN 55391

Disturbance**Reported:** 03-15-2015 2227

Report of loud music. Music was playing but was not loud. Resident was advised of complaint and agreed to turn music down.

Addresses Involved600 block of Wayzata Blvd, Wayzata, MN 55391

Theft**Reported:** 03-15-2015 1850

Report of a theft of cigarettes. Loss \$85.

Addresses Involved2400 block of Industrial Blvd W, Long Lake, MN 55356

Harassment**Reported:** 03-15-2015 1719

Report of harassment due to on-going neighbor dispute.

Addresses Involved600 block of Wayzata Blvd E, Wayzata, MN 55391

Suspicious**Reported:** 03-15-2015 0542

Officer observed a suspicious occupied vehicle. Driver stopped to listen to the radio and smoke a cigarette. Advised.

Addresses Involved

100 block of Bushaway Road, Wayzata, MN 55391 USA

Domestic/Warrant Arrest**Reported:** 03-14-2015 1828

Report of a verbal domestic between a male and female. Female had two outstanding warrants. Female paid cash bail on scene and was released.

Addresses Involved

300 block of Brown Rd N, Long Lake, MN

Names Involved

(Arrested) Anderson, Briana Kay (Age:21)

Alcohol**Reported:** 03-13-2015 0005

Report of an unconscious male on the sidewalk. Male and female were intoxicated. Female was transported home. Male was transported to hospital.

Addresses Involved

700 block of Lake St, Wayzata, MN 55391

Harassment**Reported:** 03-12-2015 1355

Report of a harassing communications. Female was advised to cease contact.

Addresses Involved

200 block of Glenbrook Road N, Wayzata, MN 55391

Domestic Assault**Reported:** 03-11-2015 2310

Charges pending against a male and female for domestic assault.

Addresses Involved

600 block of Harmony Cir, Wayzata, MN

Harassment**Reported:** 03-11-2015 1357

Report of harassing communications.

Addresses Involved

100 block of Inglewood Street, Long Lake, MN 55356 USA

Theft**Reported:** 03-11-2015 1330

Report of a theft by dishonored check. Loss \$2900.

Addresses Involved

2000 block of Wayzata Blvd W, Long Lake, MN 55356

Suspicious**Reported:** 03-10-2015 1834

Report of a suspicious vehicle parked on the street. Vehicle had mechanical issue. Driver had a tow en route.

Addresses Involved

100 block of Benton Ave N, Wayzata, MN

Suspicious**Reported:** 03-10-2015 1440

Report of a suspicious vehicle that pulled into driveway and then immediately left.

Addresses Involved

300 block of Park Street, Wayzata, MN 55391

Disturbance **Reported:** 03-09-2015 1927

Report of construction noise. Two construction workers were advised.

Addresses Involved

500 block of Harrington Rd, Wayzata, MN 55391 USA

Suspicious **Reported:** 03-09-2015 1555

Report of a suspicious green Toyota vehicle driving past construction site and filming site.

Addresses Involved

300 block of Margaret Circle, Wayzata, MN 55391 USA

Suspicious **Reported:** 03-09-2015 1304

Report of a suspicious vehicle in area. Area checked, unable to locate.

Addresses Involved

Hwy 12 & Wayzata W, Wayzata, MN

Suspicious **Reported:** 03-09-2015 0053

Report of a suspicious male loitering in business. Male was having car issues.

Assisted with getting his car running.

Addresses Involved

2400 block of Industrial Blvd, Long Lake, MN 55356

Suspicious **Reported:** 03-08-2015 2213

Officer observed a suspicious occupied vehicle in lot. Driver ran out of gas and had help on the way.

Addresses Involved

1900 block of Wayzata Blvd W, Long Lake, MN 55356 USA

Disturbance **Reported:** 03-08-2015 1054

Report of two males pushing each other outside. Both males left prior to officer arrival.

Addresses Involved

1100 block of Wayzata Blvd E, Wayzata, MN 55391

Suspicious **Reported:** 03-07-2015 1935

Report of a suspicious vehicle parked in driveway. Vehicle belonged to homeowner.

Addresses Involved

1200 block of Tealwood Pl, Long Lake, MN

Animal **Reported:** 03-07-2015 1135

Report of a person being bit by a small dog.

Addresses Involved

100 block of Promenade Ave, Wayzata, MN

Fire **Reported:** 03-07-2015 0928

Report of heavy smoke due to a chimney fire. Fire was contained to chimney.

Addresses Involved

800 Lake St E, Wayzata, MN 55391

Open Door **Reported:** 03-07-2015 0359

Officer observed an open garage door at the business. Nothing suspicious found. Door was secured.

Addresses Involved

400 block of Lake Street E, Wayzata, MN 55391 USA

Theft from Vehicle**Reported:** 03-06-2015 1633

Report of a theft of catalytic converter from a vehicle. Loss approximately \$200.

Addresses Involved100 block of Wayzata Blvd, Wayzata, MN

Theft**Reported:** 03-04-2015 1514

Report of a theft. This case is under investigation.

Addresses Involved500 block of Indian Mound, Wayzata, MN

Theft**Reported:** 03-04-2015 1058

Report of a theft. Loss \$3.

Addresses Involved1300 block of Wayzata Blvd E, Wayzata, MN 55391

Disturbance**Reported:** 03-03-2015 2240

Report of a car alarm sounding. Area checked, unable to locate.

Addresses Involved200 block of Chicago Avenue N, Wayzata, MN

Disturbance**Reported:** 03-03-2015 2236

Report of a loud high pitched noise in the neighborhood. Noise was coming from a wind driven fan. Owner advised.

Addresses Involved300 block of Russell La, Long Lake, MN

Suspicious**Reported:** 03-03-2015 0128

Report of a suspicious occupied vehicle. Male was sleeping in back of vehicle. Male was advised.

Addresses Involved2400 block of Industrial Blvd W, Long Lake, MN 55356

Suspicious**Reported:** 03-02-2015 2303

Report of suspicious flickering lights in wooded area. Area checked, nothing suspicious located.

Addresses Involved100 block of Central Ave S, Wayzata, MN 55391

Theft**Reported:** 03-02-2015 1325

Report of a theft of a log splitter. Loss \$1500.

Addresses Involved2000 block of Wayzata Blvd, Wayzata, MN 55391 USA

Disturbance**Reported:** 03-01-2015 1429

Report of a verbal altercation between 4 individuals. Situation mediated.

Addresses Involved600 block of Wayzata Blvd E, Wayzata, MN

TRAFFIC – MARCH, 2015

CITATIONS	102
WRITTEN WARNINGS	10
VERBAL WARNINGS	43

Description	Mar 2015
MISSING ANIMAL	3
FOUND ANIMAL	3
FOUND PROPERTY	7
ABANDONED VEHICLE	1
PIMV	4
PDMV	12
H & R PDMV	2
FALL/CUT	10
ANIMAL BITE	1
Single Family Home Fire	1
Business/Commercial/Industrial Fire	1
Vehicle Fire	1
Grass/Brush Fire	1
Structure/Object Fire	1
FIRE ALARM	7
HAZ ROAD CONDITION	6
RR Crossing Hazard	1
SUICIDE ATTEMPT	1
SUICIDE THREAT	1
OTHER MEDICAL	46
72 Hour Hold/Emergency Admission	2
WELFARE CHECK - ADULT	6
WELFARE CHECK - JUV	2
MENTAL HEALTH ISSUE	2
INFO REC'D	4
VERBAL DOMESTIC	3
CIVIL MATTER	7
DISTURBANCE/FIGHT/LOUD PARTY/HARASSMENT	12
SUSPICION	28
OPEN DOOR/WINDOW	3
SCAM/FRAUD ATTEMPT	1
MISC. JUVENILE PROBLEM	3
DRIVING/TRAFFIC COMPLAINT	20
PARKING COMPL	4
HOUSE/BUSINESS CHECKS	18
RECORD CHECKS	14

FIREARM PERMIT	4
HC SHERIFFS PERMIT TO CARRY	2
LIQUOR LICENSE CHECKS/PERMIT	14
ANIMAL COMPLAINT/CHECK	4
ANIMAL IMPOUND	1
DOG LICENSE ISSUED	7
PATROL REQUEST	2
POLICE ESCORT/STAND-BY	1
ADULT PROTECTION ASSIST	7
FINGERPRINTS	4
MOTORIST ASSIST/STALL	15
UTILITY PROBLEM	2
PUBLIC ASSIST	15
LOCKOUT	6
BUSINESS ALARM	24
HOME ALARM	11
911 HANG-UP	15
ASSIST OTHER DEPT	10
WARRANT/ATTEMPT/ARREST	3
TRAFFIC CONTROL / DIRECT ENFORCEMENT	10
TRANSPORT	1
CASE FOLLOW UP	2
CARWASH/CAR WORK	1
PUBLIC RELATIONS	5
VOID	5
Cancel/No Contact	1
Sex Offender/POR Info/Checks	1
ASLT 5-FEAR BODILY HARM-NO WEAP-ADLT-ACQ	1
DOM ASLT-MS-INFLT BODILY HARM-HANDS-AD-FAM	1
DOM ASLT-MS-INFLT BODILY HARM-HANDS-CH-FAM	2
TRAF-ACC-M-4TH DEG DWI-UI ALCOHOL-MV	2
THEFT-MORE 35000-FE-BUILDING-OTH PROP	1
THEFT-OVER 5000DLRS FE-BLDG-OTHER PROPERTY	1
THEFT-1001-5000 DLRS FE-YARDS-OTHER PROPERTY	1
THEFT-500 OR LESS MS-BLDG-MONEY	1
THEFT-500 OR LESS MS-BLDG-SERVICES	1
THEFT-500 OR LESS MS-BLDG-OTH PROP	4
THEFT-500 OR LESS MS-YARDS-OTH PROP	1
THEFT-500 OR LESS MS-MTR VEHICLE-OTH PROP	1
THEFT-FE-BY CHECK-2501-19999	1
THEFT-GM-THEFT BY SWINDLE OR TRICK-501-2500	1
THEFT-GM-IDENTITY THEFT-501-2500	1
THEFT-MS-IDENTITY THEFT-UNK LOSS	2

2014	2015 Jan	2015 Feb	2015 March	2015
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BUILDING CONSTRUCTION

NUMBER OF BLDG. PERMITS	197	31	31	14	76
PROJECT VALUE	\$71,316,194.31	\$6,247,783.00	\$4,904,067.00	\$1,187,329.00	\$12,339,179.00
BUILDING PERMIT FEE	\$398,821.84	\$43,717.70	\$39,064.50	\$9,752.40	\$92,534.60
PLAN CHECK FEE	\$239,736.80	\$24,974.46	\$18,449.82	\$5,435.87	\$48,860.15

EXTERIOR REPAIR

NUMBER OF PERMITS	69	1	3	2	6
PROJECT VALUE	\$868,852.35	\$2,271.00	\$47,943.00	\$11,285.00	\$61,499.00
PERMIT FEE	\$15,457.53	\$ 88.50	\$ 835.50	\$ 231.50	\$1,155.50

MECHANICAL

NUMBER OF PERMITS	213	18	26	25	69
PROJECT VALUE	\$6,434,508.61	235,538.00	345,809.25	402,931.26	\$984,278.51
PERMIT FEE	\$108,666.50	4,704.00	6,755.52	7,092.14	\$18,551.66

PLUMBING

NUMBER OF PERMITS	193	27	24	22	73
PROJECT VALUE	\$4,316,761.00	\$178,389.00	\$132,780.00	\$204,295.00	\$515,464.00
PERMIT FEE	\$75,280.16	\$3,721.20	\$2,779.30	\$4,133.89	\$10,634.39

TOTAL # OF PERMITS	672	77	84	63	224
TOTAL INCOME	\$837,962.83	\$77,205.86	\$67,884.64	\$26,645.80	\$171,736.30

NUMBER OF INSPECTIONS

BUILDING	1061	89	109	100	298
EXTERIOR	86	1	1	0	2
HVAC	471	45	44	48	137
PLUMBING	401	48	62	55	165
OTHER	6	1	0	0	1
TOTAL # OF INSPECTIONS	2027	184	216	203	603

RENTAL HOUSING INSPECTIONS

INSPECTIONS	119	7	26	30	63
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CITY OF WAYZATA



PLANNING DEPARTMENT

MEMORANDUM

To: City Council Members
From: Bryan Gadow, Director of Planning and Building
Date: April 15, 2015
Re: Section Foreman's House – Historic Structures Report

Background

In March of 2010, the City Council approved a resolution (Resolution 08-2010, [Attachment B](#)) of support for a grant application with the Minnesota Arts and Cultural Heritage Fund Legacy Grant for a historical context study of the Wayzata Section Foreman's House (the "House") located at 738 Lake Street, collaboratively with the Wayzata Historical Society (WHS). The purpose of the historical context study was to begin the process of preparing background information for a potential state-level National Register of Historic Places nomination for the House with the Minnesota Historic Preservation Office (SHPO), and to better understand the feasibility of restoring the House.

Staff and WHS completed the application in 2010, and were successful in receiving \$7,000 in grant funds to complete a Historic Context Study on the House by the Hess, Roise and Company (included as part of [Attachment A](#)). Staff and WHS requested a preliminary evaluation of the eligibility of the House for placement of the National Register, and the Minnesota Historical Society replied with some additional items that needed further research on the history of the structure and the past alterations to the House.

The next step in the process is to conduct a Historic Assessment Report/Reuse Study to physically evaluate the building to determine its current condition and what options may be available for its future reuse. The reuse of the House was included as a key element of the City's Lake Effect planning discussions over the past two years. To this end, WHS applied for and received a \$10,000 grant from the Burlington Northern Santa Fe (BNSF) Railway Foundation to offset the cost of the Historic Structures Report/Reuse Study ([Attachment C](#)). In September of 2014, the City Council approved WHS to contract with Mr. Charles Libby of Miller Dunwiddie to complete the Historic Structures Report/Reuse Study for the House. Mr. Libby and his team have completed their report, and are requesting City Council review ([Attachment A](#)).

Policy Discussion Item

The City Council should consider whether to direct Staff to continue with the state-level National Register of Historic Places nomination after the completion of the Historic Structures Report/Reuse Study. As a point of comparison, the City's Historic Depot was placed on the state-level National Register of Historic Places in 1981.

Recommendation

Staff recommends adoption of the Historic Structures Report and direction to continue discussions with the Minnesota Historical Society regarding placement of the House on the National Register.

Additional Information Regarding the National Register of Historic Places

Intro

- National Park Service administers the National Register of Historic Places.
- National Register is the official federal list of districts, sites, building, structures, and objects significant in American history, architecture, archeology, engineering, and culture.¹
- Properties on list have significance to a community, state, or the nation.
- Examples range from National (Gettysburg), State (Fort Snelling), Local (Wayzata Depot)

Benefits

- Eligibility for certain tax provisions and federal and state grant opportunities, when funds are available.

Restrictions

- No federal restrictions if no federal monies attached to property (i.e. private property owners could make any changes to the property).
- However, if property is also placed on the state register, then Minnesota State Historic Preservation Office (SHPO) may have other restrictions on what changes can be done to the property.
- For example, the rules of the Minnesota Environmental Quality Board (EQB) require preparation of an Environmental Assessment Worksheet (EAW) by the responsible unit of government (in this case the City of Wayzata) for any proposed demolition or the moving of a property that is listed on the National Register.²

Other Considerations³

- Properties are removed from the National Register only if they lose the qualities they had at the time of listing.
- Properties are automatically removed from the Register if they have been moved.
- Properties on the National Register are not exempt from state and local building codes, but may receive special consideration under State Building Code at discretion of the local building official.
- If a National Register building is open to the public, the Americans with Disabilities Act (ADA) calls for the building to meet basic levels of accessibility for people with disabilities. While the law requires the removal of certain barriers, it does have special provisions for historic structures where changes would destroy a building's significant historic features.

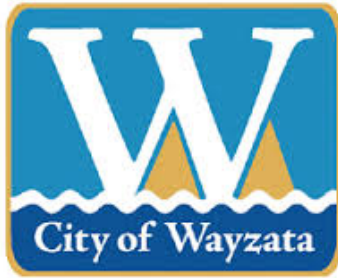
Attachments

- Attachment A: Miller Dunwidde Historic Structures Report
- Attachment B: Resolution 08-2010
- Attachment C: BNSF Grant Award Letter

¹ National Park Service. 2010. *Frequently Asked Questions*. Accessed at: <http://www.nps.gov/nr/faq.htm#restrictions>.

² Minnesota State Historic Preservation Office. 2010. *The National Register of Historic Places Program*. Accessed at: <http://www.mnhs.org/shpo/nrhp/program.htm>.

³ Minnesota State Historic Preservation Office. 2010. *Frequently Asked Question*. Accessed at: <http://www.mnhs.org/shpo/nrhp/faq.htm>



Historic Assessment of the

Wayzata Section House



April 10, 2015

City of Wayzata
738 East Lake Street
Wayzata, Minnesota

DRAFT

HISTORIC STRUCTURES REPORT
FOR THE

WAYZATA SECTION HOUSE

PREPARED FOR
THE WAYZATA HISTORICAL SOCIETY
AND
THE CITY OF WAYZATA
WAYZATA, MINNESOTA

With Participation by:

Sue Sorrentino, WHS
Heidi Nelson, City of Wayzata
Bryan Gadow, City of Wayzata
The Wayzata City Council
Michael Koop, Minnesota Historical Society

PREPARED BY:

Miller Dunwiddie Architecture, Inc.
123 North Third Street, Suite 104
Minneapolis, MN 55401

Melissa Christenson Ekman, AIA
Elise Kelly, Assoc. AIA
Chuck Liddy, FAIA

April 10, 2015

This project has been financed with funds provided to the Wayzata Historical Society by the BNSF Railway Foundation.



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Appendices:

- A. A National Register Assessment, prepared by Hess, Roise and Company, June 2011
- B. Excerpts from: Lake Effect, Wayzata, Final Draft March 2014, pages 20-21 and 52-53

DRAFT

The Wayzata Section House is located within the central business district of Wayzata, Minnesota on Lake Minnetonka. It is currently owned by the City of Wayzata and is not currently listed on the National Register of Historic Places.

According to research, it was originally constructed in 1902 to accommodate the new Section Foreman for the expanding Great Northern Railroad. While most of documents have suggested that Section Foremen and their families lived in this house, it is unknown whether the crews were also housed here.

The building is constructed of wood frame exterior and interior walls, with a poured concrete basement and foundation added later. It was originally a rectangular, two-story building with two rooms on each level. In 1943, the house underwent a large addition which added four more rooms on the first level, including a restroom. In 1962, the railroad sold the property to a private owner. It was later sold to the City of Wayzata.

Based on selective demolition and visual surveying, it appears that the construction of the house supports the research that was completed previously noting a 1902 date of construction. However, the first addition appears to be in 1943 when the house was put on a concrete foundation. The second addition was completed in 1962.

The northern two rooms of the first level and the second level rooms above appear to be what was constructed originally. The first level rooms directly to the south, including the bathroom, laundry, bedroom and a portion of the living room, were added in 1943. It appears that all of the windows have been replaced. Later in 1962, the living room was extended to the south and the front porch was added.

Based on the previous research, the house was determined eligible for listing in the National Register of Historic Places. It is recommended that if listing is pursued, the period of significance range from when the house was originally constructed in 1902 to 1962 which is when the house was sold by the railroad to a private party.

INTRODUCTION

In October of 2014, the City of Wayzata and the Wayzata Historical Society retained Miller Dunwiddie Architecture, Inc. (MDA) to review the existing conditions of the Great Northern Section House (Section House) located on the waterfront of Lake Minnetonka in Wayzata, MN. The property is currently owned by the City of Wayzata.

In reviewing the existing conditions, interior selective demolition was performed in order to determine the composition of the exterior walls and determine what remains of the original structure and what was later added. This report supplements the preliminary National Register Assessment prepared by Hess, Roise and Company. In 2011 specifically, MDA was requested to provide the following:

- **Measured Drawings and Record Photography:** Collect and review historic documents/photographs, as well as, prepare measured drawings and photographic documentation to portray the current condition of the property. The measured drawings include plans and elevations depicting the existing conditions while also noting the original structure and additions.
- **General Evaluation of Conditions:** Evaluate the physical condition of the building and document the condition of its features, materials, and spaces in addition to determining what remains of the original structure and what was added later. This required selective demolition, – i.e. opening up walls to try to determine the history of the house's construction and its current condition.
- **Structural Evaluation:** Evaluate and note any conditions that cause concern and warrant further study by a structural engineer.
- **Suggest National Register of Historic Places (Register) Treatment Approach: (Preservation, Rehabilitation, Restoration or Reconstruction)** based upon the intended uses of the property, present a recommended treatment and recommended techniques for exterior and interior work.

METHODOLOGY

The methods of evaluation for the Section House began with the collection of background information from the City of Wayzata and Hess, Roise and Company. This information included historical research and sample or pattern plans of other Section Houses built around the same era as Wayzata's Section House. MDA used the pattern plans as a guide when reviewing the existing conditions to determine where selective demolition should occur.

Existing Conditions Survey

An existing conditions survey was performed to document the physical spaces, architectural elements and to assess the current condition of materials and systems, along with noting key construction date ranges. Existing condition photographs are included in this report. In conjunction with historic research, this condition assessment helps determine historic integrity of the building and various changes made over time.

Measured Drawings

Measured drawings for the building were prepared by MDA using laser and tape measuring devices. Dimensions obtained were then used to create scaled AutoCAD drawings. The scaled plans and elevations serve as an important analytical tool for highlighting dates of construction and the base for proposed treatment plans. They also serve as a documentation record of the building's design and current configuration.

LOCATION OF PROPERTY

The Section House at 738 East Lake Street of Wayzata, MN sits hidden by trees and vegetation on the northern shore of Wayzata Bay, Lake Minnetonka. It lies on a narrow strip of land between the lake and a single Burlington Northern & Santa Fe (BNSF) railroad track. Although the property is located downtown near Wayzata's main commercial corridor, the Section House is out of view and only accessible by a private, narrow lane at the southeast corner of the public parking lot. The lane is gated, crosses the tracks and turns past a modern storage building and small dock before reaching the residence.

The Section House is immediately adjacent to a storm water management pond to the east and Lake Minnetonka to the south; and to the north, the original entrance is within feet of the tracks. A few blocks to the west is the historic Great Northern Depot at 402 East Lake Street, which dates from 1904-1905.

For the purpose of this report and associated building drawings, the slightly off-axis plan will be rotated to show the façade facing the lake as the south façade. All other facades will be respectively noted.

SUMMARIZED HISTORICAL BACKGROUND AND CONTEXT¹

Shortly after it was founded in 1854, the City of Wayzata strongly relied on the attraction of Lake Minnetonka and the new railroad link to Minneapolis which brought a new form of economic vitality: tourism. In 1905, the newly erected downtown depot known as Station No. A24 accommodated both passengers and freights. This was popular for many decades but soon had to compete with the Twin City Rapid Transit Company's streetcar line in 1914 and, later, cars and trucks. This led to a decline in railroad traffic and ultimately the discontinuation of passenger service to Wayzata in 1958.

During the early and busy years of the Wayzata railroad, the operations required a variety of buildings, facilities, and staff. Some of the buildings and facilities necessary included the depot, a large dock, a 50,000-gallon wood water tank with a pump house, coal shed, tool house, a "box car body bunk house" and a Section House for maintenance crews and the Section Foreman. The occupation of Section Foreman was of high rank and responsibility. They were in charge of maintaining their section (up to 6 miles) of track with a crew.

¹ Summarized from the following source: Roise, Charlene, "Great Northern Section House 738 East Lake Street, Wayzata," A National Register Assessment, June 2011, prepared by Hess, Roise and Company for the Wayzata Historical Society.

Based on historical research, it is likely that the Wayzata Section House was erected in 1902 as a 32-foot by 16-foot austere structure. It had two rooms each on the first and second levels. While the character of section houses can vary, the standard layout was often utilitarian, as their main purpose was to house trackmen, who typically led transient lives. The houses were usually framed structures, and were built single or double – the latter to hold two crews. Section houses typically held the Section foreman, his wife and his crew, while Section Foreman houses only housed the Foreman and his family. The Wayzata Section House may have been large enough to house the entire crew; however, according to the 1910 census, the Foreman who occupied the Section House at the time had a large family, which apparently prohibited them from taking in boarders.

Throughout the years, the Section House had many occupants as well as many alterations. This included remodeling the kitchen, repainting interior and exterior, reroofing, new windows, adding a layer of gypsum board and/or fiberboard for insulation, and a few additions to the south side of the house. The updates and alterations took place between 1926 and 1984.

The railroad also changed overtime; installing a crossover for the mainline between Wayzata and Ferndale in 1905, relocating the tracks in 1905 for the new depot, and relocating the tracks again in 1946 to expand Lake Street. In the 40's the significant decline in railway use was evident and the pedestrian dock, car body repair shop, and tool house were all "retired" in 1943. This was a major change in the railroad's operations in Wayzata.

CHRONOLOGY AND TIMELINE OF SUBSEQUENT MODIFICATIONS²

- 1902 The Section House at 738 E Lake street was erected. Original Dimensions measuring 32' wide x 16' deep.
- 1926 Railway employees installed electrical lights
- 1938 100 foot pipeline installed between city water main and Section House. Also installed cesspool.
- 1942 Placed 725 cubic yards of riprap along bank of Lake Minnetonka behind Section House.
- 1943 Lifted house to install concrete foundation and basement. Original foundation/basement unknown. Assumed addition expanded the first level towards the lake (south), including a living room and bedroom. New dimensions of the house: 32' wide x 30' deep. It is speculation that either this date or 1963 may have reoriented the entrance to the south and covered the wallpapered walls with gypsum board on the first level and fiberboard on the second level for insulation.
- 1944 Installed toilet facilities and sewer line.
- 1946 Railroad shifted tracks towards the lake in order to widen Lake Street.
- 1954 Painted façade green with cream trim.
- 1962 Railroad sold house to Dr. Charles N. Brooks
- 1963 Permit to remodel the south façade. This likely included a new entrance to the south with front porch and expanded living room. It is further speculated that this date also included reroofing the additions, updating the kitchen, and possibly covering wallpapered walls with gypsum board on first level and fiberboard on the second level for insulation.
- 1984 Repaired after storm damage: replaced damaged framing on roof/walls. Interior and exterior painting. Replaced brick chimney.
- 1988 The City of Wayzata installed a storm water treatment pond directly east of the building.

² Unless indicated otherwise, the information in this section is taken from the following source: Roise, Charlene, "Great Northern Section House 738 East Lake Street, Wayzata," A National Register Assessment, June 2011, prepared by Hess, Roise and Company for the Wayzata Historical Society.

INTRODUCTION AND GENERAL BUILDING DESCRIPTION



Figure 1.1 North façade of house as seen from railroad tracks (original entrance).



Figure 1.2 East façade showing addition and original house.



Figure 1.3 South façade of house (addition) as seen from Lake Minnetonka.



Figure 1.4 West Façade showing the three sections – original, first addition to vertical edge board and second addition to the right of the board.

The Section House is rectangular in plan and originally faced the railroad tracks to the north. Based on investigation at the interior, it is evident that there were three significant phases of construction. The first was the original one-and-one-half story house built in 1902, the second, a 1940's era 1-story addition to the south, and the third an extension of the 1-story addition to the south, enlarging the living room and adding a porch.

The northern section of the house is one-and-one-half stories tall with a side gable roof. The southern section of the house is a single-story with a front gable facing south towards Lake Minnetonka.

The original front entrance faces the railroad tracks to the north, which is slightly off center with two stacked single windows flanking each side. The east and west ends of the building also have centrally located windows on each level of the taller northern section. On the east side, there is a centrally located door with two additional windows to the south at the main level. There are two pairs of double windows located at the main level on the west side. The south side has two small windows located in the corners of the second level, directly below the roof eave, in addition to a pair of windows at the main level porch on the east end and a row of four windows on the west end.

The description of the interior as stated by one of the Section House's occupants, Mr. Gustave Frederick Ehrreich, is that section houses were all identical, "the paint color was always grey, inside and out, and the layout was austere, simple with two rooms upstairs and two down."³ The original layout was simple: a main entrance opening directly to stairs. To the west of the stairs was the kitchen and on the east end, a living room or bedroom. Upstairs were two more bedrooms. This description accurately describes the current room layout within the north section of the house, where there are two rooms upstairs, likely bedrooms, and two rooms on the main level with a stair hall, in line with the front entry door, separating the two spaces. At the main level, the room on the west currently has a kitchen and dining room. The kitchen was likely updated in the 60's, after the house was purchased by Dr. Brooks, and retains much of the original equipment from that era.

There is a hallway that runs from east-west along the south side of the northern section, in line with the door on the east side. This hallway separates the original two rooms on the north from the

³ Roise, Charlene, "Great Northern Section House 738 East Lake Street, Wayzata," A National Register Assessment, June 2011, prepared by Hess, Roise and Company for the Wayzata Historical Society. Pg. 14



Figure 1.5 View of house from approaching driveway.

added rooms to the south. There is a living room at the southwest corner, a bedroom at the center, and bath and laundry rooms on the east end. The living room was further extended to the south on the west end and a covered porch added to the east end. This work was likely done as part of the permitted work in 1963 after the railroad sold the house.

EXTERIOR

EXTERIOR ELEVATION DRAWINGS:

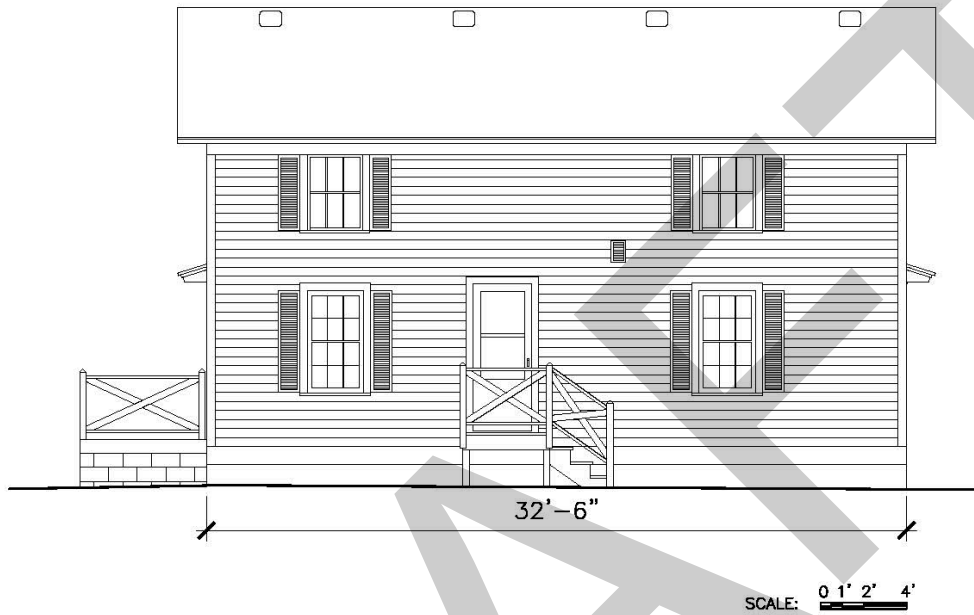


Figure 1.6 Existing north elevation drawing

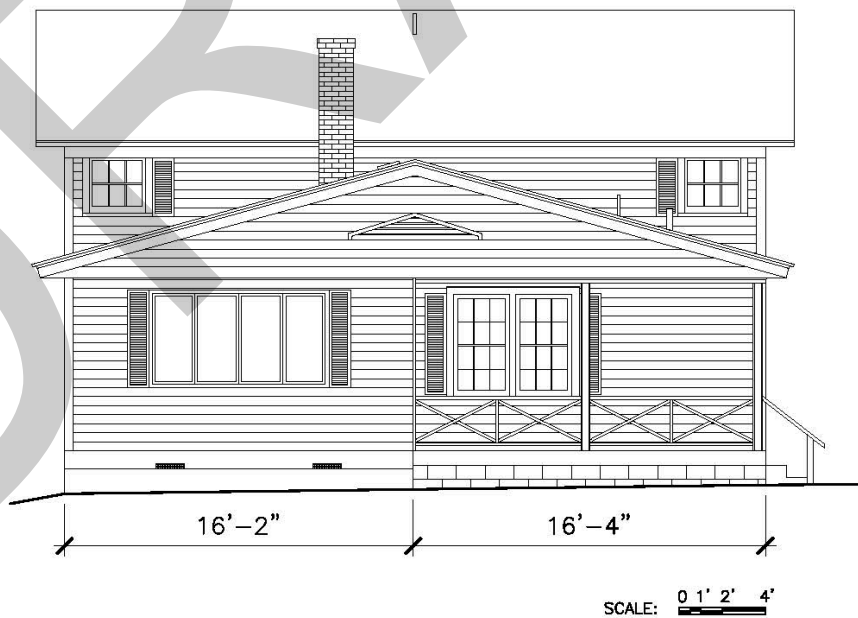


Figure 1.7 Existing south elevation drawing

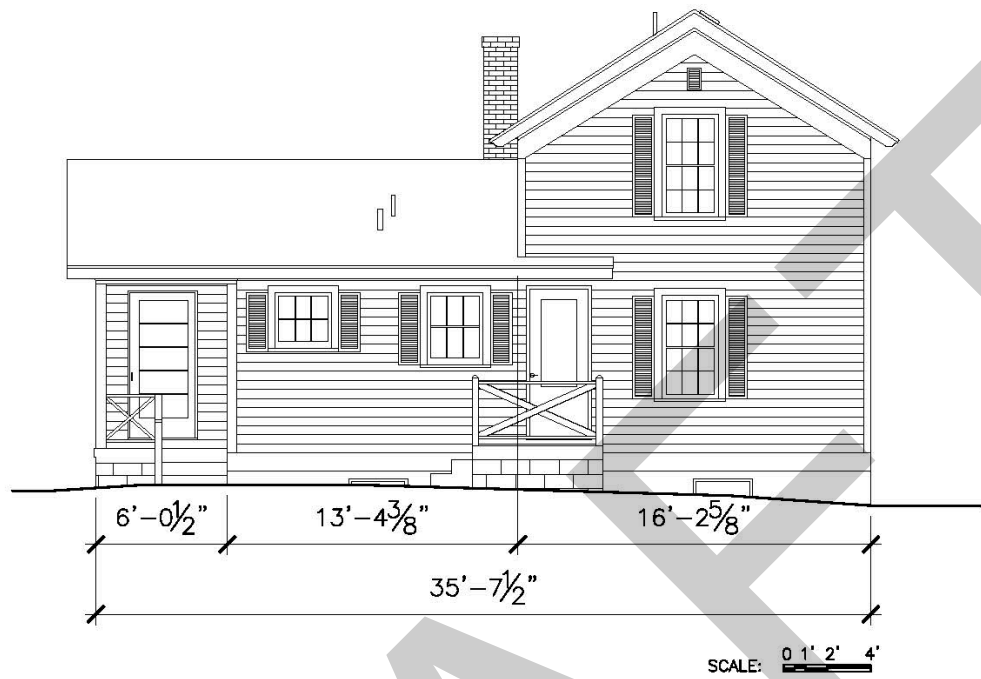


Figure 1.8 Existing east elevation drawing.

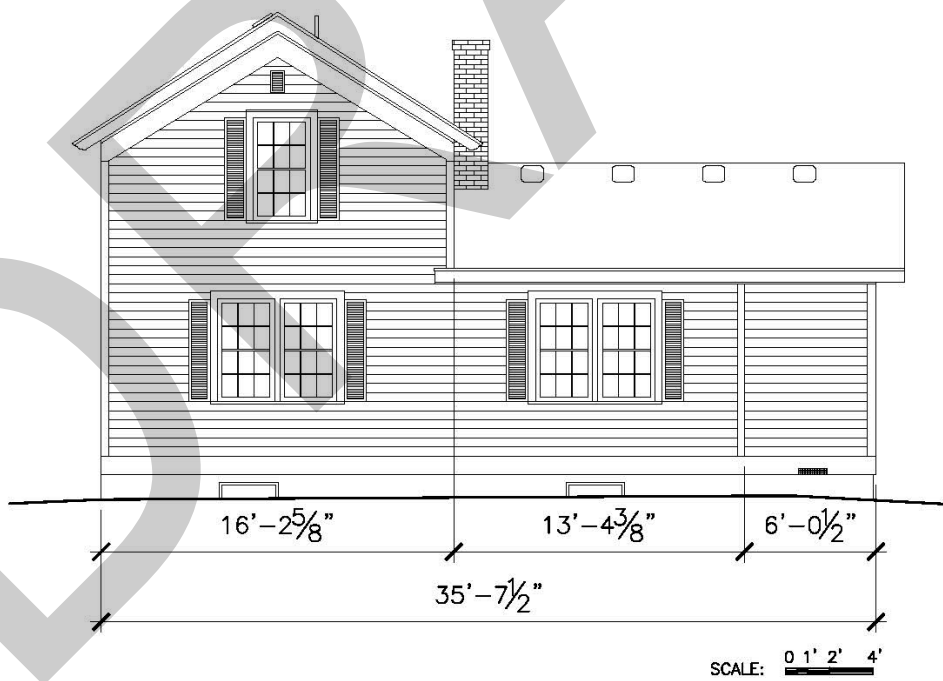


Figure 1.9 Existing west elevation drawing.



Figure 1.10 CMU block foundation at porch and south end addition. Crack at porch.



Figure 1.11 Poured concrete foundation meets CMU block foundation on the west end at the 1960's addition.



Figure 1.12 Missing shiplap on east façade



Figure 1.13 Southern wood clapboard siding with significant paint peeling and weathering.

Figure 1.14

EXTERIOR FOUNDATION:

Description:

The poured concrete foundation walls are not original to the building. In the 1940's the house was lifted and the concrete foundation was poured below at the same time of the first addition. The walls are partially exposed above grade about one to three feet, with four half windows to allow light into the basement; two windows on the east and west walls each.

At the second addition on the south end, the foundation walls are CMU blocks with three vents to the crawl space below. The east exterior stair is poured concrete slab that also sits on CMU blocks.

Condition:

The concrete is in good condition. The CMU blocks are in fair condition; however there are some large cracks where the foundation has settlement in the southwest corner of the house. There are also cracked and deteriorated CMU blocks at the east exterior stair.

EXTERIOR SIDING AND TRIM:

Description:

The wood shiplap siding is painted dark green with 5" corner boards. The starter board at the rim joist is 10" particleboard or plywood. Because the siding is continuous from the 1902 and 1940's era addition, it is likely the whole house was re-sided at the time of construction and new windows were added. There is a vertical board marking the location of the 1960's era addition on the west façade (see Figure 1.8). At this addition, there are also three vents in the lower starter board to ventilate the crawlspace below.

Condition:

Overall the wood shiplap siding is in fair condition, with some checking, loose or missing boards, recessing nails and deterioration caused by moisture and fasteners. The painted surface is significantly weathered. Peeling paint can be found on all facades, but is most prominent on the south-facing facades. In some areas the paint is completely worn away. The northern façade facing the tracks and the western façade are generally in the best condition. About 40% of end boards need repair as the nails are recessing. The starter board in the southwest corner is sagging, most likely due to settlement after the 1960's addition.



Figure 1.15 East entrance original opening

Figure 1.16 Original main entrance to the north with non-original aluminum storm.



Figure 1.17 South addition entrance



Figure 1.18 Interior view of smaller wood window in upstairs east bedroom. Deteriorating wood at bottom rail



Figure 1.19 Deteriorated glazing compound

EXTERIOR DOORWAYS AND DOORS:

Description:

At the north and east entrances, the interior wood paneled doors with glass and wood trim appear to be original to the 1902 structure. It appears that the original divided lights on the north interior door were replaced with a single pane of glass. The wood storm door with glass at the east side may also be original; however, it is unlikely the glass would have been that large and would have been divided similarly to the windows and door. The storm door to the north has been replaced with an aluminum door and frame within the original wood trim. The replaced aluminum storm is a few inches too short for the door opening leaving a large gap at the base.

The interior door at the south porch is wood with 15 glass panels. The storm door is also wood with 5 panels which align with the interior door. Both the door and storm appear to be original to the date of the 1960's construction.

Condition:

Overall, the existing wood doors appear to be in good condition with some peeling paint. The wood storm door on the east elevation is in poor condition. There is some rot, a significant amount of peeling paint, and the glass panel has fallen out. The other two storm doors appear to be in good condition.

The wood sill at the east door is in poor condition with signs of rot. Other wood trim and sills appear to be in good condition.

WINDOWS:

Description:

There is a mix of wood, double-hung, single glazed, three-over-three windows at the north and south facades of the second level, and six-over-six windows at the main level and east & west facades of the second level. Based on the metal springs used for operating the windows, it is assumed that these windows are not original, but later added during the 1940's when this operating type commonly replaced the former pulley operators using rope sash cords and counterweights. All of the wood is painted at the interior and exterior. At the first level, the windows have lower interior wood shutters at the lower sash that are likely not original.

There is a pair of windows on the west façade that likely replaced a former single window at the time the windows were replaced. Selective demolition was done to determine if the original framing held a single window instead of a double at one time, however evidence was inconclusive as it appears framing was also modified.

There are also two wood, 6-pane, double hung windows on the east elevation of the assumed 1940's era addition at the current

and peeling paint at storm window



Figure 1.20 Window at south addition – bedroom



Figure 1.21 Window at south addition living room



Figure 1.22 Selective demolition below west kitchen window



Figure 1.23 Selective demolition at original south wall.

bathroom and laundry rooms. The windows on the west side of the south façade at the living room are a set of four single pane, fixed casement wood windows that appear to be original to the 1960's era addition.

At the original southern façade, which is now the wall south of the hallway, the wall was opened up to find evidence of original window and/or door framing. It appears that there were perhaps one or two tall windows to the east of the chimney. There may also have been a window to the west of the chimney that was expanded into a larger opening between the dining and living room areas. There is framing at the same heights and similar widths as the remaining windows at the northern section of the house. It is possible that the current door frame for the bathroom was also once a window (see Figure 1.26 for speculation of original 1902 southern façade).

All of the double-hung windows have a wood storm with divided light patterns matching the interior window patterns. There are metal exterior shutters at all windows that are not original to the building.

Condition:

Overall, the windows are in good to fair condition. There is peeling paint and deteriorated glazing compound. Some glazing on the west and north façade is broken and missing. Most of the interior shutters at the first level are broken. The exterior wood storm windows are in varying ranges of condition from poor to moderately good.

On the second level south façade one storm window is severely deteriorated and the glazing is not secure (see figure 1.19). Many of the storms have deteriorated or missing glazing compound, peeling paint, and broken glazing in a few locations. Three of the six second level storm windows are missing; however they may be stored in the basement. There is rot and deterioration at most sills with peeling paint. The second level windows on the north façade appear to be replacement sills.

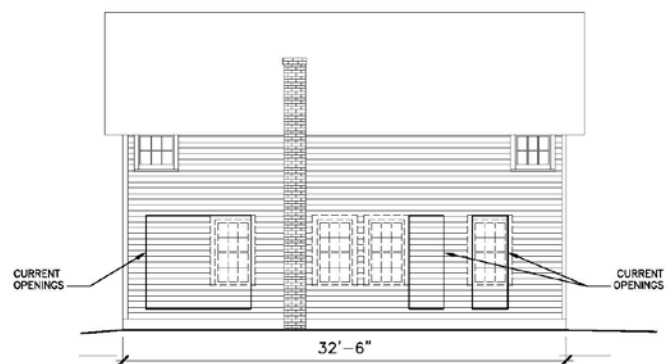


Figure 1.24 Speculation of original 1902 southern façade. Current openings highlighted with solid dark line.



Figure 1.25 Image of roof over addition looking east.



Figure 1.26 Roof intersects with original southern façade.



Figure 1.27 Attic of original structure with vermiculite insulation

ROOF:

Description:

The building has two levels of gabled roofs currently covered with asphalt shingles. Based on the spacing between the roof decking boards at the second level roof as visible from within the attic space, the roof was likely originally covered with wood shingles. This spacing was important for air flow to dry the wood shingles from below and extend their useful life. There are also attic vents at both east and west gabled ends.

It is unknown how the 1950's era addition roof was constructed originally. It appears the roof framing may have been modified as part of the work to add the southern addition and porch in the 1960's. There is a large triangular louver at the south gabled end and vents near the ridge for air circulation in the attic space.

It is possible that the entire roof was re-shingled in the 1980's after a damaging storm, as that was also when the chimney was repaired. It is likely that the current shingles were more recently replaced at an unknown date as they appear to be in good condition and not close to 30-years in age.

The wood fascia, soffit and cornice boards appear to be original on the northern section. At the 1940's and 1960's era additions, it is likely original to the 1960's remodel.

Condition:

Overall, the asphalt shingles appear to be in good condition with only minor warping appearing to be caused by warping metal flashing below. There were no reports from staff regarding any roof leaks.

Overall the wood fascia, soffit and cornice boards appear to be in fair to good condition with minor areas of wood deterioration and peeling paint.



Figure 1.28 Replaced Chimney



Figure 1.29 Interior Chaska cream brick chimney at the closet demolition area showing struck joints.



Figure 1.30 Interior Chaska cream brick chimney at hallway demolition area with unfinished joints

CHIMNEY:

Description:

There is a masonry chimney adjacent to the original south exterior wall of the original northern section that extends above the lower roof. From the basement up to the attic level the chimney is made of cream-colored Chaska-style brick. Above the roof level it transitions to red brick. Based on the good condition of the red brick, it is possible that the full chimney might have been constructed of Chaska brick, which is significantly softer and more susceptible to damage, and the exposed brick was later replaced with red brick as a part of the 1980's repair work.

Additional evidence that the chimney was originally against the exterior of the south side of the house was discovered through selective demolition. Within the wood frame and gypsum board chase created at the closet, clean struck joints are visible. At the inside of the hallway wall, the joints were not struck, indicating that access was restricted by the building.

Condition:

Overall, the masonry is in very good condition.

INTERIOR

KEY

-  POSSIBLE ORIGINAL WINDOW LOCATION
-  1902 SECTION HOUSE
-  1943 ADDITION
-  1963 ADDITION

EXISTING FLOOR PLANS:

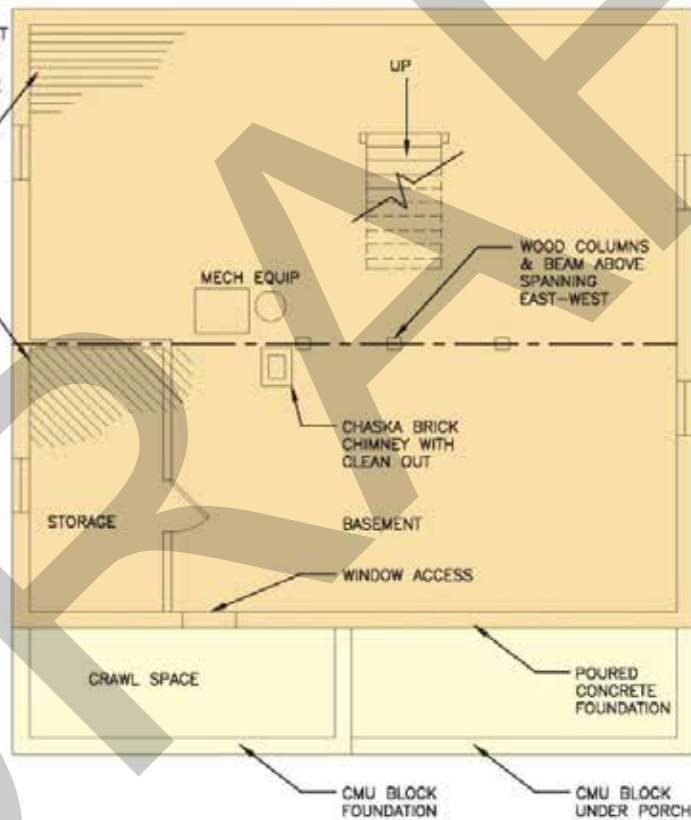
Basement Level:

The basement has one large space for storage, a smaller storage room below the 1940's addition and a crawl space below the 1960's addition.

There is one entrance to the basement from the central staircase. There is no accessible access to this level.

DISCLAIMER:
IT IS UNKNOWN IF
THERE WAS A BASEMENT
ORIGINAL TO THE 1902
BUILDING, PRIOR TO
THE POURED CONCRETE
BASEMENT.

DIRECTION OF
WOOD
SUBFLOOR
ABOVE



BASEMENT LEVEL FLOOR PLAN



Figure 1.31 Basement Level Floor Plan



Figure 1.32 Left: Basement stairs below 1902 structure



Figure 1.33 Right: smaller storage room below 1943 addition



Figure 1.34 Wood columns and beam in center of Basement

KEY

 POSSIBLE ORIGINAL WINDOW LOCATION

 1902 SECTION HOUSE

 1943 ADDITION

 1963 ADDITION

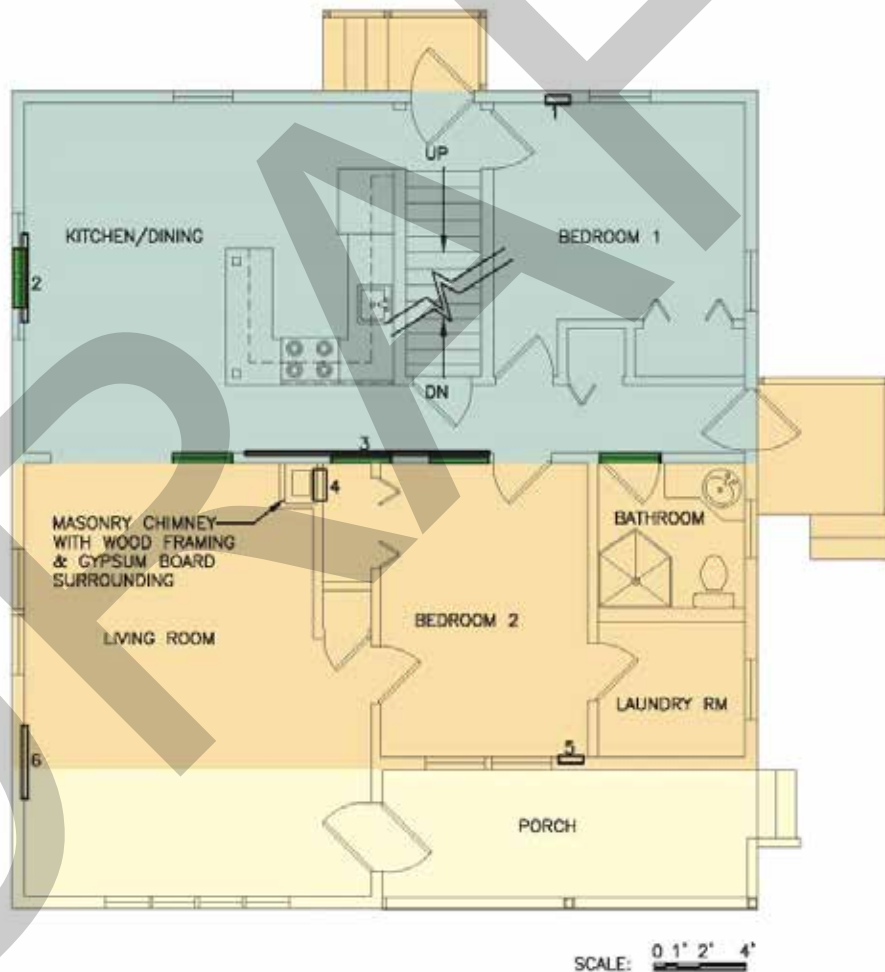
 INVESTIGATIVE LOCATION

First Level:

The first level was originally rectangular in shape and had two rooms; a kitchen on one side of the central stairs, and a living room or bedroom on the other side. The stairs are directly in-line with the front entrance, and the east-west hallway behind the stairs is in-line with the secondary east entrance.

The first addition enclosed the chimney and added the living room, another bedroom, a laundry room and a bathroom. The second addition extended the living room and added the southern porch with a third entrance.

The areas numbered below correspond with the locations where selective demolition was performed in order to determine the original construction of the wall assemblies.



FIRST LEVEL FLOOR PLAN

Figure 1.35 First Level Floor Plan



Figure 1.36 Kitchen and Dining Room



Figure 1.37 Bedroom 1



Figure 1.38 Living Room



Figure 1.39 Bathroom



Figure 1.40 Bedroom 2



Figure 1.41 Laundry Room



Second Level:

The second level, both originally and currently, had bedrooms with one on either side of the stairs. Each bedroom has three windows and a closet. Access to the attic is located in the west bedroom(#3). After the south addition, a knee wall door was added to the top of the stairs for access to the attic above the addition. From here, the original Chaska-style brick chimney is visible.

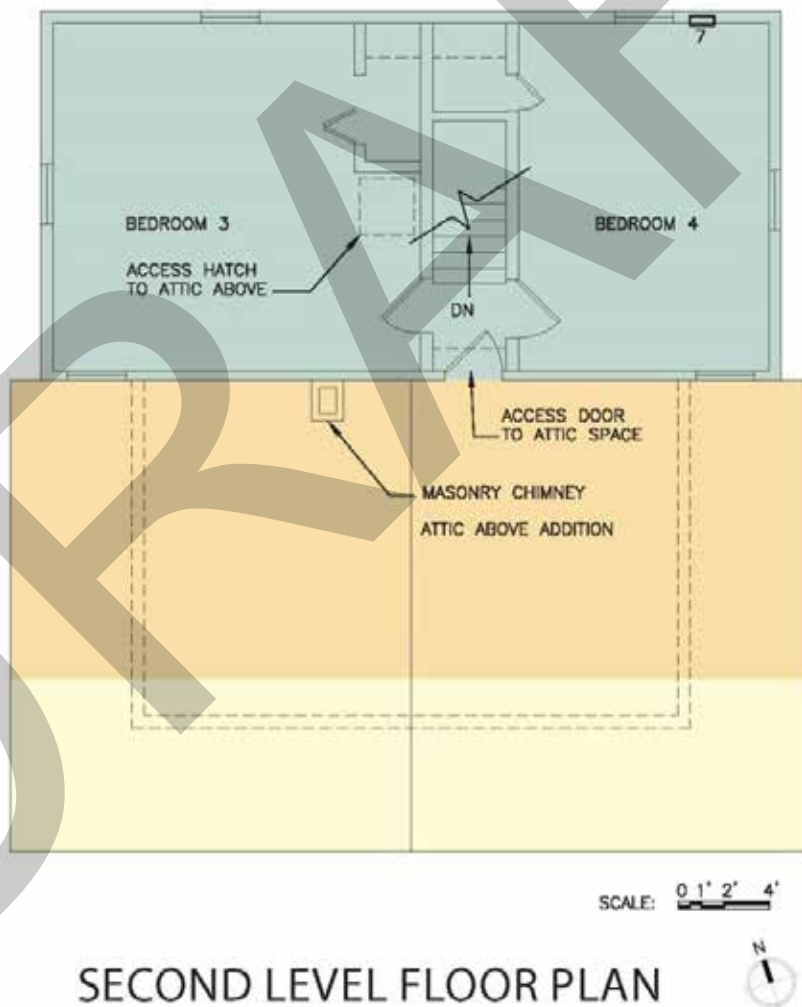


Figure 1.42 Second Level Floor Plan



Figure 1.43 Bedroom #4



Figure 1.44 Bedroom #3



Figure 1.45 Attic above bedrooms



Figure 1.46 Attic above additions



Figure 1.47 Stairs to second level



Figure 1.48 Selective Demolition on first level exterior wall.



Figure 1.49 Wallpaper on first level



Figure 1.50 Wall composition: From left to right, wallboard covered with felt and wallpaper, foil, and gypsum board.



Figure 1.51 Cross section of tongue and groove wallboard with felt and wallpaper attached.

WALLS:

Description:

Selective demolition was used to reveal the composition of the exterior walls to determine what may have been the original construction and what was added later. A portion of the walls were opened in various locations including: the north wall of Bedroom #4, the north wall of Bedroom #1, the south wall of Bedroom #2 and closet, the west wall of the Living Room, the west Dining Room wall, and the south wall of the main level hallway. The demolition in these areas helped to reveal the changes made to the finishes as well as the building materials used for the original versus the addition walls.

The original exterior walls of the 1902 building are composed of wood shiplap siding, (no sheathing), 4"x4" wood stud framing, and 1" thick tongue & groove horizontal wood planks in varying depths painted green on the interior side. The interior planks are covered with felt and wallpaper and there is no insulation. At a later, unknown date, the wallpapered exterior walls were covered with non-adhesive foil and either a 3/4" fiberboard or 3/4" gypsum board. The fiberboard is only located in the upstairs rooms and the gypsum board is on the main level and stairway. Since the selective demolition was only done from the interior, it is not certain if there is sheathing, but based on overall measurements and what is visible from the interior demolition, it is assumed that there is not sheathing.

The exterior walls of the additions are similar to the original walls with some minor differences. The walls consist of shiplap siding, (possibly no sheathing), wood stud framing, tar paper attached to the interior side of the wood framing, 1" lapped wood wallboards, foil, and 3/4" gypsum board. Demolition only removed up to the tar paper, so it is only a speculation that there is no insulation or sheathing.

Condition:

Aside from the large cracks in the living room or moisture infiltration noted between the 1940's and 1960's era additions, the walls are not showing evidence of movement. There are also large cracks in the gypsum board around the chimney.



Figure 1.52 Exterior wall composition at south Living Room first and second additions.



Figure 1.53 Sample of fiberboard wall and ceiling at second level.



Figure 1.54 Acoustic ceiling tile in Kitchen



Figure 1.55 Ceiling of Laundry Room



Figure 1.56 (left) rack at second addition

Figure 1.57 (right) cracks in gypsum board around chimney

WALL AND CEILING FINISHES:

Description:

It is likely that the original interior appearance at the 1902 building was the green painted tongue and groove wood planks or wallpaper, and later, the foil and gypsum board were added. The gypsum board at the main level is continuous from the 1902 building to the 1960's era addition and likely completed at the same time.

With the exception of the tile wainscot in the bathroom, all walls have painted fiberboard finish on the second level, and a gypsum board finish on the first level. The basement is unfinished concrete and CMU walls. The small storage room in the basement has two walls of 1'-0" wide horizontal wood planks on the interior only. The exposed wood framing is outside of the storage room.

As discussed in the previous section, it appears the original interior finish was painted wood planks followed by wallpaper, which was later covered with gypsum or fiber boards.

The ceilings on the first level are approximately 8'-0" above the finish floor (AFF) and consist of flush acoustic ceiling tile throughout the original 1902 section and gypsum board ceilings throughout the additions. The ceilings of the second level are sloped at the north and south walls and are approximately 7'-5" AFF in the center of the room and 5'-5" AFF at the lowest ceiling point. The ceilings are assumed to be of similar construction as the exterior second level walls. The basement ceiling has exposed wood floor joists and the underside of the main level wood sub-floor is also exposed. The height to the bottom of the joist is approximately 6'-7 $\frac{3}{4}$ " AFF and 7'-4 $\frac{1}{4}$ " AFF to the top of the joists.

Condition:

Walls are generally in fair condition with some cracks at the addition. The largest cracks are located at the point of the second addition along the west wall of the living room which may be the result of settlement. The other significant cracks are located around corners of the chimney. There is minimal evidence of settlement on the exterior of the building and isolated to the 1960's era addition, and therefore is of minimal significant concern at this time.

Ceilings throughout the building are in fair condition. The laundry room ceiling has some peeling paint.



Figure 1.58 Hardwood floor upstairs bedroom



Figure 1.59 Linoleum in laundry room



Figure 1.60 Transition line in hardwood floor in living room at area of second addition.



Figure 1.61 Horizontal floor boards of original building as seen from basement.



Figure 1.62 Diagonal floor boards of addition as seen from basement

FLOORING:

Description:

The house has hardwood floors throughout, with the exception of carpeted stairs to the second level, which likely have hardwood treads below; the concrete basement floor; and linoleum or vinyl sheet in the laundry room and bathroom.

At the first level, the hardwood floor is continuous from the 1902 building into the 1940's addition and is therefore likely a replacement hardwood from the 1940's. There is a prominent butt-joint in the living room floor at the area of the second addition indicating that the hardwood floor in only that area is likely original to the 1960's era construction date.

The second level hardwood floors do not match the first level hardwood flooring and could be original to the 1902 building. The in-floor metal heat transfer grates at the second level may also be original to the 1902 building.

The original subflooring can be seen from the basement. Below the original building the floorboards run horizontally, but below the addition the floor boards are narrower and run diagonally. They are also painted white in areas and likely reclaimed wood from an unknown source. It is possible these might have originally been exterior siding.

The basement is unfinished with exposed concrete at the floors or dirt in the crawl spaces. The laundry room and bathrooms are covered with linoleum or vinyl.

Condition:

Overall the wood floors are in good to fair condition with minor areas of wear. The linoleum or vinyl sheet flooring is in poor condition with water damage and deterioration. The carpeted areas are in fair condition with some visible wear.



Figure 1.63 Painted wood doors second level.



Figure 1.64 Folding wood door second level



Figure 1.65 Stained/painted wood doors on first level

DOORWAYS AND DOORS:

Description:

At the second level, the solid wood stile and rail doors and 4" wood trim are painted white. The west bedroom has a folding door to the closet which is not original. There is a wood knee-wall door added during the 1940's addition which leads to the attic above the first level addition.

The first level has stained wood or possibly manufactured doors throughout. The bathroom door is painted on the inside and stained facing the hallway. Addition doors match the doors in the original section indicating they may have all been replaced at a later date.

The basement door to the small storage room is a wood paneled door painted green then white. This may date from the 1902 construction and may have been relocated from another location on the house.

Condition:

All of the wood doors and associated trim are in good condition with some minor areas of peeling paint or other worn surfaces. Most doorknobs appear to be contemporary brass knobs. The basement storage door has water damage from flooding.



Figure 1.66 Original painted solid wood door in basement may have been relocated.



Figure 1.67 Stair at basement level



Figure 1.68 Stair looking up to the second level landing from the first level entrance.

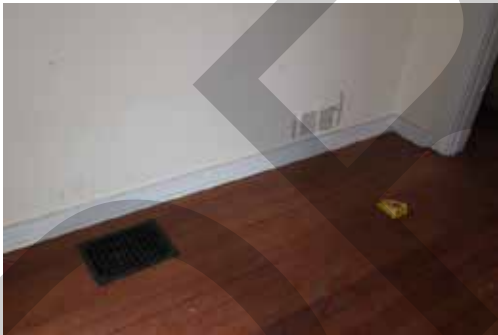


Figure 1.69 Baseboard in second level bedrooms.



Figure 1.70 Baseboard at living room near chimney

STAIRWAYS:

Description:

There are two interior stairways in the house. One is centrally located and faces the main north entrance. It is covered with green carpeting which is assumed to be covering the original wood treads and risers. It does not meet current code requirements for riser and tread dimensions nor does it meet requirements for handrails, as they are not the correct height and do not have adequate extensions at the top and bottom.

The second is located directly below to access the basement level. This stair was added during the 1940's era addition when the basement was built. The stair has a straight run of open wood stringer and tread construction with two square posts at the bottom. The treads are very narrow and almost equal to the rise. This stair also does not meet current code requirements.

Condition:

Both interior stairs are in good condition with some wear visible at both the wood and carpeted treads.

DECORATIVE FEATURES AND TRIM:

Description:

There is simple wood base with quarter round trim at the floor. All base is solid wood and painted white.

Door and window trim in the 1902 section is a simple squared 1x while the trim in the additions is more contemporary, appearing to have a "ranch" profile. All wood trim is painted white.

Condition:

The majority of the wood trim is in good condition, however the baseboard in the addition rooms is in poor condition.



Figure 1.1 Original 1902 attic



Figure 1.2 Attic above additions



Figure 1.3 Poured concrete foundation.



Figure 1.4 6x8 wood columns and concrete foundation

ATTICS:

Description:

The original 1902 attic is a limited height space above the second level. It is wood framed with spacing between the roof decking which most likely indicates the original roof had wood shingles. There are vents on both the east and west gabled ends and vermiculite insulation covering what is likely the second level ceiling. Access is located in a hatch in the west bedroom.

The attic above the additions has wood roof decking and wood trusses. It is also a limited height space with access from a knee-wall door at the second level landing. There is a large louver at the south gabled end and vents near the ridge for air circulation in the attic space. It is unknown how the 1940's era addition roof was constructed originally as it appears the roof framing may have been modified as part of the work to add the southern 1960's era addition.

Condition:

The wood frame trusses and wood roof decking appear to be in fair to good condition.

Interior Foundation Walls

Description:

The foundation of the structure was likely added during the 1940's era addition. It is unknown if there was originally a basement or what the original foundation was, but it was likely a stone foundation and highly susceptible to moisture infiltration with close proximity to the lake. The house has a full size basement comprised of poured concrete walls and floors. A crawl space is located at the south west corner of the basement and is made up of CMU block walls and dirt floors. Three (6x8) wood columns on concrete footings are located near the center of the basement at the intersection of the original building and the 1940's addition.

Condition:

The concrete and CMU blocks are in fairly good condition with a few water stains from previous flooding and moisture infiltration below the windows. The wood columns appear to be in fair to good condition with little evidence of displacement or other structural failure and only have areas of peeling paint.

EVALUATION OF SIGNIFICANCE AND POTENTIAL ELIGIBILITY FOR THE NATIONAL REGISTER

The Wayzata Section House was previously determined eligible for listing in the National Register of Historic Places by Susan Roth, the former National Register historian for MHS prior to her retirement in November of 2011. The removal of the 1960's era addition was noted, and MHS staff indicated that doing so could help to improve the overall integrity of the building and therefore improve its National Register eligibility. This report has attempted to fill in missing information that can help determine an appropriate treatment for the house.

After researching and examining the Wayzata Section House, it seems this house is a rare survivor of a once common property type for the Great Northern Railroad Company. According to Michael Koop at the Minnesota Historical Society (MHS), there is only one other Section House extant at its original location listed in the National Register in Minnesota: the Sioux City and St. Paul Section House in Dundee (Nobles County). It is a two-story clapboard building constructed in 1879. The Chicago North Western Section House in Comfrey (Brown County) had been listed, but it was later relocated and subsequently removed from the National Register.

Although the Wayzata Section House is not identical to any plans found to date, there is ample evidence that the typology and building styles are similar to the Section Houses of that era. According to the research noted above and in the report prepared by Hess Roise, the property is most likely to qualify for the National Register under Criterion C: Design/Construction, for embodying the distinctive characteristics of standard design of Section Houses for the Great Northern Railroad. Although the Hess Roise report includes discussion regarding requirements for "associated property types" including section houses to be eligible under Criterion A, a railroad corridor must retain integrity as a historic district, otherwise a section house will not convey its function as a specialized railroad building. An argument could be made for including eligibility under Criterion A for its association with the Great northern Railroad in that this house is different from others because it remains in its original location with proximity to the railroad unlike others where railroads have either been abandoned and/or significantly re-routed.

The property's period of significance is proposed to begin in 1902, when the house was initially constructed and ready for use. The ending date of significance is proposed to be 1962, when the railroad sold the house to a private party. The first addition added in 1940's was completed while still under the ownership of the railroad and could be considered significant as it increased the proportions of the house to more closely match other pattern plans. It is our understanding that removal of the later addition is not a requirement for eligibility, however it would improve the overall integrity of the building. Removal could be considered based on the future programming of the building, however additional research would be required to determine the previous appearance of the building's south façade and roof profile. Relocating the house is not recommended.

INTEGRITY

Once a resource has been identified as being potentially eligible for listing in the National Register, its historic integrity must be evaluated. The National Register recognizes seven aspects or qualities that, in various combinations, define integrity. These aspects are: location, design, setting, materials, workmanship, feeling and association. In order to be determined eligible for listing, these aspects must closely relate to the resource's significance and must be intact.

As described in this report, the Wayzata Section House and its landscaping have undergone many alterations since its completion in 1902. This has greatly compromised the building's historic integrity. Most of these changes were confined to additions on the first level, but there are many finish changes throughout. The landscaping has also undergone relatively major changes. With the relocation of the main entrance, trees and underbrush have overgrown the northern original entrance. A storm water treatment pond replaced an original creek

to the east of the house in 1988. This is a modern intrusion and changes the relationship the house once had to the small creek. However, the overall construction integrity of the Section House is fair for a building approaching 113 years of age. The following information goes through each of the seven aspects of integrity: design, setting, materials, workmanship, feeling and association:

LOCATION: The Wayzata Section House has not been moved since it was completed; therefore it retains integrity of Location.

DESIGN: The building has undergone two substantial additions to the first level, which affects both the interior and the exterior design. Aside from the exterior surface area modified for the additions, the interior of the original house has only had incremental finish changes and it appears that many, if not all, of the original finishes remain hidden below the existing. As the house stands currently today, its integrity of Design is debatable and could be improved with the restoration of the original finishes.

SETTING: The site of the Wayzata Section House has been altered on the east side and overall the site is very overgrown with volunteer trees and shrubs. The railroad tracks still remain on the north and the lake remains on the south sides. The integrity of Setting is also debatable, however, could also be improved with the restoration of the landscape around the building.

MATERIALS: As mentioned above, the Wayzata Section House has undergone many alterations but the original interior wall boards later covered with wallpaper is well preserved behind the existing fiberboard/gypsum board walls. The existing wood window and door frames remain in fair condition. The windows appear to have been replaced in the 1940's based on their operating hardware, which would be within the period of significance. Storm windows were also added. The hardwood floor on the first level was also likely replaced at the time of the 1940's addition. It is likely that all of the exterior siding was replaced at the time of the 1940's addition and new matching siding added for the 1960's addition. Portions of the interior retain integrity of Materials, however the exterior is questionable. If the house is approximately restored to match the appearance during the period of significance, it would have integrity of Materials.

WORKMANSHIP: As a standard section house building designed for practical needs of the railroad employees, the house is constructed of simple methods without embellishment and decoration; therefore it retains integrity of Workmanship.

FEELING: Based on the retention of the majority of its historic design and materials, the Section House is capable of conveying the aesthetic sensibility of the turn of the 20th century. The Wayzata Section House retains integrity of Feeling should the building be restored to match its original appearance.

ASSOCIATION: The facility was originally intended to house a Section Foreman and his crew, or just the Section Foreman and his family, which it no longer serves today. However, an argument could be made that the building is still located in close proximity to the railroad and that relationship is sufficiently intact to convey that importance and could there retain integrity of Association.

BENEFITS / OBLIGATIONS FOR LISTING IN THE NATIONAL REGISTER

Listing in the National Register of Historic Places provides formal recognition of a property's historical, architectural, or archeological significance based on national standards used by every state. The benefits and obligations are as outlined below:

Benefits

- Encourages preservation of historic resources by documenting a property's historic significance.
- Provides opportunities for specific preservation incentives, such as:
 - o Preservation grants for planning and rehabilitation
 - o Federal and State investment tax credits
 - o Local Grants such as:
 - § Minnesota Historical & Cultural Heritage Grants
 - § Certified Local Government Grants
 - § State Capital Project Grants-in-Aid
 - o Preservation easements to nonprofit organizations
 - o International Building Code fire and life safety code alternatives
- Helps promote community development, tourism, and economic development
- Involves the Advisory Council on Historic Preservation when a Federal agency project may affect historic property.
- National Register listing places no obligations on private property owners. There are no restrictions on the use, treatment, transfer, or disposition of private property.
- National Register listing does not lead to public acquisition or require public access.
- National Register listing does not automatically invoke local historic district zoning or local landmark designation.
- The National Register DOES NOT
 - o Require that properties be maintained, repaired or restored
 - o Allow the listing of individual private property over an owner's objection
 - o Allow the listing of historic districts over a majority of property owners' objections
 - o Require public access to private property

Obligations

- Should a property be listed as a local historic landmark by a Certified Local Government (CLG), any work proposed to be performed would be subject to review by the governing agency (HPC) to confirm that proposed work is compliant with the *Secretary of the Interior's Standards*.
- If historic grants, tax credits, etc. are used, it will require review for compliance with the State Historic Preservation Office (SHPO).

Note, even though the Section House has previously been determined to be eligible for listing in the National Register by MHS, it is no guarantee that its nomination will be accepted in the end.

Conclusion

The value of adding the Wayzata Section House to the National Register far outweighs any potential disadvantages, as the only foreseen disadvantage could be the rejection of the nomination in the end. Being listed in the National Register would open up historic preservation funding opportunities such as legacy grants, historic tax credits, etc. By restoring/rehabilitating the house to have a public use, the City of Wayzata could continue to celebrate their railroad town heritage by highlighting and acknowledging the role this house played with an interpretive exhibit.

PRESERVATION POLICIES/OBJECTIVES

STANDARDS FOR THE TREATMENT OF HISTORIC BUILDINGS:

The Wayzata Section House is likely a candidate for the National Register of Historic Places. To preserve and/or restore its historic integrity, any proposed work should be in compliance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties* depending on funding sources (historic grants, tax credits, etc.). Review and approval by the State Historic Preservation Office, who performs reviews in Minnesota for compliance with the Standards, will also be required. These Standards, created in the 1970s and updated periodically, have been applied to the restoration and rehabilitation of thousands of historic properties nationwide.

The *Standards for Rehabilitation* (as quoted from the National Park Service, [NPS], website) are as follows:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques, or examples of craftsmanship that characterize a property, will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

"The *Standards* are neither technical nor prescriptive, but are intended to promote responsible preservation practices that help protect our Nation's irreplaceable cultural resources. For example, they cannot, in and of themselves, be used to make essential decisions about which features of the historic building should be saved and which can be changed. But once a treatment is selected, the *Standards* provide philosophical consistency to the work."

The four treatment approaches are Preservation, Rehabilitation, Restoration, and Reconstruction. The National Park Service definitions of each treatment is found below:

"The first treatment, **Preservation**, places a high premium on the retention of all historic fabric through conservation, maintenance and repair. It reflects a building's continuum over time, through successive occupancies, and the respectful changes and alterations are made.

Rehabilitation, the second treatment, emphasizes the retention and repair of historic materials, but more latitude is provided for replacement because it is assumed the property is more deteriorated prior to work. (Both Preservation and Rehabilitation standards focus attention on the preservation of those materials, features, finishes, spaces, and spatial relationships that, together, give a property its historic character.)

Restoration, the third treatment, focuses on the retention of materials from the most significant time in a property's history, while permitting the removal of materials from other periods.

Reconstruction, the fourth treatment, establishes limited opportunities to re-create a non-surviving site, landscape, building, structure, or object in all new materials." This approach assumes there is adequate documentation to reconstruct accurately the non-surviving design.

In addition to the definitions from the NPS, Miller Dunwiddie Architecture has added a fifth treatment:

Renovation, a renovation treatment means that a space, feature or elevation contains little or no character-defining features, materials or special qualities that warrant a formal preservation treatment.

APPLYING THE STANDARDS TO THE SECTION HOUSE:

Choosing the most appropriate treatment for a building requires careful decision making about a building's historical significance and integrity:

- What is the level of integrity of the existing building?
- How has it been altered over time and are the alterations important to the building's history?

In current form and plan, the Wayzata Section House's integrity is debatable with at least two additions over the decades. The first addition in 1943 occurred while still under the railroad's ownership, and the second in 1963, which does not fall into the period of significance and could be removed to improve the overall integrity of the building.

It is therefore recommended that the treatment approach to follow is **Restoration**. Any potential work to be performed in the future should closely follow the *Standards* set forth for the restoration of historic properties, focusing attention on the preservation of the materials, features, finishes, spaces and spatial relationships that, together, give a property its historic character from the most significant time in the building's history. This recommendation is based on the following assumptions:

- The City of Wayzata has one or more reuse options for the Section House.
- A period of significance ending in 1963 is determined.
- The reuse options can fit within the building footprint of the determined period of significance.

The Wayzata Section House was first built as a quaint 16'x32' home with two rooms on each level. After a few decades, the building's interior was remodeled, with changes to the interior finishes, and in 1943 an addition was added to the south that doubled the depth of the house. It was later added onto again in the 1960's after the railroad sold the property to a private party. One or both of these additions may be considered part of the historical significance of the building, pending the period of significance determined for the house.

Upon reviewing the eligibility of adding the house in the National Register of Historic Places with the Minnesota Historical Society staff, they agree that the end date for the period of significance should be when the railroad sold the house to a private party in 1962. As such, the latest addition would have been added outside the period of significance. Removing the 1963 addition would improve the building's overall integrity, which today is quite poor as reviewed and commented above, and by Hess, Roise and Company in their 2011 report. Restoring the building to its 1962 appearance by removing the latest addition would subsequently require additional research to determine the appearance of the south façade. Additionally, the removal of the addition would be dependent on the potential future reuse of the property as determined by the City of Wayzata.

RECOMMENDATIONS

It is recommended that the City of Wayzata consider listing the Wayzata Section House in the National Register of Historic Places. There are many potential funding source options that could be utilized to help cover design and construction costs to restore and/or rehabilitate the house, including grants and historic tax credits.

Pending possible reuses of the property, work could include:

- Additional research to determine the 1943 to 1962 appearance of the structure
- Removal of the 1963 addition and restoration of the exterior of the house to the 1962 appearance
- Restoration of the interior
 - o Removal of non-historic materials and repair of original finishes and/or replacement with historically compatible finishes.
For example: removal of the gypsum board layer at the walls to reveal the original wall finish, and/or repair/replace to match the original finish.
 - o Rehabilitate/update the kitchen in a historically sensitive manner.
 - o Rehabilitate/update the restroom in a historically sensitive manner to be ADA accessible.
- Restoration of the site/landscape surrounding the house to its appearance during the period of significance.
- In lieu of removing the 1963 addition, the addition could be redesigned so that it is compatible with historic structure, but distinctively identifiable as being added outside the period of significance. This would be considered a Renovation treatment approach of the existing structure not considered historic, thus preservation funding sources would likely not be available.

POSSIBLE REUSE CONSIDERATIONS

At a meeting with Heidi Nelson and Bryan Gadow, with the City of Wayzata, and Sue Sorrentino, with the Wayzata Historical Society, it was indicated that the City's preference for a potential, lower intensity reuse of the property be in line with the recent "Lake Effect: Wayzata" report, prepared in March of 2014, excerpts of the report relating to the Section Foreman's House are included in Appendix B. The report proposes a new park, Section Foreman's Park, be created in the area immediately surrounding the house.

Some of the objectives noted in the report for the new park include:

- Create new lakeside public gathering space
- Provide year-round food vendor space
- Incorporate all-season programming
- Preserve historic character

The strategies noted include:

- Develop the Section Foreman's Park as a distinctive lakefront venue.
- Provide year-round programming to fully activate the space.
- Acknowledge the role of the railroad in Wayzata's history with an interpretive exhibit.

Based on the proposed plan, it appears that the Section Foreman's Park is to be an anchor for the proposed lake walk. As such, it is recommended that the use of the house be a destination that is open to the public. With this in mind, some possible, lower intensity reuses that would have minimal impact on the historic property could include:

- Dining – café style restaurant similar to Sea Salt at the Minnehaha Refectory, a building managed by the Minneapolis Park & Recreation Board.
- Location for rental of bikes and/or kayaks
- Warming house for ice skating
- Regional trail rest stop

It is recommended that any work that would be required to rehabilitate the house for any future use, be performed in a compatible way and that any original historic fabric be persevered and/or restored. All proposed reuses could provide a historic interpretative area where the railway town's heritage can be celebrated and the role of the Section House acknowledged.

If the house is to be rehabilitated with a change in use from a private residence to a public use, it will require work to conform with current codes. In addition to the 2012 International Building Code (IBC) that was recently adopted in Minnesota, the 2015 Minnesota Conservation Code for Existing Buildings was also recently adopted. The Conservation Code for Existing Buildings regulates the design, alteration, repair, addition, change of occupancy and relocation of existing buildings and structures, including historic buildings. It contains regulations for building conservation using both prescriptive and performance-based provisions with emphasis on performance. These regulations may often be less restrictive than the IBC, making building conservation and reuse of existing buildings most cost effective while maintaining building safety.

In addition to any restoration work, addressing the following will likely be required part of any rehabilitation project:

- Life/Safety Concerns
 - o Exiting requirements
 - o Occupancy restrictions
- Accessibility
 - o Access to all public areas. Access to the second level would not be required if it is private space and not open to the public
 - o Facilities open to the public, i.e. restrooms and usable areas

DRAFT

Appendix A: A National Register Assessment
Prepared by Hess, Roise, and Company, June 2011

DRAFT



**GREAT NORTHERN SECTION HOUSE
738 EAST LAKE STREET, WAYZATA:
A NATIONAL REGISTER ASSESSMENT
(MHS GRANT #3989L-11-HE)**

**PREPARED FOR
WAYZATA HISTORICAL SOCIETY
402 EAST LAKE STREET
WAYZATA, MINNESOTA 55391**

**PREPARED BY
CHARLENE ROISE
HESS, ROISE AND COMPANY
THE FOSTER HOUSE
100 NORTH FIRST STREET
MINNEAPOLIS, MINNESOTA 55401**

JUNE 2011

INTRODUCTION

The house at 738 East Lake Street is located in downtown Wayzata, on a narrow strip of land between Lake Minnetonka and a single railroad track. It is hidden from view from Lake Street, one of Wayzata's main commercial corridors, by buildings along that street and by trees and other vegetation along the tracks. The property is accessed by a lane at the southeast corner of a public parking lot between the street and the lake. The lane goes south across the tracks, then turns southeast along the shore, passing a modern storage building and a small dock. The lane ends on the south side of the residence.¹ Land east of the house has been excavated for a storm water management pond. A few blocks to the west is the Great Northern Depot at 402 East Lake Street. The depot was erected in 1904-1905 and listed in the National Register in 1981 under Criterion C for its architectural significance and under Criterion A for its historic role in serving commuter and resort traffic.

Bryan Gadow, a planner in the Wayzata Planning Department, prepared a draft National Register nomination in 2007. Two architecture students from the University of Minnesota, Tyler Wilfahrt and Shari Hemmingsen, conducted research and drafted a National Register nomination for 738 East Lake Street in 2009. In March 2010, Gadow sent both studies to Susan Roth, the Minnesota State Historic Preservation Office National Register historian, asking for comments on the draft nomination forms. Roth sent a letter in response on July 15, 2010, raising a number of questions about the history of the building's construction and its current condition. To address this request for more information, the Wayzata Historical Society obtained a \$7,000 grant from the Arts and Cultural Heritage Fund through the Minnesota Historical Society and hired Hess, Roise and Company to prepare a preliminary National Register assessment. Bernie Klein oversaw the project for the Wayzata Historical Society. Hess Roise historian Charlene Roise served as project manager and principal author of this report with assistance from researcher Penny Petersen.

This project has been made possible by the Arts and Cultural Heritage Fund through the vote of Minnesotans on November 4, 2008. Administered by the Minnesota Historical Society.

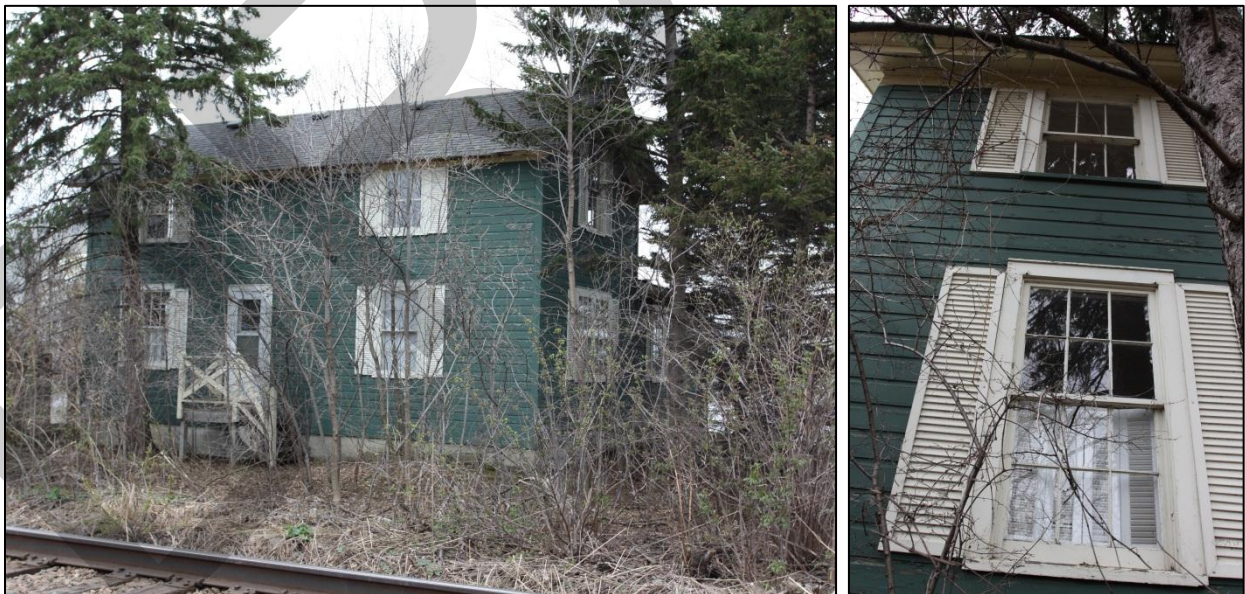
¹ Although the alignment of the residence is slightly off of cardinal directions, to simplify the following discussion, the side facing the lake will be assumed to be south with the other sides corresponding to this alignment.

DESCRIPTION

The house originally faced the railroad tracks to the north. Additions have reoriented it 180 degrees to front on Lake Minnetonka. The original section, measuring about 32 feet wide by 16 feet deep, rises one-and-one-half stories and has a side gable roof. With two single-story extensions to the south, the depth is now about 36 feet. The building, including the additions, are covered with clapboard. The north facade has an off-center door, creating a slightly asymmetrical facade. One window is centered in each of the walls that flank the door. Small second-floor windows are directly above the first-floor windows. The west facade of the original building has paired nonhistoric windows on the first floor and a single window on the second floor. The east facade has a window centered on each floor and a door on the south end, which is approached by steps from the south. A small window is beneath the projecting eaves on the east end of the south side. Some of the windows appear to be original; many have newer shutters.

A porch with paired windows and a doorway is tucked into the southeast corner of the addition section. A band of casements is to the west. The east wall has two windows, and paired windows are on the west wall.

On the interior, a stair divides the first floor of the original section into two rooms, an arrangement repeated on the second floor. A hallway runs east-west to the exterior door in the east wall. The addition section is divided into several rooms. While the interior of the original section has been extensively remodeled, including the insertion of a modern kitchen in the northwest room, some doors, windows, and trim seem to be original. A more detailed physical investigation will be needed to identify original features. The basement contained a large amount of water during a May 2011 site visit and was difficult to examine as a result.



Front (north) facade, and detail of west end of front facade.



East and south sides of original section (right) and addition (below).



West side of original section (left) and addition (above).





Above: The section house in its setting, with views to the northwest (left) and southwest (right).

Below: The interior of the original section. The top photographs show the west (left) and east (right) rooms on the first floor. The lower photographs are of the second-floor bedrooms.



HISTORICAL CONTEXT

The Depot War

The original site of Wayzata was platted in 1854. While its founders attempted to make it a local trade center, a financial panic in 1857 thwarted these ambitions. The community was revived in 1867 when the main line of the Saint Paul and Pacific Railroad Company linked it to Minneapolis some twenty-five miles to the east. This soon brought a new form of economic vitality: tourism. Wayzata, blessed with a beautiful setting on Lake Minnetonka, was one of the lakeshore communities that benefitted from an influx of seasonal visitors by the late nineteenth century.²

The Saint Paul and Pacific was acquired by the Saint Paul, Minneapolis and Manitoba Railway in 1879. The operations of that company were transferred to the Great Northern Railway Company in 1890. Wayzata was part of the company's Willmar Division, which extended west from Saint Louis Park. These communities were fortunate in being in the orbit of the Great Northern, which was under the guiding force of James J. Hill, the "Empire Builder." Hill's vision for the railroad's future extended to the Pacific Ocean, and his work to expand the railroad was relentless. The Pacific link was completed in 1893.³

Although Wayzata was beholden to the railroad for its growth, the citizens did not always appreciate the noise, soot, and hazard associated with train traffic. In 1883, Wayzata passed an ordinance requiring the railroad to move the tracks. When the community tried to enforce it several years later, the case ended up in court. In retaliation for the affront, Hill razed the centrally located Broadway Depot. He built two smaller depots at Holdridge (near today's Bushaway Road/County Road 101) and Ferndale, less convenient locations on the outskirts of town.⁴

The impasse remained until the city council passed a reconciliation ordinance in 1905. It had the desired effect. Hill attended the dedication of a handsome new depot that was erected downtown in the following year. It was officially known in the railroad's records as Station No. A24. While the combination depot accommodated passengers and freight for decades, the arrival of the Twin City Rapid Transit Company's streetcar line in 1914 diverted many commuters and tourists away from the railroad. Cars and trucks were even tougher competition. This ultimately led to the discontinuation of passenger service to Wayzata in 1958 and the transfer of the depot property to the city in 1972.⁵

² Richard Prosser, *Rails to the North Star: A Minnesota Railroad Atlas* (Minneapolis and London: University of Minnesota Press, 2007), 135, 160; Ralph Hidy, Muriel Hidy, Roy Scott, and Don Hofsommer, *The Great Northern Railway: A History* (Minneapolis and London: University of Minnesota Press, 1988), 72-73.

³ Hidy et al, *Great Northern Railway*, 72-73, 85.

⁴ Robert Vogel, "Historical and Architectural Resources of Wayzata, Minnesota," July 2003, Appendix J, page 13, prepared for the Heritage Preservation Board, Wayzata Historical Society; *History of Wayzata, 1854-2004* (Wayzata: Wayzata Historical Society and City of Wayzata 150 Year Celebration Committee, 2004), 19-20.

⁵ Vogel, "Historical and Architectural Resources," Appendix J, page 13; *History of Wayzata, 1854-2004*. Data on many of the company's authorizations for expenditures (AFE) are included in a joint archive website maintained by the Great Northern Railway Historical Society and the Northern Pacific Railway Historical Association (http://www.gn-npjointarchive.org/Lists/AFE_List/), hereafter cited as GNRHS/NPRHA Archives. The original

Railroad Operations in Wayzata

Railroad operations required a large staff and a variety of buildings and other facilities. A sense of the scale of the latter is provided by Great Northern records of construction and maintenance associated with Wayzata in the early twentieth century. In 1901, a storage house for hand cars was relocated to Saint Anthony Park. In the following year, the railroad moved a privy from Ferndale to Wayzata and erected a 16-foot by 32-foot section house with a 14-foot by 16-foot kitchen. The budget for the house was \$775. This is apparently the building at 738 East Lake Street. On May 17, 1902, the *Minneapolis Journal* reported that “the Great Northern railway is building a house at Wayzata.”⁶

The return of the depot to Wayzata a few years later also entailed removing the old stations and erecting a 16-foot by 150-foot dock just east of the new depot. The building was connected to the city water supply and a well was retired. During the same period, the railroad installed a 400-gallon steel tank with a brick structure, as well as a 50,000-gallon wood water tank on a 30-foot-tall wood tower with a 12-foot by 14-foot pump house. (Sanborn maps and a photograph in the collections of the Wayzata Historical Society indicate that the wood water tower was near the section house.) In 1907, a coal shed was relocated, and in 1910 the railroad built an 8-foot by 15-foot wood septic tank and a 16-foot by 32-foot freight depot. A “box car body bunkhouse” was placed in the vicinity in 1912, presumably to house maintenance crews. (This structure was sold to a private party in 1933 after being condemned.) Railroad property also included a signal maintainer’s building.⁷

In addition, major and minor adjustments were made to the track over time. The railroad installed a crossover for the main line between Wayzata and Ferndale in 1904, for example, and removed a 202-foot-long main-line crossover from the Peoples Ice Company the next year. Track had to be relocated when the depot was erected in 1905, and a new 1,120-foot side track accompanied the freight depot in 1910.⁸

The pedestrian dock, car body repair shop, and tool house were “retired” in 1943, signifying a major change in the railroad’s operations in Wayzata.⁹

Maintenance of Way

Given their extensive holdings and nonstop operation in all seasons, railroad facilities were costly to maintain. According to an early twentieth-century source, “experience shows that over 23 per cent of all the expense of operating the road is required for maintaining the track, bridges, culverts, buildings, fences, gates and crossings, and over 15 per cent for maintaining the

source for this information is the Great Northern Railway Company Archives at the Minnesota Historical Society. Box 133-F-11-8-F contains index cards for AFEs at the Wayzata station from 1917 to 1974; these are cited as Index Cards, GNRCA-MHS. An entry on a card dated November 1, 1972, documents the transfer of the depot: “Retire and donate in place depot facilities to the City of Wayzata, relocate telephone.”

⁶ This information is from entries in the GNRHS/NPRHA Archives and the *Minneapolis Journal*, May 17, 1902.

⁷ GNRHS/NPRHA Archives; Index Cards, GNRCA-MHS.

⁸ GNRHS/NPRHA Archives.

⁹ Index Cards, GNRCA-MHS.

equipment in good order so that operations may be continued with economy and safety.” It added: “The problem of maintenance of track is constantly becoming more and more difficult by reason of the increased weight of rolling stock and the heavier loads hauled.”¹⁰ Indeed, tracks were one of the most critical components of the system, requiring day-to-day maintenance and repair. Despite the best diligence, emergencies were inevitable, and personnel had to be available twenty-four hours a day, seven days a week, to address any problems that came up.

A book published in 1915 explained: “The territory covered by a railway is divided into districts or divisions each of which is further subdivided and each subdivision placed in charge of a roadmaster or supervisor of track. Each subdivision is in turn subdivided into sections. The section-foreman is in charge of the section and is assigned a force of men varying in number according to the location and length of the section, density of traffic, equipment of track, season of the year, etc.”¹¹

The person directly responsible for keeping the track in good operating condition was the section foreman. This position was the highest some men attained, while others used it as a stepping stone to other management jobs. A 1901 text noted that fieldwork provided critical training for young engineers, who are placed “in section gangs where they can learn the practical work and are then advanced to section foremen, supervisors of several gangs of section men, and then to roadmasters.”¹²

Sections were a very small unit in a vast railway system. “On our more important lines,” a 1901 book reported, “a section of single track should not exceed six miles, and section-houses should be placed as near a telegraph office or station as possible.” Double-track sections were shorter, around four miles in length. (Separate bridge crews had special equipment and training and covered a larger territory.) “The foreman should have the care of track and property of the company on his section, and should be held accountable for their proper care and maintenance.” They used handcars to inspect all of the tracks within their purview, usually twice a week. The size of a section gang related to the scale and use of the track: “On roads having a large traffic, each section gang should consist of a foreman and one and one-half men per mile of double track, with an additional allowance of one man for every two miles of sidings. On single track each gang should consist of a foreman and one man per mile of track, with an additional allowance of one man for every two miles of sidings.” Maintenance work required specialized equipment, so “each section should have a tool house large enough to accommodate a hand car and a full complement of tools.”¹³

Convenient housing was not always readily available for trackmen, who typically led a rather transient life, so railroads provided “section houses” for these workers. Standardization was required for the operation of a rail system, and this approach was extended into ancillary structures including section houses. Situated in the right of way, “the houses are usually framed structures, and are built single or double”—the latter to hold two crews—according to a book on

¹⁰ Marshall M. Kirkman, *Building and Repairing Railways—Supplement to the Science of Railways* (New York and Chicago: World Railway Publishing Company, 1901), 323.

¹¹ William C. Willard, *Maintenance of Way and Structures* (New York: McGraw-Hill Book Company, 1915), 23.

¹² Kirkman, *Building and Repairing Railways*, 325.

¹³ *Ibid.*, 327, 331-332.

railroad structures published in 1918. “The character of these houses varies to suit the class of labor and the accommodation necessary or desirable to provide under different conditions.”¹⁴

Another book from the same period explained that “section dwelling-houses are of three kinds: Section-houses, in which both foreman and laborers live; section-foreman’s houses and section-laborers’ houses. The plans of these vary greatly on different railways.” Costs could vary greatly as well—from \$600 to \$5,000, with around \$2,000 said to be the norm.¹⁵

“The general plans are based on climatic conditions and adaptability to different nationalities of laborers.” One of the biggest challenges that section foremen faced—one that seemed to loom larger than the relatively straightforward task of keeping the rails in service—was training and managing crew members. “The ordinary wages paid section-laborers are not enough to attract reliable men,” one writer complained. The first chapter of another early twentieth-century book on *Practical Track Maintenance* was headed “The Big Problem—Labor,” and the third chapter covered “Handling Laborers of Different Nationalities.” Rather surprisingly, “outside of the American or northern European trackmen who used to be available for section work, the American hobo is conceded to be the best all around trackman. . . . A foreman could come nearer [to] treating such men as equals than he could men of foreign nationalities. It is a much easier and pleasanter job to handle men who not only understand the English language but who understand track work thoroughly.”¹⁶

To retain crews, the foreman often had to share lodging and food. “Under such circumstances the foreman’s wife generally has charge of the house and boards the men of the gang.” A contemporary source confirms that “in order to have the trackmen live on their sections it is often necessary to provide houses for them, the foremen very generally boarding the single men.”¹⁷ It appears that residences designed to include borders were larger as the illustrations on the next page suggest. More illustrations on the following pages show some typical station house designs.

¹⁴ J.W. Orrock, *Railroad Structures and Estimates*, 2d ed. (New York: John Wiley and Sons, 1918), 343.

¹⁵ Willard, *Maintenance of Way and Structures*, 23.

¹⁶ *Ibid.*, 23, 272-273; Kenneth L. Van Auken, *Practical Track Maintenance*, 2nd ed. (Chicago: Railway Educational Press, 1921), 13, 52.

¹⁷ Willard, *Maintenance of Way and Structures*, 23, 272-274; E. E. Russell Tratman, *Railway Track and Track Work*, 3d ed. (New York: Engineering News Publishing Company, 1908), 213.

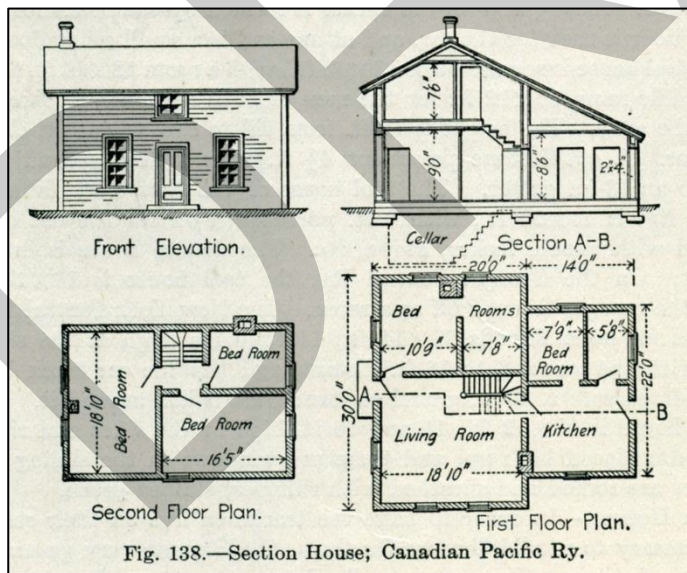


The photograph to the left, dated 1900, depicts a large section house for the Eastern Minnesota Railroad in Ball Club, Minnesota.

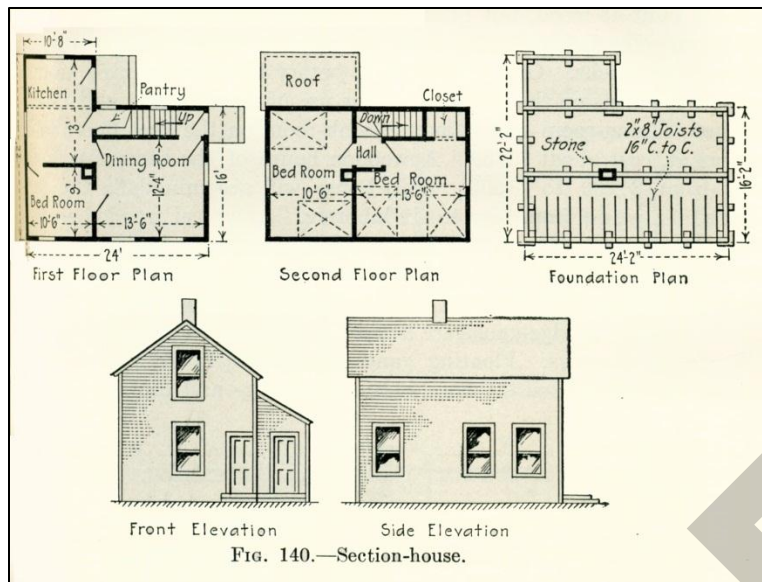


The front and side (left photograph) and back (right) of a section house of similar design in Henricks, Minnesota, in 1990. It has suffered a number of alterations since its construction in the late nineteenth or early twentieth century.

(All photographs from Minnesota Historical Society Collections)

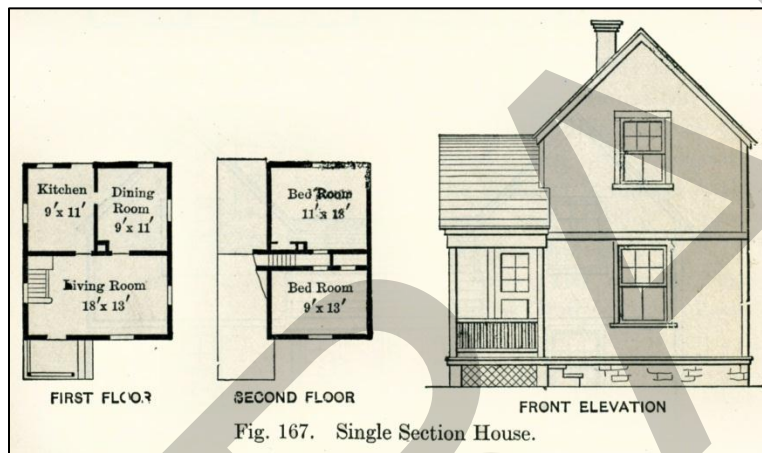


These drawings from a book published in 1908 show a section house of the Canadian Pacific Railway that was designed to accommodate a number of workers. The text describes the structure as "a very plain house." (Tratman, Railway Track and Track Work, 213-214)

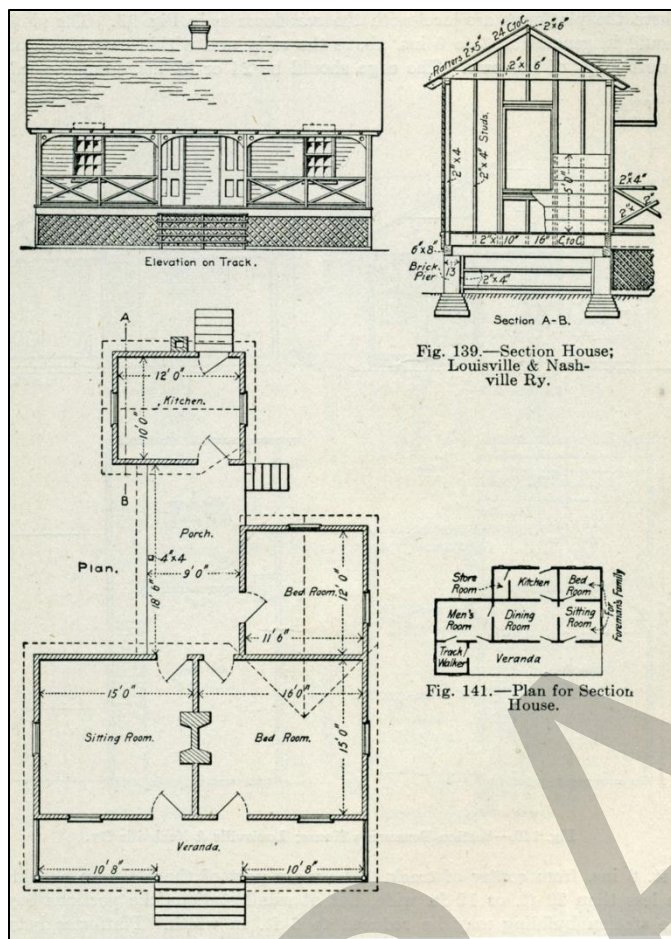


Both of the section houses illustrated on this page are similar, with gable-front designs. One has a projecting front entry porch; the kitchen extends from the side of the other plan. The main mass of the upper house is 16 wide by 24 feet deep; the lower house is about 2 feet wider and of the same depth.

The top drawings are from a 1915 publication and depict “a typical wooden section-house.” This was apparently a standard design of the Lehigh Valley Railroad, and it was also used by the Northern Pacific. “The outside painting is Indian red with bottle green trimmings, and is sanded to a height of 6 ft. The inside is sealed.” The text notes that “bridge-gangs are housed in old passenger-cars converted into living quarters. Floating gangs are housed in old box cars converted into bunk-cars.” (Willard, Maintenance of Way and Structures, 273-274)

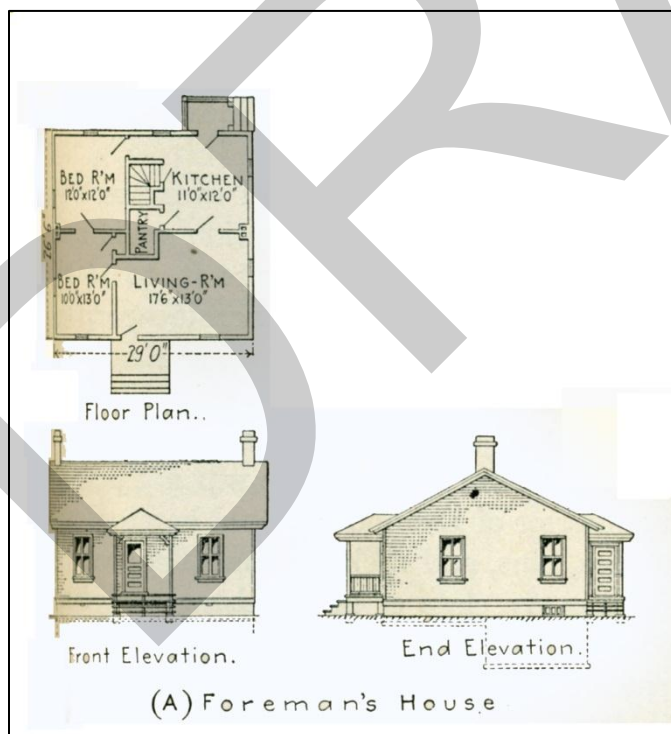


According to a 1918 publication, the section house in figure 167 (bottom drawing) is “an ordinary single section house” that “can be built for \$750, wood foundation, or \$900 with concrete foundation.” It provides further details of the construction: “Frame and partitions, spruce; rough boarding, floors, clapboards, outside and inside finish, frames, etc., good quality native spruce or pine; shingles, pine or cedar; all mouldings, doors, windows, and inside finish, stock pattern.” “Cedar sills or posts about 5-ft. centers, or when it can be done cheaply, concrete, stone, or brick foundation with cellar. Frame, 2" × 3" studs at 16-in. centers, 2" × 10" joists at 16-in. centers, ceiling roof joists and rafters 2" × 6" at 16-in. centers, 4" × 3" wall plates and runners, outside walls 7/8-in. rough boarding, with 7/8-in. ship lap, siding, or shingles, with building paper between, and 1" × 5" trim around windows, doors, porch, eaves, etc. All inside walls lathed and plastered. Shingle roof, 7/8-in. boards with building paper between. Floors 7/8-in. rough boards and 7/8-in. finished floor with building paper between for ground floor, and 7/8-in. finished floor only for upper story.” (Orrock, Railroad Structures and Estimates, 343-344)



The drawings on the left depict two section houses of the Louisville and Nashville Railway. The single-story plan and the inclusion of verandas is a sign that section house designs sometimes responded to particular regional conditions.

(Tratman, Railway Track and Track Work, 213, 215)



This house is for a section foreman of the Lehigh Valley Railroad. It has a larger footprint than many of the plans—29 feet by 26.5 feet, plus projecting entries on the front and back—but is only a single story.

(Willard, Maintenance of Way and Structures, 273-274)

Great Northern Standard Plans

The Engineering Department records in the substantial Great Northern archives, which are located at the Minnesota Historical Society, have standard plans for some section houses. None have been found, however, that could have provided the design for the Wayzata structure. Design 8324, for example, which is dated 1899, is for a two-story, 30-foot by 30-foot structure with eight rooms. Other standard plans are for smaller, single-story houses. By 1918, the railroad had adopted a bungalow style (the 8141 series) for cottages with four to six rooms.¹⁸

Although standard plans that match the design of the Wayzata section house have not been located, an 1890 photograph (below) of a Great Northern section house in Askov, Minnesota, suggests that other buildings shared the same design.

*Askov section house (below),
and detail of Wayzata section house (right).
(Historic photograph from Minnesota Historical Society Collections)*



¹⁸ The drawings were in GNRCR-MHS, Chief Engineer, Structures Drawings Code #0012, 1882-1964.

The Wayzata Section House

Although some sources give a construction date of 1914, it appears that the house was erected in 1902, based on the Great Northern's records. The 1905 federal census listed only one person in Wayzata whose occupation was given as "railroad": Thomas Gannon. The twenty-nine-year-old man was born in Minnesota to Irish parents and had a twenty-year-old wife, Julia, who was born in "Dakota." Her parents were from Wisconsin. Although his position with the railroad is not provided, they presumably occupied the section house.¹⁹

Two people associated with the railroad appear in the 1910 census. Maurice Carmody was a "towerman." The thirty-three-year-old single man was a border with the family of Lars Pederson, a sail maker. The second railroad employee, Ole Stafney, was a railroad section foreman. The forty-nine-year-old man emigrated from Norway in 1888, as did his wife, Anna, who was forty-five years old in 1910. By 1910, she had produced nine babies, and six survived. Five lived with them in Wayzata: sons Olaf (age 19, a grocery wagon teamster), Jalmer (age 12), Custer (age 7), and Lowell (age 2), and daughter Olga (age 15). They presumably occupied the building at 738 Lake Street, and the size of the family apparently prohibited them from taking in borders.²⁰

An index of the railroad's authorizations for expenditure occasionally mention the section house, and other entries might also relate to the property. An order on December 8, 1926, was for "installing electric lights in section house," a project apparently done by railway employees. A payment approved May 23, 1938, covered an "assessment for five year period 1933 to 1937 incl. levied against railway co. property for cost of construction of water main." On September 26, 1938, an expenditure of \$190 was approved to "install 100 ft. pipe line between City water main and the section house and install cesspool." Other payments to the city for assessments related to water main construction were approved June 6, 1939, and June 13, 1941. An entry on August 10, 1942, is to "furnish and place 725 cu yds riprap and slope bank of Lake Minnetonka from sta. 765+75 to 766+60" for \$825.²¹

On June 12, 1943, work was authorized to "place section house on concrete foundations, etc., \$2175." An entry on December 8 of the next year was to "install toilet facilities in section house and place sewer line" at a cost of \$550. (Wayzata did not have a municipal sewer system until the 1930s; before that, according to a local history, "The Lake was both water supply and sewage receptacle!")²²

One of the main sources of information about the building is a 1959 article in the *Minnetonka Herald* entitled "Wayzata Section House among Last of Those that Once Lined Railroad." Written only a few years before the house was sold by the Great Northern, the article has

¹⁹ U.S. Census enumeration records for the Village of Wayzata from the Fifth Decennial Census of Minnesota (1905), Sheet 4.

²⁰ U.S. Census enumeration records for the Village of Wayzata from the Thirteenth Census (1910), sheets 19 and 20. The Minnesota birth certificates index on the Minnesota Historical Society website (www.mnhs.org) lists a Custer Gerald Stafney born on December 27, 1902, in Meeker County and a Lowell Russell Stafney born on November 21, 1907 in Hennepin County.

²¹ Cards for Wayzata in Box 133-F-11-8-F, GNRCR-MHS.

²² Ibid; *History of Wayzata, 1854-2004* (Wayzata: Wayzata Historical Society and City of Wayzata 150 Year Celebration Committee, 2004), 31.

information about both the house and the lives of its occupants, Mr. and Mrs. Gustave Frederick Ehrreich. Gustave, who was born in about 1900, had started working for the railroad at the age of fifteen and had become a foreman by the time he was twenty-five. He got married about a decade later, and the couple had lived in railroad housing their entire wedded life. The article noted that although they had moved numerous times, Mrs. Ehrreich “never once . . . experienced the frustration of trying to make the old curtains fit windows in the new place. The reason is quite simple. The houses have all been identical.” The paint color was always grey, inside and out, and the layout was “austere, simple with two rooms upstairs and two down.”²³

According to the article, the section houses were built by carpenters employed by the railroad and situated at about ten-mile intervals on the Willmar line. The railroad did not charge rent, but the occupants were responsible for paying for their own utilities. Assignments for sections were based on seniority, and “Wayzata has been a high ranking location for many years, perhaps because of its ideal location on a perfect stretch of beach with a million-dollar view across the bay.”²⁴

As more rental housing became available, it was no longer essential to provide quarters for the section men, and the railroad sold off most of the houses. The article claimed that the section house “in Wayzata is the only one in Minnesota,” but also reported that “the house in the St. Boni sector on Lake Waconia was purchased by the section foreman . . . when he retired. He remodeled the house and his wife still lives there. The section house in Willmar was sold recently.” This contradiction suggests that the article is not altogether reliable, but it seems likely that few houses are extant and that the survivors have been altered.²⁵

By the mid-twentieth century, the railroad apparently loosened its requirements for conformity. The 1959 article reported that “about five years ago Wayzata broke with the old custom, and the section house was painted white with green trim. Two rooms were also added to the first floor facing the lake.”²⁶

The final mention of the section house in the railroad’s authorizations for expenditures comes on October 8, 1962: “Sale of approximately .11 acres land and section house to Dr. Charles N. Brooks at Wayzata, Minnesota.”²⁷

The new owner received a permit from the city to “remodel front” in the following year, a project estimated to cost \$3,800. The existing building dimensions shown on the permit are 32 feet wide and 30 feet deep, so the project apparently produced the southernmost section of the building.²⁸

²³ “Wayzata Section House among Last of Those that Once Lined Railroad,” *Minnetonka Herald*, July 23, 1959.

²⁴ Ibid.

²⁵ Ibid.

²⁶ Ibid.

²⁷ Ibid; *History of Wayzata, 1854-2004*, 31.

²⁸ A copy of the building permit application, dated June 12, 1963, is included in Bryan Gadow, “Roadmaster’s Cottage,” draft National Register of Historic Places Nomination Form, 2007, 7-1, prepared for the City of Wayzata.

In 1984, the building was repaired after storm damage. The work is described on the building permit: “Replace damage[d] framing on roof/walls. Interior/exterior painting, replace brick chimney.”²⁹

DRAFT

²⁹ Ibid.

NATIONAL REGISTER EVALUATION

Wayzata 2003 Survey

A survey of Wayzata's historical and architectural resources was completed in July 2003 by historian Robert Vogel. The survey classified properties into three categories related to potential local "Heritage Preservation Site" designation: 1) properties that were individually eligible; 2) properties that were not individually eligible but that contributed to one of three potential historic neighborhood heritage preservation districts—South Wayzata ("Bluff"), North Wayzata, and Old Holdridge; and 3) "old buildings and sites . . . [that] were evaluated as nonsignificant and therefore ineligible for Heritage Preservation Site designation because of their lack of architectural distinction or compromised historic integrity due to alterations, additions, or deterioration."³⁰

The survey identified several buildings in addition to the Great Northern Depot that were associated with the railroad. Two were classified as being contributing features in potential local historic districts, although neither was flagged as "pivotal" in those districts:

- The O'Laughlin House, 507 Rice Street East: "Four-Square Style suburban cottage; historically associated with the Great Northern Railroad (station master's residence). . . . Built in 1915." The study found that it "contributes to the historic character of the [Bluff Neighborhood] district."
- House, 337 Reno Street: "Gabled Ell Style suburban cottage; historically associated with the Great Northern Railroad (station master's residence). . . . Built in 1904." Even though the property was altered, it was determined to contribute to the historic character of the proposed Old Holdridge Historic District.³¹

The survey also mentioned the Wayzata Section House, which was identified as "House (Roadmaster's Cottage)" and described as a "vernacular suburban cottage on Wayzata Bay." The report gave a construction date of 1914, and noted the property's association with the Great Northern Railway. The building was placed in the third category as "nonsignificant."

The designations of "station master's residence" for 337 Reno and "roadmaster's cottage" for 738 Lake are questionable. While the 1904 construction date of the house at 337 Reno coincides with the construction of the new depot, the house is located about a mile to the east, near the Wayzata Yacht Club, not a convenient location for a station master. It is, though, very close to the tracks. The house at 507 Rice Street, on the other hand, is only two blocks from the depot, making it a more logical location for someone in that position, but it was built a decade later, if the construction date is correct. The label of "roadmaster's cottage" for the residence at 738 Lake Street is also suspect. As discussed above, the roadmaster was at the apex of field workers; the modest building at 738 Lake seems more likely a section foreman's residence.

³⁰ Vogel, "Historical and Architectural Resources of Wayzata," Appendix J, page 98.

³¹ Ibid., Appendix J, pages 88 and 98.

National Register Multiple Property Listing

A National Register of Historic Places Multiple Property Documentation Form has been prepared for “Railroads in Minnesota, 1962-1956.” Section F, “Associated Property Types,” includes a discussion of section houses and provides registration requirements. It outlines registration requirements for individual section houses by criteria:

- Criteria A and B: “If the railroad corridor does not retain integrity as a historic district, a section house will not convey its function as a specialized railroad building.”
- Criterion C: “A railroad section house will meet Criterion C if it meets one of the following conditions: it embodies the distinctive architectural design or construction methods associated with significant railroads, including the use of standard company designs; it embodies the work of a significant architect, engineer or builder; or it represents historically important trends in the evolution of standardized railroad company architecture.”
- Criterion D: “The structure or its ruin itself must be, or must have been, the principal source of . . . important information” regarding “a significant aspect of the standardized architecture developed as part of the evolution of its class of railroad-related properties.”³²

Evaluation of Wayzata Section House

The Wayzata Section House is most likely to qualify for the National Register under Criterion C for embodying the standard design of a significant railroad, the Great Northern. More research should be done to verify that the Wayzata house is a rare survivor of a once common property type. Assuming this is the case, however, the property appears likely to meet the registration requirement for Criterion C.

Although some information has been discovered about the property, there are many gaps—for example: Who occupied the house over time and what were their backgrounds? Did it sometimes shelter laborers as boarders in addition to the foreman’s family? Do standard plans survive anywhere? What other railroad structures (e.g., tool house) were associated with the house, and where were they located? Information to fill these gaps might be obtained from in-depth research that was beyond the scope of this project (e.g., a more intensive probe of the archives of the Great Northern Railway Company, a detailed examination of local newspapers and other publications, interviews with individuals knowledgeable about the Great Northern’s history).

The period of significance begins with the building’s construction in 1902. Further research is needed to establish the ending date. There are at least three options: 1943, the mid-1950s, or 1962. The early to mid-1940s appear to be a turning point for the railroad’s operations in Wayzata. As mentioned above, the pedestrian dock, car body repair shop, and tool house were “retired” in 1943. The section house was placed on a concrete foundation and had other work performed in the same year. In the following year, a sewer line and toilet facilities were installed in the house. In 1945-1946, the tracks were shifted towards the lake so that Lake Street could be

³² Andrew Schmidt, Daniel Pratt, Andrea Vermeer, and Betsy Bradley, “Railroads in Minnesota, 1962-1956,” National Register of Historic Places Multiple Property Documentation Form, prepared by Summit Envirosolutions, Saint Paul, F-243 – F-246.

widened—a project that cost the railroad over \$100,000. Further change occurred in 1953 when the railroad logged a work order to convert a “public crossing to private crossing on Broadway st. and construct fence and gate.” This might refer to the access road to the section house, which is at the foot of Broadway. Around the same time, two rooms were added to the south side of the section house. Finally, the railroad sold the house in 1962. There does not appear to be a reasonable argument for extending the period of significance beyond that date.³³

Issues of Integrity

As is apparent from the description earlier in this report, the Wayzata Section House has been subjected to many alterations. These have affected its integrity.

Some alterations to the building are minor in nature and easily reversible. Nonhistoric shutters could be removed and the location of the attachments repaired. The exterior paint scheme, now green and cream, could be returned to the original gray color. The modern asphalt-shingle roofing could be replaced by something more appropriate to the early twentieth century.

Some of the alterations might date from the building’s period of significance and could be significant in their own right. One addition is clearly later. On June 12, 1963, the Dahl and Baldus Construction Company applied to the City of Wayzata for a building permit to remodel the property. At that time, the dimensions of the house were given as 32 feet across the front, 30 feet in depth, and 20 feet (1.5 stories) high. The project was estimated to cost \$3,800.³⁴

The remodeling apparently produced a single-story extension to the south holding a recessed entry porch. The south facade clearly reflects its 1960s origin and is visually jarring. This further reinforced the building’s reorientation to the south, which began with the 1950s addition, detracting from its relationship to the railroad tracks to the north.

Another strike against the building’s integrity is the replacement of the chimney in 1984. The chimney, a functional necessity, would have been of little visual interest on a more ornate structure. Because the building’s design was so utilitarian, however, the chimney was a pivot point, reinforcing the symmetry and serving as the building’s apex.

The setting has also experienced alteration. In about 1988, the City of Wayzata installed a storm water treatment pond directly east of the building. This is a modern intrusion, and changes the relationship the house had to a small creek that emptied into the lake in that vicinity.³⁵

The growth of vegetation on the north side of the house makes it difficult to imagine that as the front facade. The vegetation is overgrown on the other sides as well, particularly to the west. This, however, would be easy to reverse.

³³ Index Cards, GNRCA-MHS.

³⁴ Dahl and Baldus Contracting Company, Application for Building Permit to City of Wayzata, June 12, 1963, reprinted in “Railroad Section House,” draft National Register of Historic Places Registration Form for 738 Lake Street East, Wayzata, prepared by Shari Hemmingsen and Tyler Wilfahrt, December 8, 2009.

³⁵ Hemmingsen and Wilfahrt, “Railroad Section House,” 3.

Recommendations

The building, constructed from a standard Great Northern plan, once had numerous contemporaries. Few if any are known to survive in Minnesota, the company's headquarters. While a comprehensive inventory of this property type has not been completed, it seems likely that the attrition rate for this utilitarian building type is high. As such, the building is significant under Criterion C in the area of transportation as a representative example of a once common building type that was an important component in the operation of a main line of a major American railroad, the Great Northern.

The building's integrity is greatly compromised. A historic structures report conducted by architects and historians who meet the Secretary of the Interior's Professional Qualifications Standards would be extremely helpful in answering questions about the original design that might not be provided by archival sources.

Given the building's poor integrity, it is probably necessary to undertake some restoration before the property could be successfully nominated to the National Register. It is imperative that any surviving historic materials and elements, such as windows, be retained. The case for designation would be strengthened by the restoration of some components, such as interior window trim, and removal of the 1963 addition. Moving the building to a different location would further harm its integrity and is not recommended.

DRAFT

Appendix B: Excerpts from: Lake Effect: Wayzata
Final Draft March 2014, pages 20-21 and 52-53

DRAFT

SECTION FOREMAN'S PARK



HIDDEN GEM REVEALED

Embracing this historic site offers many opportunities for Wayzata. A rehabilitated Section Foreman's house serves as a touchstone to the past, acknowledging the role of the railroad in keeping Wayzata's lakefront open. This project also creates a new lakeside venue with unique opportunities for summer and winter activities.

OBJECTIVES

Create a new lakeside public gathering space

Provide year-round food vendor space

Incorporate all-season programming

Preserve historic character

SECTION FOREMAN'S PARK

Suggested Enhancements	Description	Order of Magnitude Cost
Rehabilitate Section Foreman's House	Repair and update house.	\$ 1,000,000 - 1,175,000
Landscape and stormwater pond cleanup	Invasive species monitoring and removal, stormwater pond re-engineering, landscape design, installation, and maintenance, shoreline restoration, litter removal.	\$ 575,000 - 675,000
Vehicle and pedestrian access	Permeable pavers on access road and walking trail from Broadway pier to Section Foreman's Park	\$ 250,000 - 275,000
Total		\$ 1,825,000 - 2,125,000

STRATEGIES

Develop the Section Foreman's Park as a distinct lakefront venue.

Provide year-round programming to fully activate the space.

Acknowledge the role of the railroad in Wayzata's history with an interpretive exhibit.

When the railroad tracks were built, a section foreman oversaw track workers for each section of the track. This railroad company employee was also responsible for inspecting and maintaining the tracks, and was housed next to them for that purpose.

WAYZATA LAKE EFFECT

ACTIVITY CENTERS

Early in the Lake Effect initiative, the community identified nine distinct areas where improvements could be made to enhance the city's image and relationship to Lake Minnetonka. These nine activity centers already provide opportunities for residents and visitors alike to work, shop, and play along the lake, but also have untapped potential to help the city embody more fully the community's values as defined in Phase One.



- NEW DEVELOPMENT
- CIVIC VENUES
- NEW PARKING STRUCTURES

9 WEST END

1 SHAVER PARK AND RAND BEACH

2 BOATWORKS

8 MINNETONKA AVE

7 CIVIC CAMPUS

6 MILL STREET

5 EASTERN GATEWAY

3 CENTRAL LAKEFRONT

4 SECTION FOREMAN'S HOUSE

NORTH

CC_04212015
Page 107 of 140

CITY OF WAYZATA

RESOLUTION NO. 08-2010

**A RESOLUTION OF SUPPORT FOR A GRANT APPLICATION OF A HISTORICAL
CONTEXT STUDY OF THE WAYZATA SECTION FOREMAN'S HOUSE.**

WHEREAS, the Section Foreman's House (also known as the Roadmaster's Cottage) located at 738 Lake Street was built in 1914 by the Great Northern Railroad, and was purchased by the City in 1988; and

WHEREAS, the Section Foreman's House is believed to be one of the last of its kind in Minnesota; and

WHEREAS, the Section Foreman's House is historically significant to the City of Wayzata, because of the importance of the railroad in development of the community and the nation; and

WHEREAS, the Wayzata Heritage Preservation Board and the Wayzata Historical Society have identified the Minnesota Arts and Cultural Heritage Fund Legacy Grant as a potential funding source for a historical context study of the Section Foreman's House; and

WHEREAS, both the City of Wayzata and private parties have at various times initiated discussions regarding the restoration and utilization of the Section Foreman's House as a destination for residents and visitors; and

WHEREAS, the Wayzata City Council has expressed interest in further understanding the historical context of the Section Foreman's House and the feasibility of restoring the structure.

NOW, THEREFORE, BE IT RESOLVED, that the Wayzata City Council supports the Wayzata Historical Society in preparing and submitting an application for a Minnesota Arts and Cultural Heritage Fund Legacy Grant.

BE IT FURTHER RESOLVED, that if the Wayzata Historical Society is successful in receiving grant funding for a Historic Structures Report on the Section Foreman's House, they will present the report findings to the Heritage Preservation Board and the City Council.

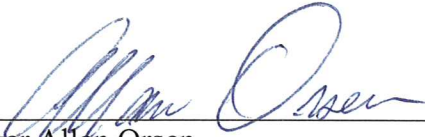
BE IT FINALLY RESOLVED, that after the completion of the Historic Structures Report, the Heritage Preservation Board, the Planning Commission, and the City Council will submit an application for the Section Foreman's House for inclusion in the National Register of Historic Places or other state or local historic designations, in accordance with the historic preservation process outlined in Section 801.11 of the Wayzata Zoning Ordinance.

Adopted by the Wayzata City Council this 2nd day of March, 2010.



Mayor Kenneth Willcox

ATTEST:



City Manager Allan Orsen

ACTION ON THIS RESOLUTION:

Motion for adoption: Amdal

Seconded by: Mullin

Voted in favor of Amdal, Bader, Mullin, Tanner, Willcox

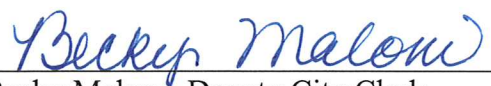
Voted against: None

Abstained: None

Absent: None

Resolution Adopted.

I hereby certify that the foregoing is a true and correct copy of a resolution adopted by the City Council of the City of Wayzata, Minnesota, at a duly authorized meeting held on March 2nd, 2010.



Becky Malone, Deputy City Clerk

SEAL



Zak A. Andersen
President

BNSF Railway Foundation
P.O. Box 961057
Fort Worth, TX 76161-0057
2850 Lou Menk Dr.
Fort Worth, TX 76131-2830
817-867-6407
817-352-7924 fax
Zak.andersen@bnsf.com

May 27, 2014

Ms Bernadette Klein
Project Manager
Wayzata Historical Society
402 East Lake Street
Wayzata, MN 55391

Dear Ms Klein:

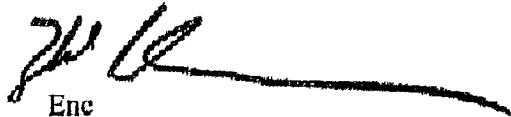
It is a pleasure to enclose BNSF Railway Foundation's **\$10,000.00** contribution towards the Wayzata Great Northern Section Foreman House Historic Structures Report/Reuse Study. By endorsing and depositing this check, you warrant that there has been no change in your I.R.S. tax classification as an organization described in Internal Revenue Service Code section 501(c)(3). If you would like to publicize this grant, please feel free to do so.

The BNSF Foundation does not accept perquisites in exchange for its charitable giving. Therefore, kindly donate any tickets or other benefits to which the Foundation may be entitled to an eligible 501(c)3 public charity. No tickets may be given to BNSF employees or their families.

It is important for our Foundation to be informed about the success of our investments in our communities. Therefore, we ask that you send a Final Report one year from today's date or at the project end date, whichever comes first, containing the amount of the grant, a brief description of the project or program, and how the Foundation's funds have impacted your constituents and the community at large. You may include photos with your report. Final Reports may be sent via electronic mail to deanna.dugas@bnsf.com, or through postal service to the Foundation's address above. If you would like to reapply for future consideration, we ask that organizations refrain from applying more than once per year.

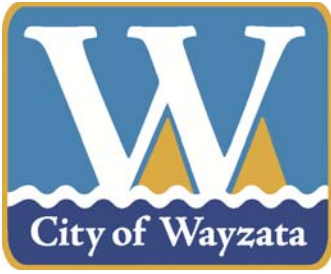
If you have any questions, you may contact Deanna Dugas, Manager BNSF Railway Foundation, at deanna.dugas@bnsf.com or (817) 867-6458. We extend our best wishes for your continued success and look forward to hearing about your accomplishments during the year. It is a pleasure to be among your current supporters.

Sincerely,



Enc

u



City of Wayzata Public Works
299 Wayzata Blvd. W
Wayzata, MN 55391

Director of Public Service
David Dudinsky

City Engineer/Asst. Public Works Director
Mike Kelly

Public Works Superintendent
Jim Eibensteiner

Public Works Secretary/Utility Billing Clerk
Rebecca Jones

To: City Council
From: Public Works Department
Date: April 16, 2015
Re: 2015 Dock Expansion

Please find below a summary of the single bid received by the Public Works Department on Thursday, April 16, 2015 for the 2015 Dock Expansion project. There were seven (7) plan holders for the project, prior to bid.

The City solicited bids for both the outright purchase of the dock systems as well as a five year lease term.

Each dock facility was bid out as a lump sum price with the swimming dock at the beach broken into two alternates, a "U"-shaped facility and an "H"-shaped facility. The summary prices for each facility are provided below.

	Purchase	5-year Lease	Total Lease + Buyout
Broadway Dock	\$70,619	\$15,690/year \$35,300 buyout	\$113,750
Depot Dock	\$73,022	\$16,230/year \$36,500 buyout	\$117,650
"U" shaped swim dock	\$35,672	\$7,950/year \$17,800 buyout	\$57,550
"H" shaped swim dock	\$51,640	\$11,480/year \$25,800 buyout	\$83,200

**The contractor has provided a quote of \$7,600/year for installation, removal, and maintenance.

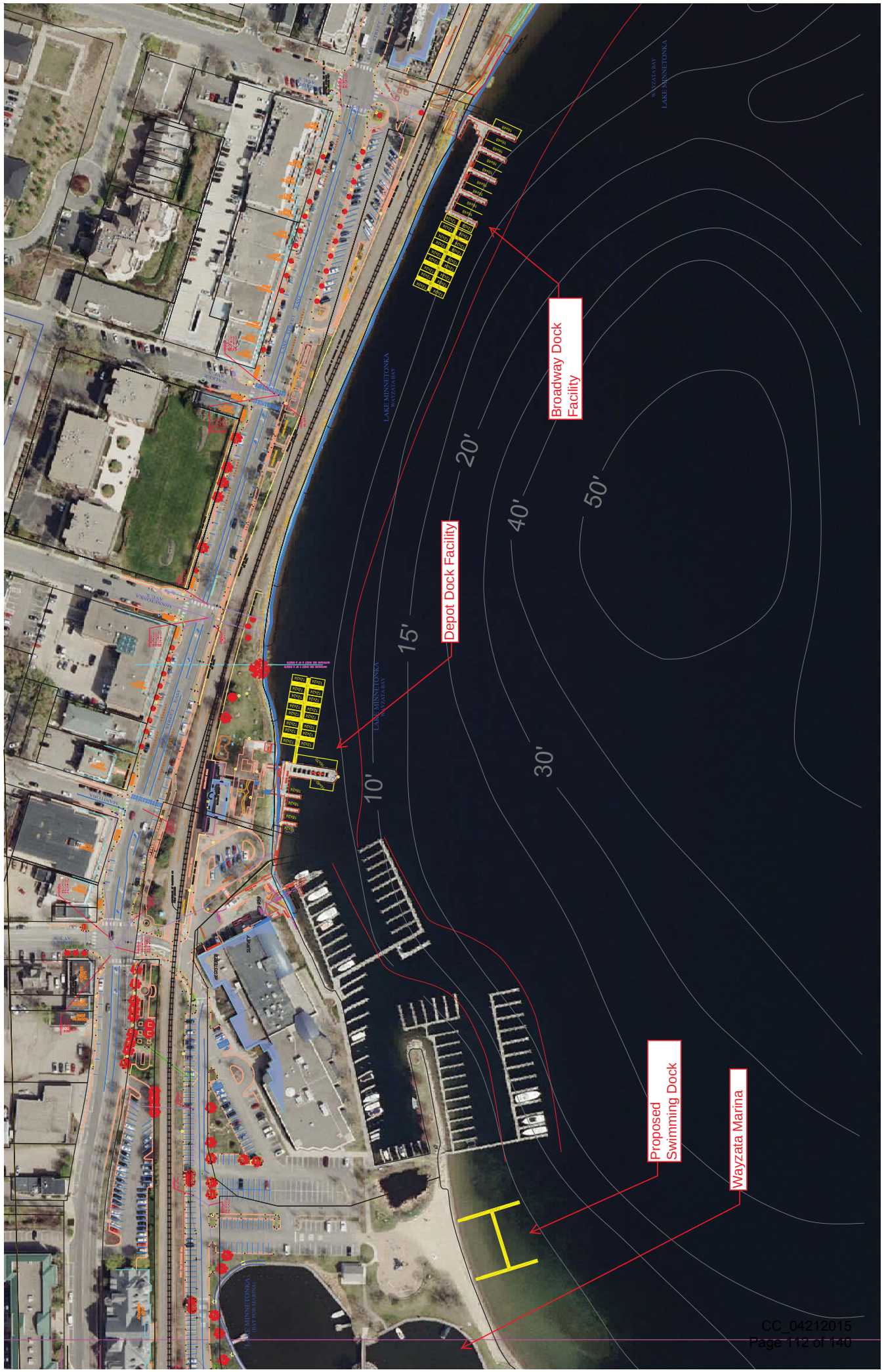
The project is proposed to be completed by June 5, 2015.

The Lakefront CIP currently has \$144,200 budgeted for the Broadway and Depot dock expansion. The Lakefront CIP also has budgeted \$43,300 for the swimming dock at the beach.

A map of the areas is attached for your reference.

The Council may consider the purchase or lease of the docks, and whether to include the "U" or "H" shaped dock at the Wayzata Beach.

Staff recommends the installation of the "H"-shaped dock at the Wayzata Beach be include with the Broadway and Depot dock expansions.



MEMORANDUM

TO: Mayor and City Council

FROM: Heidi A. Nelson, City Manager
Don Uram, Administrative Services Director

DATE: April 17, 2015

RE: Fund Transfers - Update

At the April 7 Council meeting, staff presented an analysis of available fund balance that could be transferred to other funds in accordance with the City's Fund Balance Policy. The policy established a minimum fund balance of 40% for general fund operations and a process for the allocation of excess revenues at year end. Shown on the attached spreadsheet are the calculations for 2013 and 2014. For 2014, the initial transfer calculation totaled \$1,466,140. Per staff's recommendation, the Council made the decision to transfer \$312,000 to the Street Improvement fund to eliminate the short term deficit projected in the Street CIP. After making this transfer, a total of \$1,154,140 remains to be allocated. In 2012, this allocation was made based on the 5-year average projected expenditures in each of the funds. In 2013, the allocations were based on Council priorities.

The attached table shows the excess transfer calculation, the potential transfer amount based on a 5-year average of expenditures in each specific fund and staff's recommendation.

Besides the recommendation to transfer \$312,000 to streets, staff presented 6 items for the council to consider funding. None of the items listed are included in the current CIP. These were:

1. Lake Effect – \$400,000
2. Pilot Parking Projects – \$45,000 - \$55,000
3. Downtown Parking Ramp – \$62,000 plus \$500,000 for architectural/engineering design and construction
4. Admin/Planning Intern – \$12,000.
5. Dock Master – \$8,500.
6. Other – Council could consider other options not identified above.

Following council discussion, items 4 and 5 were removed since they represent a potential operating expense and should be funded out of current revenues. These positions (if hired) will be funded out of the contingency line item. In general, the Council felt that the priority projects included the Lake Effect, Telecom, and downtown parking. Councilmember Anderson also mentioned the landscaping plans for Bushaway Road and for Eastman Lane.

SRF prepared three levels of plans for landscaping along Bushaway Road. A base plan and two levels of enhanced plans. Hennepin County has agreed to pay \$272,580 towards the City of Wayzata's base landscaping project. Any upgrade to the base level of landscaping would be the responsibility of the city. Estimated additional costs of the two enhanced plans are \$100,709 and \$212,353. No city funds are currently allocated to this project.

An extensive landscape plan was developed for East Lake Street and Eastman Lane which highlighted several opportunities for landscaping and other natural features. The overall plan was divided into several components and cost estimates provided. The total cost estimate was about \$1.3 million. Two projects that are currently being discussed include Circle A roundabout and the Eastman Lane landscape plan. The most recent cost estimate for the roundabout landscape plan is \$80,000. Funding for this project is the responsibility of the developer for the Bay Center. The Eastman Lane landscape plan cost estimate is about \$125,000. The plan has not yet been approved by the Council. No city funds have been allocated to this project.

A Telecom fund has been created with a \$50,000 annual allocation from tower rental revenue. Current balance in that fund is \$181,151.84. This amount includes the \$50,000 annual allocation and back rent recovered from Verizon for additional antennas on the water tower. The total received was \$131,151.84. Staff anticipates that the cost of the work required to evaluate options and ultimately relocate the antennas will exceed the amount currently being allocated. Staff is recommending that an additional \$100,000 be transferred into the fund.

Staff recommends the Council authorize year-end transfer as shown in the last column on Attachment B. These transfers provide funding for:

- Next two phases of the Lake Effect Plan.
- Eastman Lane landscaping plan as currently estimated.
- Parking Pilot projects, ramp pre-design and initial funding for architectural/engineering design.
- Street contingency
- Cell tower evaluation

Attachment A

Transfer calculations out of excess working capital from General, Licensing and Liquor.

	2014 Transfer Calculation	2013 Transfer Calculation
General fund		
2015 General fund budget	\$ 5,500,610	
40%	\$ 2,227,747	
Determine fund balance net of fund 238 (insurance reserve).	\$ 3,222,823	
Transfer available	<u>\$ 995,076</u>	<u>\$ 821,291</u>
Licensing		
Operating disbursements (suppliers & employees)	\$ 272,212	
1 month operations in reserve	<u>1/12</u>	
	\$ 22,684	
Current identified capital improvements	\$ -	
Cash needed	<u>\$ 22,684</u>	
Cash available	<u>\$ 218,748</u>	
Transfer available	<u>\$ 196,064</u>	<u>\$ 130,214</u>
Liquor		
Operating disbursements (suppliers & employees)	\$ 4,916,643	
1 month operations in reserve	<u>1/12</u>	
	\$ 409,720	
Current debt		
Bonds (p&i)	\$ 227,130	
Current identified capital improvements	\$ 53,815	
Cash needed	<u>\$ 690,665</u>	
Cash available	<u>\$ 965,665</u>	
Transfer available	<u>\$ 275,000</u>	
Total excess transfer available	\$ 1,466,140	<u>\$ 951,505</u>
Less Approved Street Transfer	<u>(\$312,000)</u>	
Total available for allocation	<u>\$ 1,154,140</u>	

Attachment B

Fund	Percent	5 - Year CIP Average	Total excess transfer	Staff Recommendation
233 Lakefront	4.5%	100,480	52,369	400,000
404 Parks and Trails	7.6%	168,130	87,627	212,630
408 General CIP	18.4%	407,020	212,134	341,510
409 Equipment	27.7%	613,231	319,609	-
430 Streets	41.8%	925,580	482,401	100,000
407 Cell Tower				100,000
Total		\$ 2,214,441	\$ 1,154,140	\$ 1,154,140

CITY OF WAYZATA

RESOLUTION NO. 18-2015

RESOLUTION APPROVING 2014 YEAR END TRANSFERS

WHEREAS, The City of Wayzata transfers funds at the end of the year to balance or close out fund accounts, reimburse funds from another fund, and to make operating transfers;

NOW, THEREFORE, BE IT RESOLVED that the Wayzata City Council hereby approves the following transfers for the year 2014:

Transfer Funds To	Amount
	\$
	\$
	\$
	\$
	\$
	\$
	\$
	\$

Adopted by the Wayzata City Council this 21st day of April, 2015.

ATTEST:

Mayor Ken Willcox

City Manager Heidi Nelson

CERTIFICATION:

Motion for adoption:

Seconded by:

Voted in favor of:

Voted against:

Abstained:

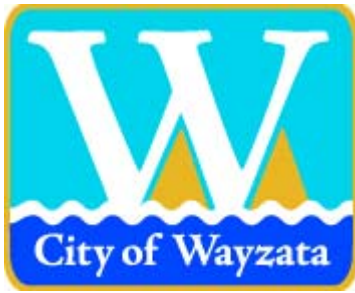
Absent:

Resolution:

I hereby certify that the attached and foregoing is a true and correct copy of Resolution No. 18-2015 adopted by the City Council of the City of Wayzata, Minnesota, at a duly authorized meeting held on April 21, 2105.

Deputy City Clerk Becky Malone

SEAL



City of Wayzata
600 Rice Street
Wayzata, MN 55391-1734

Mayor:
Ken Willcox

City Council:
Bridget Anderson
Johanna McCarthy
Andrew Mullin
Steven Tyacke

City Manager:
Heidi Nelson

MEMORANDUM

DATE: April 16, 2015

TO: The Honorable Mayor and Members of the City Council

FROM: Don Uram, Director of Administrative Services
Becky Malone, Deputy City Clerk

RE: Transcription of Wayzata City Council meeting minutes

At the January 20, 2015 Wayzata City Council meeting, the Council asked staff to look at what other cities are doing for transcription of City Council meeting minutes.

Staff contacted neighboring municipalities and all reported their minutes are either transcribed from an audio/video recording, or by a transcriptionist who is in attendance at the meeting. In addition to providing services for Wayzata, TimeSaver Off Site Secretarial provides transcription services for an additional 24 municipalities.

Staff participated in a Dragon software webinar and found that their software is speaker dependent and would be challenging with multiple people speaking.

The Office of the State Auditor's statement of position regarding meeting minutes is attached for your reference. Beyond the statutory requirements, the Office of the State Auditor has said the minutes need not record the discussions of the members and others, or information relating to the process by which a decision is made. However, there may situations where the amount of detail which is appropriate for inclusion in the minutes is varied.

Staff recommends continuing to use TimeSaver Off Site Secretarial for transcription services and continue with current format for summary style meeting minutes.



REBECCA OTTO
STATE AUDITOR

STATE OF MINNESOTA OFFICE OF THE STATE AUDITOR

SUITE 500
525 PARK STREET
SAINT PAUL, MN 55103-2139

(651) 296-2551 (Voice)
(651) 296-4755 (Fax)
stateauditor@osa.state.mn.us (E-mail)
1-800-627-3529 (Relay Service)

Statement of Position Meeting Minutes

Minnesota law requires all public authorities and political entities to “make and preserve all records necessary to a full and accurate knowledge of their official activities.”¹ That is, the law requires that meeting minutes be created and maintained. Auditors review the minutes of a governing body when performing financial and compliance audits. Minutes are reviewed to determine if actions taken at the meeting meet statutory requirements. Consequently, the Office of the State Auditor receives questions concerning what items must or should be included in meeting minutes.

Minutes may be defined as a record of the “proceedings” of a governing body.² Minnesota law defines the term “proceedings” (and, therefore, the contents of the record or minutes of the “proceedings”) to include at minimum:

- the subject matter of a motion;
- the persons making and seconding a motion;
- the roll call vote on a motion;
- the character of resolutions or ordinances offered, including a brief description of their subject matter; and
- whether the motion to approve a resolution or ordinance was defeated or adopted.³

Similarly, Minnesota’s “Open Meeting” law requires that minutes include the individual votes of each member of the governing body on any action, including each appropriation of money other than “payments of judgments, claims, and amounts fixed by statute.”⁴

¹ Minn. Stat. § 15.17.

² Various statutes that refer to taking or publishing minutes use the term “proceedings” or “official proceedings.” See, e.g., Minn. Stat. §§ 384.09 (counties); 412.151, subd. 1 (statutory cities); 367.11(1) (towns); and 123B.09, subd. 10 (school districts).

³ See Minn. Stat. § 331A.01, subd. 6. The League of Minnesota Cities has also compiled a list of items required in meeting minutes in their information memo titled “Meetings of City Councils,” at http://www.lmc.org/media/document/1/meetings_of_city_councils.pdf?inline=true.

⁴ Minn. Stat. § 13D.01, subd. 4.

Reviewed: January 2014
Revised: July 2012

2007-1024

This Statement of Position is not legal advice and is subject to revision.

An Equal Opportunity Employer

Beyond these statutory requirements, the decision regarding how elaborate or extensive the minutes should be is within a governing body's discretion.⁵ The amount of detail which is appropriate for inclusion in the minutes is likely to vary, depending on the nature of the proceedings and the subject matter involved. The minutes need not record the discussions of the members and others, or information relating to the process by which a decision is made. Moreover, the minutes should not be cluttered with unnecessary detail that could hamper efforts to review or otherwise use the minutes at a later date. In addition, the minutes should never reflect the clerk's or secretary's opinion on anything said or done.

Nevertheless, there will be instances where it would be wise for the governing body to include in the minutes information in addition to what is required to satisfy the minimum statutory requirements. For example, a governing body's reasons for reaching a particular decision may be important for defending a challenge to the action taken. In that circumstance, the minutes should include all findings of fact, conclusions, and reasons for conclusions so that an entity may defend its actions. Including this additional detail should protect the board against claims that it acted arbitrarily or capriciously in making its decision.

The Office of the State Auditor often reviews meeting minutes and recommends that meeting minutes include the following information in addition to the statutory requirements:

- type of meeting (regular, special, adjourned regular, adjourned special, recessed, or emergency);
- type of group that is meeting (*i.e.*, the governing body or a committee);
- date and place the meeting was held;
- the time the meeting was called to order;
- approval of minutes of the previous meeting, with any corrections noted;
- identity of parties to whom contracts were awarded;
- abstentions from voting due to a conflict and the member's name and reason for abstention;
- reasons the governing body awarded a particular contract to a bidder other than the lowest bidder;
- granting of variances and special use permits;
- approval of hourly rates paid for services provided, mileage rates, meal reimbursement amounts, and per diem amounts;
- a listing of all bills (including per diems) allowed or approved for payment, noting the recipient, purpose and amount;
- a list of all transfers of funds;
- appointments of representatives to committees or outside organizations;
- reports of the officers;

⁵ Charter cities may have adopted additional meeting minute requirements in their charters.

- authorizations and directions to invest excess funds, and information on investment redemptions and maturities; and
- the time the meeting concluded.

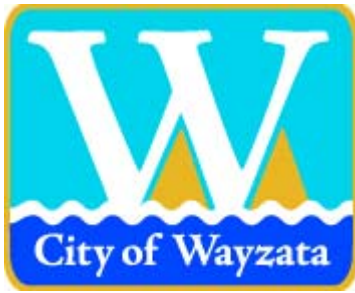
The Office of the State Auditor recommends that the minutes be signed by the clerk or secretary.

Meeting minutes also should be approved by the governing body, usually at the next meeting. The minutes should be signed and dated by a designated member of the governing body to indicate that they are the official meeting minutes.⁶ The approved minutes are the official record of the proceeding.

Audio or video recordings of meetings are not meeting minutes and are not a substitute for meeting minutes.⁷

⁶ For some entities, Minnesota law specifies who must sign meeting minutes. *See, e.g.*, Minn. Stat. § 365.55 (requiring the minutes of town meetings to be signed by “the clerk of the meeting and the moderator”).

⁷ With certain exceptions, however, a governing body must electronically record all closed meetings at its own expense. *See* Minn. Stat. § 13D.05, subd. 1(d).



City of Wayzata
600 Rice Street
Wayzata, MN 55391-1734

Mayor:
Ken Willcox
City Council:
Bridget Anderson
Johanna McCarthy
Andrew Mullin
Steven Tyacke
City Manager:
Heidi Nelson

MEMORANDUM

DATE: April 16, 2015

TO: The Honorable Mayor and Members of the City Council

FROM: Don Uram, Director of Administrative Services
Becky Malone, Deputy City Clerk

RE: Environmental health inspections of food, beverage, lodging and public swimming pool facilities

The Wayzata City Council asked staff to evaluate our agreement for Environmental Health Inspections of food and beverage establishments in Wayzata.

The Cities of Wayzata and Minnetonka have worked to address the public health needs of Wayzata through an agreement that was originally approved by the Minnesota Department of Health (MDH) in August of 2007.

Nine (9) cities (Bloomington, Brooklyn Park, Edina, Maplewood, Minneapolis, Minnetonka, Richfield, St. Cloud and Wayzata) are currently operating under a delegation agreement with the MDH to provide their own environmental health services.

In 2014, we licensed and inspected 51 food establishments, 43 itinerant food vendors, four (4) lodging facilities, and eight (8) public swimming pools. Additional re-inspections were provided at seven (7) restaurants, and food plan reviews were performed for five (5) restaurants. The total license revenue collected in 2014 was \$51,741. The City of Minnetonka charged Wayzata \$28,394 to provide inspection services.

Attached is background information explaining our current program which was provided by John Weinand, Environmental Health Supervisor with the City of Minnetonka.

The other option is to terminate our current agreement with the City of Minnetonka and transfer authority back to the MDH for Hennepin County to perform the inspections. This would result in the loss of license fee revenue and possible loss in customer service and convenience to our Wayzata businesses.

Staff recommends we continue the current practice of working with Environmental Health Specialist Gyswyt and the City of Minnetonka for Environmental Health Inspections of food, beverage, lodging and public swimming pool facilities.

Wayzata Environmental Health

Background:

The Wayzata Environmental Health program was established in the Late 1970's as a result of the Community Health Services (CHS) Act of 1976, which enabled local communities to establish their own environmental health programs. This CHS Act allowed the Minnesota Department of Health (MDH) to delegate its authority to cities/counties for the completion of Environmental Health licensing and inspections. The CHS Act was amended in 1987 and 2003. These amendments to the CHS ACT prevent cities/counties from establishing their own program, unless the city/county meets specific requirements - Wayzata would not meet these requirements. The city of Wayzata is allowed operate under the original CHS Act of 1976 as long as they maintain the present program and meet the requirements of MDH.

All Minnesota Environmental Health delegated programs are evaluated by MDH. The Wayzata Environmental Health program was evaluated in December of 2009 and received the highest evaluation rating possible. Wayzata is one of only six programs in Minnesota to achieve this high of an evaluation rating.

Wayzata's Environmental Health program was originally staffed by one part-time Wayzata Environmental Health Specialist that worked weekends/evenings. Harvey McPhee was the individual that staffed the position from the late 1970's until the early 1990's, at which point Sherry Engelman was hired to staff the position until the Spring of 2007. In an effort to improve services to the community, Wayzata approached Minnetonka to develop an improved and more accessible program for Wayzata with availability 24/7.

In the Fall of 2007, an agreement was developed between Minnetonka and Wayzata that allowed for flexible 24/7 staffing, with Wayzata completing the licensing and Minnetonka completing the inspections, plan review, complaint investigation, foodborne illness investigations, etc.

Wayzata's Environmental Health program serves the community by providing the following:

The program provides for local control of the health inspections and plan review of all food/beverage/lodging/swimming pools in Wayzata (a county or state run program will not allow for this). This integrated system allows for open communication with a systematic approach between all of Wayzata's departments: planning/zoning, building inspections, fire, police, etc. This seamless process allows for a one stop shop for residents, contractors, business owners, Chamber of Commerce, architects, etc. For example: when applicants apply for a permit and need a seamless coordination of inspections - the program meets this by providing a consistent, organized, and timely approach. As opposed to a county or state run program that would require separate meetings, separate permits/applications, different timelines for completion of plan review, and inspections.

The program provides the city of Wayzata with immediate knowledge of the health conditions/inspections of all Wayzata establishments. A copy of every inspection is immediately provided to the Deputy City Clerk upon completion of each inspection/investigation. The inspection records would not be as easily accessible from a county or state run program. A city without an Environmental Health program may need to complete a Data Practices Requests form and the payment of the copy related fees in order to get a copy.

The Wayzata Environmental Health program is fiscally sound and the cost is the same or less than a program that would be run by the county or state. Further, the present program provides a personal touch on all licenses, inspections, and health education in Wayzata. Wayzata city hall serves as the licensing agent for all licenses while the city of Minnetonka serves as the inspection service. Minnetonka Environmental Health staff are within minutes of city of Wayzata at any time if they are needed for a meeting, inspection, complaint, or foodborne illness investigation. This availability would not be the case with a county or state run program.

The present program also allows for flexibility to coordinate food vendor inspections for community events such as: J.J. Hill Days, Wayzata Art Experience, Chili Open, Wine on Wayzata Bay, etc. A county or state run program may not have staff available to inspect these events on all specific days and times that the community would want and need inspections.

MEMORANDUM

TO: Mayor and City Council

FROM: Heidi A. Nelson, City Manager
Don Uram, Administrative Services Director

DATE: April 17, 2015

RE: Charitable Gambling

Background

Staff has been asked to review and to provide the City Council with an update on the City's Charitable Gambling Ordinance. City Code Chapter 716 (Gambling) regulates lawful gambling in the City. This ordinance was originally drafted in 1985 and revised in 1988, 1995, and 1996 (attached). The 1988 revision restricted the number of organizations selling pull tabs to one at a single location.

The Lions Club is the organization that has been granted the authority to sell pull tabs in the City. The Lions gambling fund has generated over \$1.6 million in donations since 1988 that they have contributed to various organizations. The Wayzata Fire Relief Association has been the primary benefactor having received over \$743,000. The donation to the Relief Association is in accordance with a 1988 agreement between the Wayzata Lions and the Wayzata Fire Relief that states that the net profits will be divided equally between the two organizations (attached).

State Statute

MN Statutes Chapter 349 governs lawful gambling and gambling devices within the state. Chapter 349.213 Local Authority grants the City the authority to adopt more stringent regulations of lawful gambling within its jurisdiction, including the prohibition. Other items include the authority to:

1. Require a permit for the conduct of gambling exempt from licensing under section [349.166](#).
2. Require by ordinance that an organization(s) must contribute ten percent (10%) per year of their net profits derived from lawful gambling conducted within the City to a fund administered and regulated by the City. The funds must be disbursed by the City:
 - a. charitable contributions as defined in section 349.12, subdivision 7a (summary attached), or
 - b. police, fire, and other emergency or public safety-related services, equipment, and training, excluding pension obligations.

3. Require by ordinance that an organization conducting lawful gambling within the City expend all or a portion of its expenditures within the City's trade area. A trade area defined by a city under this subdivision must include each city and township contiguous to the defining city.
4. Impose a local gambling tax on each licensed organization when there are one or more within the City to cover the costs incurred to regulate lawful gambling. This tax may not exceed three percent (3%) per year of the gross receipts of a licensed organization from all lawful gambling less prizes actually paid out by the organization.

City Comparison

For comparison purposes, Staff reviewed the ordinances of the cities of Plymouth, Golden Valley, Maple Grove, and Eden Prairie. Following is a matrix outlining the requirements for each of the cities.

	Plymouth	Golden Valley	Maple Grove	Eden Prairie
Limit on Permits	No (4 issued)	No (3 issued)	No (4 issued)	Yes – 4 plus 1 for each 10,000 pop. above 40,000 (0 issued)
10% Contribution	Yes	Yes	Yes	Yes
Trade Area	75%		50%	30%
Gambling Tax			0.5%	1%

Council Action

Two items the Council may want to consider in regards to the Gambling ordinance is the limitation on the number of organizations that can sell pull tabs and whether to require a 10% City contribution.

Historically, the American Legion has expressed an interest in offering pull tabs at their location. A recent conversation with Bill Stein confirmed that they are still interested in the possibility if the Council supports a change to the ordinance.

According to the Lions Club audit for FY 2014, Income before Lawful Purpose Expenditures (net profits) totaled \$95,904 in 2014 and \$90,759 in 2013. Requiring a 10% contribution to a City fund would have reduced the amounts available for other Lawful Purpose Expenditures (donations) by \$9,590 and \$9,075 respectively. Since the Lions donate 50% of the available proceeds to the Relief Association, the amount they receive from the Lions would be reduced proportionally. Although the amount available for the Relief Association would be reduced, the 10% contribution would become a new source of revenues that could be used to pay for other items that meet the “lawful purpose” definition.

Staff Recommendation

Council discussion and direction.

CHAPTER 716

GAMBLING

716.01. Purpose. The purpose of this Chapter is to regulate and control the conduct of lawful gambling within the City.

(Ord. 436 [3-5-1985]; Ord. 579 [12-5-1995])

716.02. Definitions. The words and terms used in this Chapter shall have the meanings given them by Minn. Stat. §349.12 (1984) .

- a. “Eligible organization” shall mean any fraternal, religious, veterans or other non-profit organization which has been in existence for at least three (3) years and which has at least fifteen (15) active members.

(Ord. 436 [3-5-1985])

716.03. Prohibition. No lawful gambling shall be conducted within the City unless specifically authorized by this Chapter.

(Ord. 436 [3-5-1985])

716.04. Permitted Gambling. The following forms of lawful gambling are hereby permitted in accordance with Minn. Stat. Chapter 349, and Minnesota Rules, as such statutes and rules may be amended from time to time:

- a. Bingo may be conducted by an organization if it has obtained a license to conduct bingo from the Minnesota Charitable Gambling Control Board and conducts such bingo in compliance with Minn. Stat. §349.214, Subd. 1 (1984).
- b. Bingo may be conducted by an eligible organization without a license if such conduct is exempt from licensing in accordance with Minn. Stat. §349.214, Subd. 1 (1984).
- c. Raffles may be conducted by an eligible organization in accordance with rules of the Minnesota Charitable Gambling Control Board, provided that no such organization shall conduct more than four raffles per year.

(Ord. 443 [9-3-1985])

- d. (1) The sale of pull tabs may be conducted by an organization if it has obtained a license to conduct the sale of pull tabs from the Minnesota Charitable Gambling Control Board and conducts such sale in compliance with Minn. Stat. Chapter 349 and Minnesota Rules 1987, Section 7860.0010 to 7860.0310 and any subsequent amendments thereto.

(2) Only one organization may conduct the sale of pull tabs and only at one location as approved by the City Council.

(3) An organization licensed by the Minnesota Charitable Gambling Control Board to conduct the sale of pull tabs shall file with the City Manager a duplicate copy of monthly reports required by Minnesota Rules, 1987, 7860.0120.

(Ord. 507 [6-7-1988])

e. An organization may apply for an Exempt permit to conduct a one-day pull tab occasion not more than once per calendar year subject to approval by the City Council and in compliance with Minn. Stat. Chapter 349, and Minnesota Rules. The organization shall file with the City Manager a duplicate copy of reports required by Minnesota Rules. ***[This Section 716.04.e. expires on 1-10-1996.]***

(Ord. 579 [12-5-1995])

f. Paddlewheel activity may be conducted by an eligible organization using a portable-type paddlewheel, without a table, awarding merchandise for prizes in accordance with Minn. Stat. Chapter 349 and Minnesota Rules.

(Ord. 586 [11-13-1996])

(7-21-81 Code; Ord. 436 [3-5-1985]; Ord. 443 [9-3-1985]; Ord. 507 [6-7-1988]; Ord. 579 [12-5-1995]; Ord. 586 [11-13-1996])

ORDINANCE NO. 507

ORDINANCE AMENDING CHAPTER 716 OF THE
CITY CODE REGULATING GAMBLING

THE CITY OF WAYZATA ORDAINS:

Section 1. The Wayzata City Code, Chapter 716, is hereby amended to add the following new subsection under Section 716.04, Permitted Gambling:

"d.(1) The sale of pull tabs may be conducted by an organization if it has obtained a license to conduct the sale of pull tabs from the Minnesota Charitable Gambling Control Board and conducts such sale in compliance with Minnesota Statutes, Chapter 349 and Minnesota Rules 1987, Section 7860.0010 to 7860.0310 and any subsequent amendments thereto.

d.(2) Only one organization may conduct the sale of pull tabs and only at one location as approved by the City Council.

d.(3) An organization licensed by the Minnesota Charitable Gambling Control Board to conduct the sale of pull tabs shall file with the City Manager a duplicate copy of monthly reports required by Minnesota Rules, 1987, 7860.0120.

Section 2. This Ordinance shall become effective upon its passage and publication.

Adopted by the Wayzata City Council this 7th day of
June, 1988.

ATTEST:


City Manager


Mayor

Subd. 7a.Charitable contribution.

"Charitable contribution" means one or more of the lawful purposes expenditures under [subdivision 25](#), paragraph (a), clauses (1) to (7), (10) to (15), and (19).

Subd. 25.Lawful purpose.

(a) "Lawful purpose" means one or more of the following:

(1) any expenditure by or contribution to a 501(c)(3) or festival organization, as defined in subdivision 15a, provided that the organization and expenditure or contribution are in conformity with standards prescribed by the board under section [349.154](#), which standards must apply to both types of organizations in the same manner and to the same extent;

(2) a contribution to or expenditure for goods and services for an individual or family suffering from poverty, homelessness, or disability, which is used to relieve the effects of that suffering;

(3) a contribution to a program recognized by the Minnesota Department of Human Services for the education, prevention, or treatment of problem gambling;

(4) a contribution to or expenditure on a public or private nonprofit educational institution registered with or accredited by this state or any other state;

(5) a contribution to an individual, public or private nonprofit educational institution registered with or accredited by this state or any other state, or to a scholarship fund of a nonprofit organization whose primary mission is to award scholarships, for defraying the cost of education to individuals where the funds are awarded through an open and fair selection process;

(6) activities by an organization or a government entity which recognize military service to the United States, the state of Minnesota, or a community, subject to rules of the board, provided that the rules must not include mileage reimbursements in the computation of the per diem reimbursement limit and must impose no aggregate annual limit on the amount of reasonable and necessary expenditures made to support:

(i) members of a military marching or color guard unit for activities conducted within the state;

(ii) members of an organization solely for services performed by the members at funeral services;

(iii) members of military marching, color guard, or honor guard units may be reimbursed for participating in color guard, honor guard, or marching unit events within the state or states contiguous to Minnesota at a per participant rate of up to \$50 per diem; or

(iv) active military personnel and their immediate family members in need of support services;

(7) recreational, community, and athletic facilities and activities intended primarily for persons under age 21, provided that such facilities and activities do not discriminate on the basis of gender and the organization complies with section [349.154, subdivision 3a](#);

(10) a contribution to the United States, this state or any of its political subdivisions, or any agency or instrumentality thereof other than a direct contribution to a law enforcement or prosecutorial agency;

(11) a contribution to or expenditure by a nonprofit organization which is a church or body of communicants gathered in common membership for mutual support and edification in piety, worship, or religious observances;

(12) an expenditure for citizen monitoring of surface water quality by individuals or nongovernmental organizations that is consistent with section [115.06, subdivision 4](#), and Minnesota Pollution Control Agency guidance on monitoring procedures, quality assurance protocols, and data management, provided that the resulting data is submitted to the Minnesota Pollution Control Agency for review and inclusion in the state water quality database;

(13) a contribution to or expenditure on projects or activities approved by the commissioner of natural resources for:

(i) wildlife management projects that benefit the public at large;

(ii) grant-in-aid trail maintenance and grooming established under sections [84.83](#) and [84.927](#), and other trails open to public use, including purchase or lease of equipment for this purpose; and

(iii) supplies and materials for safety training and educational programs coordinated by the Department of Natural Resources, including the Enforcement Division;

(14) conducting nutritional programs, food shelves, and congregate dining programs primarily for persons who are age 62 or older or disabled;

(15) a contribution to a community arts organization, or an expenditure to sponsor arts programs in the community, including but not limited to visual, literary, performing, or musical arts;

(19) a contribution or expenditure to honor an individual's humanitarian service as demonstrated through philanthropy or volunteerism to the United States, this state, or local community;

DORSEY & WHITNEY

A PARTNERSHIP INCLUDING PROFESSIONAL CORPORATIONS

315 FIRST NATIONAL BANK BUILDING
WAYZATA, MINNESOTA 55391
(612) 475-0373

2200 FIRST BANK PLACE EAST
MINNEAPOLIS, MINNESOTA 55402
(612) 340-2600

510 NORTH CENTRAL LIFE TOWER
445 MINNESOTA STREET
ST. PAUL, MINNESOTA 55101
(612) 227-8017

340 FIRST NATIONAL BANK BUILDING
P. O. BOX 848
ROCHESTER, MINNESOTA 55903
(507) 288-3156

350 PARK AVENUE
NEW YORK, NEW YORK 10022
(212) 415-9200

201 DAVIDSON BUILDING
8 THIRD STREET NORTH
GREAT FALLS, MONTANA 59401
(406) 727-0640

1200 FIRST INTERNATIONAL CENTER
401 NORTH OIL STREET
P. O. BOX 7100
BILLINGS, MONTANA 59101
(406) 252-0800

30 RUE LA BOÉTIE
75008 PARIS, FRANCE
011-33 (1) 40-59-10-00
011-33 (1) 40-59-12-00

May 25, 1988

Wayzata Lions
c/o Mr. Bill Nelson, President
1869 Zanzibar Lane
Plymouth, MN 55447

Re: Charitable Gambling Agreement

Dear Bill:

Enclosed are two copies of the revised agreement between the Wayzata Lions and the Wayzata Fire Relief Association. These should both be executed; one copy should be retained by the Wayzata Lions and one should be retained by the Wayzata Fire Relief Association.

Very truly yours,

Bab

Robert A. Burns

RAB:sms
Encl.

AGREEMENT

THIS AGREEMENT made and entered into this 24th day of May, 1988, by and between the WAYZATA LIONS and the WAYZATA FIRE RELIEF ASSOCIATION;

WITNESSETH THAT:

WHEREAS, the WAYZATA LIONS have applied for a license from the State of Minnesota to conduct charitable gambling activities pursuant to Chapter 349 of Minnesota Statutes (1986); and

WHEREAS, the City of Wayzata will allow the WAYZATA LIONS to sell pull tabs at the Port O' Call in the City of Wayzata, provided that the net profits from such sale are divided equally between the WAYZATA LIONS and the WAYZATA FIRE RELIEF ASSOCIATION; and

WHEREAS, the WAYZATA LIONS and the WAYZATA FIRE RELIEF ASSOCIATION desire to enter into this Agreement to provide for the equal division of the net profits from such charitable gambling activities between them.

NOW, THEREFORE, in consideration of the premises, the parties do hereby agree as follows:

1. This Agreement governs only the sale of pull tabs by the WAYZATA LIONS at the Port O' Call, 810 Superior Boulevard, Wayzata, Minnesota (the "Gambling Activity").
2. The WAYZATA LIONS will have exclusive control over and responsibility for the Gambling Activity and will comply with all state and local laws and regulations with respect thereto.
3. The net profits from the Gambling Activity will be divided equally between the WAYZATA LIONS and the WAYZATA FIRE RELIEF ASSOCIATION. "Net profits" shall mean gross proceeds from the conduct of the Gambling Activity, less all costs and expenses incurred with respect to the Gambling Activity, including, but not limited to, license fees, equipment costs, expenses incurred in the preparation of records and reports, cost of supplies, rent, compensation and taxes.
4. The WAYZATA FIRE RELIEF ASSOCIATION will use the net profits received by it for "lawful purposes" as defined in Section 349.12(11) of Minnesota Statutes (1986).

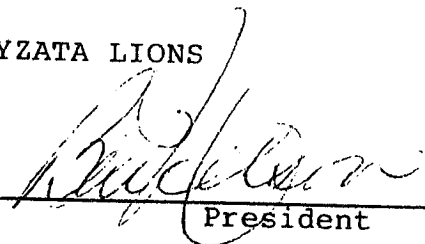
5. The parties will establish a Gambling Committee to oversee the Gambling Activity. The Gambling Committee will consist of the gambling manager (as defined in Section 349.12(14) of Minnesota Statutes (1986)), two persons appointed by the President of the WAYZATA LIONS and two persons appointed by the President of the WAYZATA FIRE RELIEF ASSOCIATION.

6. The WAYZATA LIONS is under no obligation to conduct the Gambling Activity for any specified period of time. This Agreement is intended solely to provide for the division of net profits received by the WAYZATA LIONS during the period of time it does conduct the Gambling Activity.

IN WITNESS WHEREOF, the parties have signed this agreement as of the date written in the introductory paragraph.

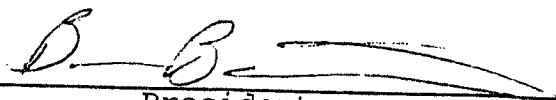
WAYZATA LIONS

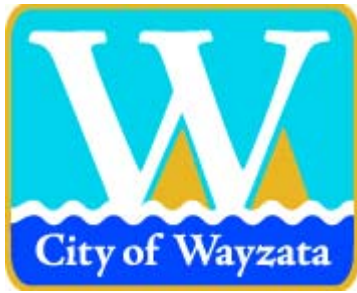
By


President

WAYZATA FIRE RELIEF ASSOCIATION

By


President



City of Wayzata
600 Rice Street
Wayzata, MN 55391-1734

Mayor:
Ken Willcox
City Council:
Jack Amdal
Bridget Anderson
Andrew Mullin
Tom Tanner
City Manager:
Heidi Nelson

MEMORANDUM

TO: Mayor Willcox and Councilmembers
FROM: Heidi Nelson, City Manager
DATE: April 16, 2015
RE: Update on 2014-2016 Strategic Plan

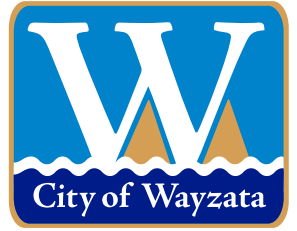
Attached to this memo is a progress update on the city's 2014-2016 Strategic Plan. Staff last updated the Council on progress in September of 2014. The Council and staff are scheduled to meet to update the Strategic plan for 2015-2017 on the afternoon of April 30 and morning of May 1. Staff will review the progress update at the April 21 council meeting.

	Key Outcome Indicator (KOI)	Measure	Target	Strategic Initiatives	Status	
Financial Strength FINANCE	Capital Maintenance Fund	Long Term costs	Funding for highest priority needs	1) 10 yr. maintenance plan 2) Capital Maintenance Funding Strategy	1) Review of CIP for identification of maintenance obligations to be complete by 2 nd QTR 2015 for 2016 budget process 2) Funding strategy identified as part of 2016 budget process	* *
	Audit	Mgmt. comments	0	1) Evaluate contracting and documentation processes	1) Processes documented, policy research and recommendations by end of 2 nd QTR 2015	✓
	Fiscal strength	Bond rating	AAA	1) Organizational Analysis 2) Update Muni Business Plan	1) Analysis complete and in implementation phase (complete by Dec 14) 2) Muni Business Plan Update to be complete by new Administrative Services Director by 3 rd QTR 2015 to allow new GM to participate	✓ *
Focused on Community Engagement Customer	Citizen Academy	Attendance	By 12/31/15, 20 participants	1) Create a citizen's academy program	1) Pending exploration of concept/review of model programs being conducted	*
	Boards & Commissions	Qualified applicants	2 per opening	1) Develop outreach/recruiting program for Boards and Commissions	1) New recruitment program/materials were developed for Fall 2014 recruitment process	✓
	Web site	Visits	25% increase	1) Re-vise and upgrade city website 2) Incorporate paperless technology into website	1) New website launched Feb 19 2) E-agenda is a component of the new website agenda module. Targeted for implementation by 4 th QTR 2015	✓ *
Operational Effectiveness OPERATIONS	Business and permits	Online forms availability	80% by 12/31/14	1) Online business evaluation 2) Program funding and implementation	1) Online forms and permits incorporated in with new website development. 2) E-Commerce pending	✓ *
	Staff time	Utility bill processing	20% reduction 1/1/14 – 12/31/14	1) Document current staffing metrics 2) Establish improvement program	1) Reviewing customer web services with Banyon for financial utility billing system integration on website	*
Organizational Sustainability WORKFORCE	Institutional Knowledge	Documentation/SOP's	All depts. by 7/1/15	1) Documentation project- all depts. 2) Succession plan- all depts	1) Review of policies and SOP's underway. To be completed by 4 th QTR 2015	* *
	Organizational structure	Industry-span of control	By 7/1/14	1) Organization analysis 2) Implement org structure chngs	1) Analysis complete and in implementation phase (complete by Dec 14)	✓ ✓
	Shared services	Executed agreement	Long Lake PW 12/1/14	1) Develop options for shared services 2) Implement LL initiative	1) Monitoring opportunity for continued partnership with Long Lake; Exploring outsourcing financial svcs and public works	* *
Proactive Development and Redevelopment GROWTH	Bay Center	Retail leases	75% of available By 12/31/15	1) Collaborate with Pres homes sales/mkt strategy	1) Joint meeting with Chamber held, Whyzata piece developed. Communication with developer and broker for opportunities to assist continues	*
	Parking downtown	Parking spaces	20% increase in spaces by 12/31/17	1) Carisch ramp consideration 2) Analysis- Mill St. ramp	1) Ongoing meetings with Carisch Family to determine future plans/opportunities 2) Downtown Parking scope of work underway/ Pre-design with LSA Design	* *
	Meyers Dairy bldg.	Site	Redevelopment Agreement- 7/1/2015	1) Meyers bldg. strategy	1) Developer's Roundtable complete, redevelopment feasibility complete, ongoing connection with property owner	✓
	Multi-housing reinvestment	Condition	Three complexes improved by	1) Marketing campaign multi-family investment program 2) Improve rental inspection coordination with reinvestment 3) Increase/implement rental housing inspection standards 4) Promote development of diversity of housing stock	1) Research of other comparable communities' rehabilitation/reinvestment programs in progress	* * * *
	Signage	Increased wayfinding into and within city	Roll out second phase wayfinding by 6/1/15 New directional signage by 9/30/2014	1) Improve directional signage on freeway 2) Monument signage of Muni	1) Signage for wayfinding is still ongoing with MnDOT for placement on Freeway. 2) Monument Signage of Muni is pending	* *
	Marketing	Marketing plan in place	Establish marketing/branding campaign by 12/31/2014	1) Develop marketing/branding campaign for cities	1) Exploration of CVB opportunities with new hotel. Scenic byway discussion transitioning to marketing effort. Ongoing discussions with lake area cities/chambers.	*
Maintain and Enhance Community Amenities MAINTENANCE	Projects	Lake Effect prioritized list	80% implemented on schedule	1) Lake Effect framework adoption 2) Lake Effect funding strategy 3) Adoption of PTB list 4) PTB projects funding strategy 5) Scenic byway	1) Framework adopted March 2014 2) Stewardship, funding and project priorities to be established by 12/14 3) PTB capital improvement items included in CIP 4) Parks CIP funding reviewed, augmented at end of 2013 5) Scenic Byway community meetings held, concept shifted to joint marketing/communications effort	✓ ✓ ✓ ✓ ✓
	Park usage	Visitors/users	20% increase in website hits on parks page btwn 1/14 -12/16	1) Park user information 2) Park use strategy	1) Park and trail map/brochure complete and will be incorporated in new website 2) Parks and trails page in new website and new signage for parks to be implemented in 2015	✓ ✓

✓ Complete or now the way we do business.

***** Carry over - not yet complete.

Rev. 4/15/15



A BLUEPRINT FOR THE FUTURE

Five Year Vision for the Community: Wayzata in 2017

Wayzata
is a well
maintained
and safe
community.

Wayzata is
an active
community
with a
“Home
Town” feel.

Wayzata
provides
a world-
class guest
experience.

Wayzata
celebrates its
proud history
on the lake.

Wayzata
offers an
exceptional
lakefront
destination.

Wayzata has
a strong,
stable
financial
foundation.

STRATEGIC DIRECTION:

Ensuring Financial Stability

Strategic Priority	Key Outcome Indicator	Measure	Target	Strategic Initiatives	Progress
Financial Strength FINANCE	Capital maintenance demand	Long-term costs	Funding for highest priority needs	1) 10-year maintenance plan 2) Capital maintenance funding strategy	* *
	Audit	Management comments	0	1) Evaluate contracting and documentation processes	✓
	Fiscal strength	Bond rating	AAA	1) Organizational analysis - finance dept. 2) Update Muni business plan	✓ *
Proactive Development & Redevelopment GROWTH	Bay Center	Retail leases	75% leased by 12/31/2015	1) Presbyterian Homes sales/marketing strategy	*
	Parking downtown	Parking spaces	20% increase by 12/31/2017	1) Carisch ramp consideration 2) Analysis: Mill St.ramp	* *
	Meyers Dairy building	Site	Redevelopment agreement - 7/1/2015	1) Meyers building redevelopment strategy	✓
	Targeted multi-family complexes	Reinvestment	2 complexes improved between 1/1/2014 - 12/31/2015	1) Marketing campaign - multi-family investment program 2) Improve rental inspection coordination with reinvestment 3) Increase and implement rental housing inspection standards 4) Promote development of diversity of housing stock.	* * * *
	Signage	Increased wayfinding into and within city	Roll out second phase wayfinding by 6/1/2015	1) Improve directional signage on freeway 2) Monument signage of Muni	* *
			New directional signage by 9/30/2014		
	Marketing	Marketing plan in place	Establish marketing/branding campaign by 12/31/2014	1) Develop marketing/branding campaign for city	*

✓ Complete or now the way we do business.

* Carry over - not yet complete.

STRATEGIC DIRECTION: Sustaining Our Community

Strategic Priority	Key Outcome Indicator	Measure	Target	Strategic Initiatives	Progress
Organizational Sustainability WORKFORCE	Institutional Knowledge	Documentation/ SOPs	All depts. by 7/1/2015	a) Documentation project - all depts. b) Succession plan - all depts.	* *
	Organizational Structure	Industry stand-span of control	In place by 7/1/2014	c) Organizational analysis d) Implement organizational structure changes	✓ ✓
	Shared services	Executed agreement	Long Lake PW by 12/31/2014	e) Develop options for shared service f) Implement Long Lake opportunity	* *
Focused Community Engagement CUSTOMER	Citizens' Academy	Participation	20 participants by 12/31/2015	a) Create a Citizens' Academy	*
	Boards and Commissions	Qualified applicants	2 applicants for each opening	b) Develop an outreach and recruiting program for Boards and Commissions	✓
	Website	Visits	25% increase 1/1/2014-12/31/2015	c) Revise and upgrade city website d) Incorporate paperless technology into website	✓ *

STRATEGIC DIRECTION: Enhancing City Assets

Strategic Priority	Key Outcome Indicator	Measure	Target	Strategic Initiatives	Progress
Operational Effectiveness OPERATIONS	Business and permits	Online forms availability	80% by 12/31/2014	a) Online business evaluation b) Program funding and implementation	✓ *
	Staff time	Utility bill processing	20% reduction 1/1/2014 - 12/31/2014	c) Document current staffing metrics d) Establish improvement program	* *
Maintain and Enhance Community Amenities MAINTENANCE	Projects	Lake Effect prioritized list	80% implemented on schedule	a) Lake Effect framework adoption b) Lake Effect funding strategy c) Adoption of PTB list d) PTB projects funding strategy e) Scenic byway	✓ ✓ ✓ ✓ ✓
	Park usage	Users	20% increase website hits between 1/14/2014-12/31/2015	f) Parks information/documentation project g) Park and trail user strategy	✓ ✓

Strategic Planning Overview

The Strategic Planning Session took place in Wayzata on October 7, 2013.

Participants included: Mayor Ken Willcox, Council Members Jack Amdal, Bridget Anderson, Andrew Mullin and Tom Tanner with City Manager Heidi Nelson. Staff included Bryan Gadow, City Planner; Dave Dudinsky, Public Services Director; Mike Risvold, Police Chief; Kevin Klapprich, Fire Chief; and Don Uram, Administrative Services Director.

During the session, the group established the priorities, measurements and strategic initiatives outlined on the previous pages.

In order to clarify the strategic challenges confronting the community, the City Council, City Manager and senior staff conducted a review of the current operating environment using a SWOT analysis methodology. SWOT stands for strengths, weaknesses, opportunities and threats. The internal strengths and weaknesses and the external opportunities and threats were assessed.

Strengths Analysis

- Engaged citizenry and volunteers.
- Prime geographic location in the metro and a lake with high economic potential.
- Financial strength and stability (solid financials).
- Talented, experienced staff.
- Sound infrastructure and housing stock with pride of ownership in community.

Opportunities

- Lakefront.
- Leadership development/succession planning.
- Shared service model.
- Economic development: lakefront, downtown parking, promotion/marketing, geographic/demographic.

Weaknesses Analysis

- Staff size and depth: organization, training.
- Succession planning: develop talent, training, redundancy, shared services.
- Communications: external (with community).

Threats and Challenges

- Lack of succession planning.
- Financial health/sustainability.
- Community cultures, conflicts and perceptions.
- Maintaining service demands and amenities.
- Business and living costs versus attracting new residents and businesses.