

# WAYZATA PLANNING COMMISSION

## Meeting Agenda

Wayzata City Hall Community Room, 600 Rice Street

Monday, April 20, 2026

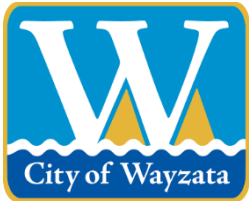
6:30 PM

### HYBRID MEETING INFORMATION

**[Click here to join Teams Meeting](#)**

**[Meeting ID: 297 745 414 916 7 Passcode: MG385hT9](#)**

Members of the public may attend this Planning Commission meeting in person, or watch and listen remotely by viewing the meeting on Channel 8, WCTV, and at the City's website at [www.wayzata.org/WCTV](http://www.wayzata.org/WCTV).



Public comment during the Public Forum and/or Public Hearing portions of the meeting may be provided in person at the meeting, in advance, or by logging into the Teams call and raising your hand during the public hearing. **When your name is called in the meeting, you will be seen and heard in our Council Chambers and the cable channel.** You will be asked to unmute and then you may begin your comment. All public comments must include your full name and address.

The City encourages comments or questions about items on the agenda and, when possible, requests that you submit them in advance by emailing [PublicComment@wayzata.org](mailto:PublicComment@wayzata.org), calling City staff at 952-404-5323, or mailing Wayzata City Hall at 600 Rice St E, Wayzata, MN 55391 (Attn: Public Comment).

1. **Call to Order**
2. **Roll Call**
3. **Approval of Agenda**
4. **Consent Agenda**
  - a. Approval of Meeting Minutes of February 23, 2026
5. **Old Business Items**
  - a. Consider Recommendation for Amendments to Planning Commission Bylaws
6. **Public Hearing Items**
  - a. Consider Application for Conditional Use Permit (CUP) to Allow Construction of Two Golf Course Related Improvement Projects at Woodhill Country Club
7. **Other Items**
  - a. Review of Development Activities
  - b. Planning Commission Meeting Schedule
8. **Adjournment**

Upcoming Meetings:  
City Council - April 21st, 2026  
Planning Commission - May 4, 2026

Members of the Planning Commission and some staff members may gather at the Wayzata Bar and Grill immediately after the meeting for a purely social event. All members of the public are welcome.



**City of Wayzata  
Planning Commission  
Agenda Report**

<b>MEETING DATE:</b> April 20, 2026	<b>AGENDA ITEM:</b> 4.a
<b>TITLE:</b> Approval of Meeting Minutes of February 23, 2026	
<b>PREPARED BY:</b> Alex Sharpe, Community Development Director	
<b>REVIEWED BY:</b> Alex Sharpe, Community Development Director	
<b>60 DAY DEADLINE:</b> N/A	

**BACKGROUND:**

N/A

**ACTION REQUESTED:**

Staff recommends approval of the meeting minutes of February 23rd, 2026

**ATTACHMENTS:**

1. Draft PC Minutes February 23, 2026

1                                   **WAYZATA PLANNING COMMISSION**  
2                                   **MEETING MINUTES**  
3                                   **FEBRUARY 23, 2026**

4  
5  
6    **AGENDA ITEM 1. Call to Order**

7  
8    Chair Cameron called the meeting to order at 6:30 p.m.

9  
10   Chair Cameron read a prepared statement that outlined multiple options for joining remotely or  
11   submitting comments and questions.

12  
13   **AGENDA ITEM 2. Roll Call**

14  
15   Present at roll call were Chair Cameron and Commissioners Plantan, Schwalbe, Elg, VanLoy, and  
16   Ankeny. Community Development Director Alex Sharpe and City Attorney David Schelzel were  
17   also present.

18  
19   Absent at roll call was Commissioner Severson.

20  
21   **AGENDA ITEM 3. Approval of Agenda**

22  
23   Chair Cameron asked for a motion to approve the agenda for the meeting.

24  
25   Commissioner Plantan made a motion, seconded by Commissioner VanLoy, to approve the  
26   February 23, 2026, agenda as presented.

27  
28   The motion carried unanimously.

29  
30   **AGENDA ITEM 4. Consent Agenda**

- 31  
32       **a.) Approval of the February 9, 2026 Planning Commission Meeting Minutes**  
33       **b.) Approve Planning Commission Report and Recommendation of Denial of**  
34       **Subdivision by Preliminary Plat at 190 Gleason Lake Road and 121 Gleahaven**  
35       **Road**

36  
37   Chair Cameron read the items on the consent agenda and asked if any Commissioner wished to  
38   pull an item for further discussion. He noted that a letter from Lake West Development related to  
39   the Application for Preliminary Plat at 190 Gleason Lake Road and 121 Gleahaven Road had been  
40   provided to the Planning Commission, and that it would be added to the record.

41  
42   Chair Cameron asked for a motion to approve the Consent Agenda as presented.

43  
44   Commissioner Elg made a motion, seconded by Commissioner Schwalbe, to approve the Consent  
45   Agenda as presented.

46

1 The motion carried unanimously.

2  
3 **AGENDA ITEM 5. Old Business Items**

4  
5 **AGENDA ITEM 6. New Business**

6  
7 **a) Discussion of Planning Commission Representation at Council Meetings**

8  
9 Community Development Director Sharpe explained that in the last year several of the  
10 Commissioners have expressed a desire for a potential change to the Bylaws of the Commission,  
11 which require Planning Commission members to in turn represent the Commission at regular City  
12 Council meetings on a rotating basis. He stated that the purpose of this item on the agenda was to  
13 allow for Commissioners to discuss the current bylaws, their perspectives, and whether the  
14 Commission would have a recommendation to the City Council to amend the Bylaws. He briefly  
15 reviewed the process of making a recommendation for this change and outlined three possible  
16 actions that the Commission could choose following their discussion.

17  
18 Chair Cameron stated that he believed the original intent of the requirement was that  
19 Commissioners would attend the Council meeting to then report back to the Commission and  
20 questioned whether this practice had occurred in the past.

21  
22 Mr. Sharpe noted that the Bylaws do not include a requirement to report back to the Commission,  
23 but that did occur in past practice.

24  
25 Commissioner Plantan asked if the intent would still be to have one Commissioner attend every  
26 City Council meeting.

27  
28 Mr. Sharpe stated that staff was facilitating this discussion and that if there was a recommendation  
29 for an amendment, it would be from the Commission to City Council. Mr. Sharpe noted that he  
30 would like the Commission to discuss the topic and explained that some Commissioners have  
31 expressed a desire to not be required to attend meetings that were light on items relevant to the  
32 Commission and that they would rather focus attention on items where they felt there would be  
33 value for the Commission to learn about particular topics, even if they weren't Planning  
34 Commission related, or following specific Planning Commission items.

35  
36 City Attorney Schelzel stated that the other rationale discussed at the Commission's workshop on  
37 this topic was that often City Council members come from the ranks of the Planning Commission,  
38 and a familiarity with Council meetings and current business may be another reason that this  
39 requirement was included in the Bylaws. He stated that he agreed with Community Development  
40 Director Sharpe that this had been in the Bylaws as long as he could remember and that even  
41 though there was not a Bylaw related to the Commissioners reporting back, it was what used to be  
42 done. He noted that most of this practice pre-dated being able to watch the City Council meetings  
43 online, on-demand.

44  
45 Commissioner Elg stated that he thinks the Commission should consider eliminating Section 3.6  
46 of the Bylaws altogether, and not require any attendance at the City Council meetings.

1  
2 Mr. Sharpe stated that is an option as the Commission could make a recommendation to amend  
3 the Bylaws, however they like.

4  
5 Commissioner Elg stated that he would recommend eliminating Section 3.6 and the requirement  
6 for the Commissioners to attend the City Council meetings, and Commissioners could still choose  
7 to attend those meetings whenever they liked.

8  
9 Commissioner VanLoy asked if there have been times at City Council meetings where the Council  
10 has asked questions of the Planning Commissioner who was present.

11  
12 Mr. Schelzel stated that he did not recall that happening and would also discourage it, unless it  
13 was the Planning Commission Chair being directed to attend as a representative of the Commission  
14 to report on a policy question they had researched or been tasked with reviewing.

15  
16 Chair Cameron asked if the Bylaws were to be amended to allow Commissions to choose to attend  
17 or not, what issues may arise if, for example, four of the Commissioners chose to show up for a  
18 particular meeting.

19  
20 Mr. Sharpe stated that he had already checked on that scenario with City Clerk Leervig and  
21 explained that it would not constitute a meeting of the Planning Commission because they were  
22 not discussing official business. He noted that he would advise them not to sit together or discuss  
23 the topic as a group, but the scenario would not violate open meeting law or require formal meeting  
24 notice as they would be attending as members of the public.

25  
26 Chair Cameron stated that he felt it was still important that the Commission attend City Council  
27 meetings to see the business and observe how the recommendations from Planning Commission  
28 impact City Council discussion. He proposed that instead of forcing attendance into a rigid  
29 schedule, the Bylaws could provide Commissioners the option to attend Council meetings of  
30 interest. He explained that his thoughts were to have a requirement parameter be twice a year,  
31 once in the first half of the year and once in the second half of the year, or quarterly.

32  
33 Commissioner Schwalbe asked what form the previously practiced report back to the Commission  
34 had taken.

35  
36 Mr. Sharpe stated that it was a report back to the other Commissioners during their discussion on  
37 other topics but noted that it was before his time with the City.

38  
39 Mr. Schelzel stated that was correct, and explained that the report was part of a normal discussion,  
40 with the Commissioner giving a quick summary of what took place at the City Council meeting.

41  
42 Commissioner Plantan stated that she served at the time those reports were given. She noted that  
43 this practice was before City meetings were available online and felt it was helpful to come back  
44 to the Commission and give them a quick summary. She explained that she would recommend  
45 that they either get rid of this requirement completely or keep what they have, instead of what was  
46 proposed by Chair Cameron, because she felt that would get too complicated.

1  
2 Commissioner Schwalbe noted that with the current schedule, it already works out that each  
3 Commissioner attends a Council meeting in the first half of the year and another in the second half  
4 of the year.

5  
6 Mr. Sharpe stated that the current schedule rotation requires each Commissioner attend 3 City  
7 Council meetings in a year.

8  
9 Commissioner Schwalbe stated that she had attended some City Council meetings that were very  
10 short, and if that is what the agenda looks like, she felt it was a lot to ask that the Commissioners  
11 schedule their day around coming to a 10 or 15-minute meeting.

12  
13 Commissioner Ankeny stated that she agreed with Commissioner Schwalbe and noted that if there  
14 is no requirement to report back information and that could not also be found online, she was not  
15 sure what the purpose would be to have Commissioners attend the City Council meetings. She  
16 explained that she would rather attend a meeting that had some 'meat' in it rather than something  
17 procedural where they had nothing on the agenda.

18  
19 Commissioner VanLoy stated that this was also his thought and noted that he believes there used  
20 to be a purpose in this, but he was uncertain that purpose still existed. He stated that he would like  
21 to see the Bylaws amended so that physical attendance was no longer a requirement for the  
22 Commission because the Commission could follow along and see what happens at the City Council  
23 level by going online, or could still choose to attend the meetings.

24  
25 Commissioner Elg asked if any of the other City Commissions had been asked to attend City  
26 Council meetings.

27  
28 Mr. Sharpe stated that the Heritage Preservation Board used to have a requirement to attend, but  
29 that had been removed from their Bylaws. He noted that HPB members have been asked to attend  
30 Council meetings related to significant actions the Board has taken so they can present to the City  
31 Council. He stated that most Commissions come forward to the City Council approximately once  
32 a year to make a presentation or recap topics/actions.

33  
34 Commissioner Elg stated that there seemed to be a growing consensus to eliminate Section 3.6  
35 from the Bylaws.

36  
37 Commissioner VanLoy suggested that the Commission make a recommendation to change the  
38 Bylaws to suggest that each Planning Commission member follow along with City Council  
39 meetings for significant Planning Commission agenda items. He stated that this would make it  
40 clear that the Commission had considered the fact that the Planning Commission should be paying  
41 attention to what the City Council does.

42  
43 Commissioner Schwalbe stated that she would like to see language included that it would be highly  
44 recommended that the Planning Commissioners watch the City Council meetings on a regular  
45 basis.

46

1 Commissioner VanLoy agreed that there would be value in doing what was suggested by  
2 Commissioner Schwalbe.

3  
4 Chair Cameron asked for a motion to reflect their discussion.

5  
6 Mr. Schelzel noted that the Commission could make a recommendation for a change, and staff  
7 could bring it directly to the City Council for consideration, or staff could draft the proposed  
8 changes and bring this topic back to the Commission for review before it goes to the City Council.

9  
10 Mr. Sharpe suggested that when this recommendation is presented to the City Council, a member  
11 of the Planning Commission attend to present the item to City Council to ensure that it is fully  
12 explained.

13  
14 Chair Cameron offered to represent the Planning Commission at a future Council meeting to  
15 explain their recommendation.

16  
17 Commissioner VanLoy made a motion, seconded by Commissioner Elg, to direct staff to prepare  
18 a draft amendment to the Planning Commission Bylaws, changing Section 3.6 to reflect the  
19 discussion regarding the elimination of the requirement for physical attendance at the City Council  
20 meetings.

21  
22 The motion carried 5-1 (Cameron opposed).

23  
24 **AGENDA ITEM 7. Public Hearing Items**

25  
26 **AGENDA ITEM 8. Other Items:**

27  
28 Chair Cameron stated that he would like to consider potential items that the Commission desires  
29 to run through the City Council. He noted that there have been side discussions regarding the City's  
30 zoning ordinance and some of the difficulties with how current zoning functions or reads. He  
31 stated that he felt it would be good to make Council aware of possible issues with the ordinance  
32 and start pulling some of those details apart. He referenced the zoning for the Gleahaven  
33 neighborhood and central Wayzata having similar requirements, as an example, but the areas are  
34 very different neighborhoods that he felt should be zoned differently. He stated that some of the  
35 difficulties that come from having them zoned the same could be eliminated by a review and update  
36 of the zoning.

37  
38 Commissioner VanLoy stated that he agreed and noted that R-3 and R-3A are significantly  
39 different in terms of property characteristics, but the zoning standards were essentially the same.  
40 He stated that he thought it was a good idea to make the City Council aware that the Planning  
41 Commission has seen some difficulties that could be addressed with an update of the zoning before  
42 they begin the Comprehensive Plan process.

43  
44 **a) Planning Commission Meeting Schedule**

1 Mr. Sharpe noted that the Walsler Lamborghini application would be on tomorrow night's City  
2 Council meeting agenda. He noted that the next Planning Commission meeting was scheduled for  
3 March 9, 2026, but he currently did not have any agenda items slated for that night, so it may end  
4 up being cancelled.

5  
6 **b) Review of Development Activities**

7  
8 Mr. Sharpe gave a brief update on the current projects happening in the City, including: Wells  
9 Fargo site; Moments of Wayzata; Westway Condominiums; Harbors of Wayzata (Cantissimo);  
10 and a demolition permit/building permit at 720 Wayzata Boulevard.

11  
12 Chair Cameron asked if there were any updates related to 200 Lake Street East.

13  
14 Mr. Sharpe explained that they were moving through a second stage of litigation, but noted that  
15 the applicant had applied for a Hennepin County grant to clean up the site, due to it being a former  
16 railroad site and that the City is scheduled to apply for a DEED grant to assist with the  
17 contamination cleanup as well.

18  
19 Commissioner Ankeny asked about past discussions related to forming a Retail Task Force to talk  
20 about how retail has been working on Lake Street.

21  
22 Mr. Sharpe stated that he has made the City Council aware of this discussion and the topic has  
23 been scheduled for discussion at a City Council Workshop in late spring or early summer.

24  
25 Commissioner VanLoy asked what would be going into the new building on Lake Street, where  
26 Caribou used to be located.

27  
28 Mr. Sharpe explained that there have been rumors, but noted that the City had not received interior  
29 build-out permit applications or information about whether the proposed use could go into the  
30 space or not.

31  
32 **AGENDA ITEM 9. Adjournment.**

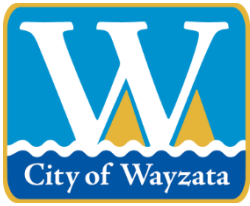
33  
34 There being no further business on the agenda, Chair Cameron asked for a motion to adjourn.

35  
36 Commissioner VanLoy made a motion, seconded by Commissioner Schwalbe, to adjourn the  
37 Planning Commission meeting.

38  
39 The motion carried unanimously.

40  
41 The Planning Commission meeting was adjourned at 7:15 p.m.

42  
43 Respectfully submitted,  
44 Kayla Atkins Rokosz  
45 *TimeSaver Off Site Secretarial, Inc.*



## City of Wayzata Planning Commission Agenda Report

<b>MEETING DATE:</b> April 20, 2026	<b>AGENDA ITEM:</b> 5.a
<b>TITLE:</b> Consider Recommendation for Amendments to Planning Commission Bylaws	
<b>PREPARED BY:</b> Alex Sharpe, Community Development Director	
<b>REVIEWED BY:</b> Alex Sharpe, Community Development Director	
<b>60 DAY DEADLINE:</b> N/A	

### BACKGROUND:

At the February 23, 2026, Planning Commission meeting, the Commission discussed their bylaws, specifically Section 3.6, included below for reference, which requires Commissioners to attend City Council meetings. This topic was previously identified by the Commission as an item for future review and discussion at their annual meeting and brought forward by staff to discuss whether the Commission recommended amendments to their bylaws to the City Council.

Section 3.6 of the Bylaws states the following:

"Planning Commission Representative at City Council Meetings. Each Planning Commission member will in turn represent the Planning Commission at regular City Council meetings. A rotating schedule for such will be prepared and distributed to members of the Planning Commission by City staff."

A summary of the Commission's discussion is outline below:

- The purpose of Commissioner attendance at Council meetings
  - Commissioners discussed the importance of being apprised of topics pertinent to the Planning Commission, specifically the Council's discussion of land use items the Commission had reviewed
- Whether other Commissions were required to attend Council meetings
  - Staff reported that other Commissions and Boards bylaws do not include required attendance, but that most commissions present to City Council on an annual basis.
- Commissioners questioned the original intent of the requirement and whether it was established prior to the ability to watch and participate in meetings remotely.

Upon completion of their discussion, the Commission directed staff and the City Attorney to prepare a draft amendment of the Planning Commission Bylaws amending Section 3.6 to eliminate the requirement for physical attendance of Commissioners at City Council meetings with five votes in favor, and one opposed.

In addition to the Section 3.6 amendments proposed by the Commission, staff and the City Attorney have included amendments to clarify and update the Bylaws that do not substantively affect the Commission's role or responsibilities. These minor changes include the following Sections:

- 1.2 - Removal of "*Ordinance No. \_\_\_\_\_*"
- 1.3 - Removal of last sentence in paragraph, regarding outdated bylaws from 1984.
- 9.1, 9.2 - Formatting, underline of section title
- Article XI - Title Update "*Records And Open Meetings*"
- 11.1 - Formatting and corrections to reflect present day City processes and policy
- 11.2 - Formatting and addition of final to reflect present day City processes and policy

Attached for the Commission's consideration is a clean version and markup version of the proposed

amendments to the Bylaws. At the time of drafting this report, the minutes from February 23, 2026 have not been approved, but are attached under the consent agenda for this meeting and may be referenced there.

**ACTION REQUESTED:**

To Recommend Amendments to the Planning Commission Bylaws to City Council.

**ATTACHMENTS:**

1. Planning Commission Bylaws - PC Recommendation (clean)
2. Planning Commission Bylaws - PC Recommendations (markup)

# **CITY OF WAYZATA PLANNING COMMISSION BYLAWS**

## ***Mission Statement:***

***The Planning Commission is an advisory board of the City that reviews and studies land use issues and makes recommendations to the City Council. The Planning Commission also holds public hearings on applications for zoning amendments, comprehensive plan amendments, subdivisions, variances and conditional use permits.***

## **ARTICLE I – GENERAL**

- 1.1 The City is authorized and empowered to establish a Planning Commission pursuant to the provisions set forth in Minnesota Statutes Section 462.354.
- 1.2 The Wayzata Planning Commission was created as an advisory board by action of the Wayzata City Council on January 19, 1965, and takes the form of Planning Commission set forth in Minnesota Statutes Section 462.354, subdivision 1(1).
- 1.3 These Bylaws constitute the guidelines for the meetings, internal management and organization of the Wayzata Planning Commission.

## **ARTICLE II – PURPOSE, DUTIES AND OBJECTIVES**

- 2.1 The Planning Commission is appointed by the City Council to assist and advise the City Council in the administration of the Zoning Ordinance, Comprehensive Plan, Design Standards, Subdivision Ordinance and any other matters referred to the Planning Commission by the City Council.
- 2.2 The Planning Commission will hold public hearings for variances, conditional use permits, subdivisions, PUD permits and other land use applications to the City in accordance with the Subdivision and Zoning Ordinances, Comprehensive Plan, and will make appropriate findings and recommendations to the City Council.
- 2.3 The Planning Commission may hold public hearings and public informational meetings on matters as directed by the City Council and may make recommendations to the Council on such matters.
- 2.4 The Planning Commission may conduct such studies as directed by the City Council in

connection with carrying out the purpose, duties and objectives of the Planning Commission.

### ARTICLE III – MEETINGS

- 3.1 Regular Meetings. Regular meetings of the Planning Commission will be held in the Council Chambers of Wayzata City Hall located at 600 East Rice Street at 7:00 P.M on the first Monday of each month or such other time and place as duly noticed. Meetings shall be scheduled to end no later than 11:00 P.M. All meetings will be open to the public unless otherwise provided by law.
- 3.2 Special Meetings. Special meetings may be called at the discretion of the Chair of the Planning Commission after consultation with City staff, members of the Planning Commission, or at the direction of City Council.
- 3.3 Notice of Meetings. Written notice of all regular and special Planning Commission meetings, setting forth the time, place and agenda of such meeting will be provided in advance to members of the Planning Commission and the general public in accordance with the applicable requirements set forth in Minnesota state law.
- 3.4 Site Investigation. Prior to each Planning Commission meeting, all Planning Commission members will endeavor to visit the property or properties to be discussed at the meeting.
- 3.5 Agendas. An agenda for each meeting will be prepared by City staff and will be delivered to all members of the Planning Commission along with supporting information, including the application and a Staff Planning Report, as soon as possible.
- 3.6 City Council Meetings. Planning Commissioners are expected to follow and be informed about City Council's review of and action on all land use applications as they are considered by Council, and are expected to maintain a general awareness of City Council agendas and actions as they relate to matters within the purview of the Planning Commission.
- 3.7 Workshops. Workshops for the purpose of project updates will be scheduled when necessary or as directed by City Council or the City Planner. The workshops will be held at 6:00 P.M. or other notified time preceding the regular monthly meeting of the Planning Commission, or at some other reasonable time as may be noticed. An optional regular meeting or workshop may also be held, as necessary, on the third Monday of the month at 7:00 P.M. The scheduling or rescheduling of workshops will be at the discretion of the Planning Commission Chair after consultation with City staff. Workshops will be open to the public unless otherwise provided by law, and shall be properly noticed one week prior to the scheduled meeting date.

## ARTICLE IV – MEMBERSHIP

- 4.1 Membership. Planning Commission members shall be appointed by the City Council. The Planning Commission will consist of seven (7) citizen members who must be eligible voters residing within the corporate limits of the City of Wayzata.
- 4.2 Terms. A new Planning Commission member shall be appointed for a term of three (3) years. Any vacancy on the Commission will be filled as soon as practical by an appointment of the City Council, and such appointment will be for the unexpired term of the vacating member.
- 4.3 Absenteeism: If any Planning Commission member fails to attend four (4) regular meetings during a calendar year, City staff will so advise the City Council with a recommendation for action, which may include the removal of the Planning Commission member by the City Council. Planning Commission members will notify the Chair and City Planner when an absence is anticipated.
- 4.4 Expenses. Planning Commission members will serve without compensation except that direct expenses for training will be paid for by the City.
- 4.5 Training. The Chair, Mayor and/or City staff will meet with each new Commission member as soon as possible following appointment to explain Commission procedures and to answer questions. The City staff will supply the following documents to new Commission members as soon as possible following their appointment:
- A. Zoning Ordinance
  - B. Subdivision Ordinance
  - C. Bylaws of the Planning Commission
  - D. Design Standards
  - E. Comprehensive Plan
  - F. Revised City Charter
  - G. City Code
- 4.6 Resignation. A Commission member who wishes to resign must submit a written resignation to the Chair and/or City Clerk who in turn will forward it to the City Council. Such resignation shall be effective upon acceptance by the City Council or such other date as specified in the resignation.

## ARTICLE V – OFFICERS

- 5.1 Officers. The officers of the Planning Commission must be members of the Planning Commission and shall consist of a Chair and Vice Chair.
- 5.2 Duties of the Chair: The Chair will preside at all meetings, appoint Planning Commission

members to committees, appoint Planning Commission representatives, rule on procedural questions (subject to reversal by a two-thirds vote of those Planning Commission members in attendance), meet with all newly appointed Planning Commission members, exercise the same voting rights as other Commission members and carry out such other duties as are assigned by the Planning Commission or by the City Council.

- 5.3 Duties of the Vice Chair. The Vice Chair will act in the absence or inability to act of the Chair and in such instances the Vice Chair will have the powers and functions of the Chair.
- 5.4 Terms. The Planning Commission's officers will be elected by Planning Commission members by open ballot at the first regular meeting in January or as soon as practical after that date. The terms of office for the Chair and Vice Chair will be for one (1) year and no member will hold an office for more than three (3) consecutive years. The Commission's officers will serve until replaced by duly elected officers or until they are no longer members of the Planning Commission.
- 5.5 Vote. Candidates for office receiving a majority vote of the entire membership of the Planning Commission (four) will be declared duly elected.
- 5.6 Date of Office: Newly elected officers will take office at the first regular meeting after being elected.
- 5.7 Vacancies. Vacancies occurring in the offices of the Planning Commission will be filled as soon as practical by the election procedure specified in these bylaws.

## **ARTICLE VI – MEETING PROCEDURES**

- 6.1 Quorum. A quorum shall be required to conduct a meeting of the Planning Commission. A majority (4) or greater of the members of the Planning Commission will constitute a quorum for the purpose of conducting a meeting.
- 6.2 Conflict of Interest. Whenever a Planning Commission member has a direct and/or financial interest in an application or matter before the Planning Commission, that member must declare the nature of such interest, abstain from all discussion related to the application or matter, and not vote on the application or matter, as provided in Article IX.
- 6.3 Agenda. The order of business at regular meetings generally shall be as follows:
  - A. Call to Order
  - B. Roll Call of Members
  - C. Approval of the Minutes of the Previous Meeting
  - D. Public Informational Meetings
  - E. Public Hearings

- F. Old / New Business
- G. Projects Update
- H. Announcement of Upcoming Meeting Date(s)
- I. Adjournment

## **ARTICLE VII – PUBLIC HEARING PROCEDURES**

- 7.1 Time. The time of each public hearing on an application reviewed or matter considered by the Planning Commission will be stated on the agenda and the hearing will begin as soon as possible to the stated time.
- 7.2 Staff Presentation. City staff will prepare a written report regarding any project proposal being considered by the Planning Commission and will provide a brief oral overview of a project proposal prior to the opening of the public hearing on a proposal.
- 7.3 Applicant Presentation. The petitioner or appointed representative will state the request and explain the proposal and answer questions of the Planning Commission and members of the audience. The applicants' presentations will not be limited by time.
- 7.4 Public Hearings. At a public hearing, the meeting will be open for public discussion until the Chair determines that all information and statements have been heard. At that time, the Chair may terminate public discussion and limit discussion to members of the Planning Commission. Testimony from the public will be limited to five (5) minutes per person, except that the Planning Commission may waive the time limit. The Chair may impose reasonable restraint to limit the number of times one (1) individual may speak. Prior to making public comment, all persons must state their name and complete address for the record.
- 7.5 Closing of Public Hearing. Any member of the Planning Commission may move to continue the public hearing until a specified date and such continuation may be adopted by majority vote of those Planning Commission members present. Once a petitioner's request is heard and public input received, the Planning Commission will make a recommendation to the City Council as soon as reasonably possible.

## **ARTICLE VIII- AMENDMENTS**

- 8.1 Amendments. The Planning Commission will review these Bylaws and any adopted policies of the Planning Commission periodically, and will recommend amendments or alterations to the City Council. The City Council may approve any recommended amendments or alterations by an affirmative majority vote.

## **ARTICLE IX – CODE OF ETHICS AND STANDARDS OF CONDUCT**

9.1 Purpose. The Planning Commission hereby affirms its determination that its members will adhere to the highest ethical standards. The standards of conduct set forth below are the standards members of the Planning Commission must adhere to in carrying out their duties. By eliminating conflicts of interest and providing a guide for conduct in City of Wayzata matters, the Planning Commission hopes to promote the faith and confidence of the citizens of Wayzata in their government, and to encourage Wayzata citizens to serve on its council and commissions.

9.2 Standards of Conduct.

- A. A Planning Commission member must not use the official position to secure special privileges or exemptions for that person or others.
- B. Except as permitted by law, a Planning Commission member must disclose a known potential conflict of interest for the public record and refrain from participating in the discussion and vote, when a matter comes before that person that: 1) affects the person's financial interests or those of a business with which the person is associated, unless the effect on the person or business is no greater than on other members of the same business classification, profession or occupation, or 2) affects the financial interests of an organization in which the person participates as a member of the governing body, unless the person serves in that capacity as the city's representative.
- C. A Planning Commission member must not act as an agent or attorney for another before the Wayzata City Council or a Wayzata board or commission in a matter where a conflict of interest exists or may exist.
- D. A Planning Commission member must not knowingly accept or solicit, directly or indirectly, a gift or loan for himself, herself or another if state law prohibits this.
- E. A Planning Commission member may accept expense reimbursement from the City for any training-related sessions.

**ARTICLE X – COMMITTEES**

10.1 Standing Committees. There will be no standing committees of the Planning Commission.

10.2 Ad Hoc Committees. The Planning Commission may request that the City Council appoint other members of the community to ad hoc Planning Commission committees which may be created by the Planning Commission for a specific purpose and duration. At least one (1) member of the Planning Commission will also be appointed to each committee.

**ARTICLE XI – RECORDS AND OPEN MEETINGS**

- 11.1 Minutes and Recording. The City will make recordings and take full and complete minutes of all regular meetings of the Planning Commission. The Planning Commission will review and approve minutes of all of its meetings in accordance with these Bylaws. The City Clerk will be responsible for keeping a copy of said minutes in accordance with City policy.
  
- 11.2 Open Meetings. All meetings of the Planning Commission shall be open to the public and a matter of public record, except such meetings that must or may be closed under State law. The City will broadcast or stream all regular meetings in accordance with City policy.

Last Amended \_\_\_\_\_, 2026 via City Council Resolution No. \_\_\_\_-2026

**CITY OF WAYZATA  
PLANNING COMMISSION  
BYLAWS**

***Mission Statement:***

***The Planning Commission is an advisory board of the City that reviews and studies land use issues and makes recommendations to the City Council. The Planning Commission also holds public hearings on applications for zoning amendments, comprehensive plan amendments, subdivisions, variances and conditional use permits.***

**ARTICLE I – GENERAL**

- 1.1 The City is authorized and empowered to establish a Planning Commission pursuant to the provisions set forth in Minnesota Statutes Section 462.354.
- 1.2 The Wayzata Planning Commission was created as an advisory board by action of the Wayzata City Council on January 19, 1965, ~~Ordinance No. \_\_\_\_\_~~, and takes the form of Planning Commission set forth in Minnesota Statutes Section 462.354, subdivision 1(1).
- 1.3 These Bylaws constitute the guidelines for the meetings, internal management and organization of the Wayzata Planning Commission. ~~These Bylaws supersede in their entirety the “Bylaws of the Planning Commission” dated November 7, 1984.~~

**ARTICLE II – PURPOSE, DUTIES AND OBJECTIVES**

- 2.1 The Planning Commission is appointed by the City Council to assist and advise the City Council in the administration of the Zoning Ordinance, Comprehensive Plan, Design Standards, Subdivision Ordinance and any other matters referred to the Planning Commission by the City Council.
- 2.2 The Planning Commission will hold public hearings for variances, conditional use permits, subdivisions, PUD permits and other land use applications to the City in accordance with the Subdivision and Zoning Ordinances, Comprehensive Plan, and will make appropriate findings and recommendations to the City Council.
- 2.3 The Planning Commission may hold public hearings and public informational meetings on matters as directed by the City Council and may make recommendations to the Council on such matters.

Adopted by the Planning Commission

- 2.4 The Planning Commission may conduct such studies as directed by the City Council in connection with carrying out the purpose, duties and objectives of the Planning Commission.

### ARTICLE III – MEETINGS

- 3.1 Regular Meetings. Regular meetings of the Planning Commission will be held in the Council Chambers of Wayzata City Hall located at 600 East Rice Street at 7:00 P.M on the first Monday of each month or such other time and place as duly noticed. Meetings shall be scheduled to end no later than 11:00 P.M. All meetings will be open to the public unless otherwise provided by law.
- 3.2 Special Meetings. Special meetings may be called at the discretion of the Chair of the Planning Commission after consultation with City staff, members of the Planning Commission, or at the direction of City Council.
- 3.3 Notice of Meetings. Written notice of all regular and special Planning Commission meetings, setting forth the time, place and agenda of such meeting will be provided in advance to members of the Planning Commission and the general public in accordance with the applicable requirements set forth in Minnesota state law.
- 3.4 Site Investigation. Prior to each Planning Commission meeting, all Planning Commission members will endeavor to visit the property or properties to be discussed at the meeting.
- 3.5 Agendas. An agenda for each meeting will be prepared by City staff and will be delivered to all members of the Planning Commission along with supporting information, including the application and a Staff Planning Report, as soon as possible.
- 3.6 Planning Commission Representative at City Council Meetings. ~~Each Planning Commission member will in turn represent the Planning Commission at regular City Council meetings. A rotating schedule for such will be prepared and distributed to members of the Planning Commission by City staff. Planning Commissioners are expected to follow and remain informed about City Council's review of and action on all land use applications as they are considered by the City Council, and are expected to maintain a general awareness of City Council agendas and related actions as they relate to matters within the purview of the Planning Commission.~~
- 3.7 Workshops. Workshops for the purpose of project updates will be scheduled when necessary or as directed by City Council or the City Planner. The workshops will be held at 6:00 P.M. or other notified time preceding the regular monthly meeting of the Planning Commission, or at some other reasonable time as may be noticed. An optional regular meeting or workshop may also be held, as necessary, on the third Monday of the month at 7:00 P.M. The scheduling or rescheduling of workshops will be at the discretion of the Planning Commission Chair after consultation with City staff. Workshops will be open to the public unless otherwise provided by law, and shall be properly noticed one week prior

Adopted by the Planning Commission

to the scheduled meeting date.

#### ARTICLE IV – MEMBERSHIP

- 4.1 Membership. Planning Commission members shall be appointed by the City Council. The Planning Commission will consist of seven (7) citizen members who must be eligible voters residing within the corporate limits of the City of Wayzata.
- 4.2 Terms. A new Planning Commission member shall be appointed for a term of three (3) years. Any vacancy on the Commission will be filled as soon as practical by an appointment of the City Council, and such appointment will be for the unexpired term of the vacating member.
- 4.3 Absenteeism: If any Planning Commission member fails to attend four (4) regular meetings during a calendar year, City staff will so advise the City Council with a recommendation for action, which may include the removal of the Planning Commission member by the City Council. Planning Commission members will notify the Chair and City Planner when an absence is anticipated.
- 4.4 Expenses. Planning Commission members will serve without compensation except that direct expenses for training will be paid for by the City.
- 4.5 Training. The Chair, Mayor and/or City staff will meet with each new Commission member as soon as possible following appointment to explain Commission procedures and to answer questions. The City staff will supply the following documents to new Commission members as soon as possible following their appointment:
- A. Zoning Ordinance
  - B. Subdivision Ordinance
  - C. Bylaws of the Planning Commission
  - D. Design Standards
  - E. Comprehensive Plan
  - F. Revised City Charter
  - G. City Code
- 4.6 Resignation. A Commission member who wishes to resign must submit a written resignation to the Chair and/or City Clerk who in turn will forward it to the City Council. Such resignation shall be effective upon acceptance by the City Council or such other date as specified in the resignation.

#### ARTICLE V – OFFICERS

Adopted by the Planning Commission

- 5.1 Officers. The officers of the Planning Commission must be members of the Planning Commission and shall consist of a Chair and Vice Chair.
- 5.2 Duties of the Chair: The Chair will preside at all meetings, appoint Planning Commission members to committees, appoint Planning Commission representatives, rule on procedural questions (subject to reversal by a two-thirds vote of those Planning Commission members in attendance), meet with all newly appointed Planning Commission members, exercise the same voting rights as other Commission members and carry out such other duties as are assigned by the Planning Commission or by the City Council.
- 5.3 Duties of the Vice Chair. The Vice Chair will act in the absence or inability to act of the Chair and in such instances the Vice Chair will have the powers and functions of the Chair.
- 5.4 Terms. The Planning Commission's officers will be elected by Planning Commission members by open ballot at the first regular meeting in January or as soon as practical after that date. The terms of office for the Chair and Vice Chair will be for one (1) year and no member will hold an office for more than three (3) consecutive years. The Commission's officers will serve until replaced by duly elected officers or until they are no longer members of the Planning Commission.
- 5.5 Vote. Candidates for office receiving a majority vote of the entire membership of the Planning Commission (four) will be declared duly elected.
- 5.6 Date of Office: Newly elected officers will take office at the first regular meeting after being elected.
- 5.7 Vacancies. Vacancies occurring in the offices of the Planning Commission will be filled as soon as practical by the election procedure specified in these bylaws.

#### **ARTICLE VI – MEETING PROCEDURES**

- 6.1 Quorum. A quorum shall be required to conduct a meeting of the Planning Commission. A majority (4) or greater of the members of the Planning Commission will constitute a quorum for the purpose of conducting a meeting.
- 6.2 Conflict of Interest. Whenever a Planning Commission member has a direct and/or financial interest in an application or matter before the Planning Commission, that member must declare the nature of such interest, abstain from all discussion related to the application or matter, and not vote on the application or matter, as provided in Article IX.
- 6.3 Agenda. The order of business at regular meetings generally shall be as follows:
  - A. Call to Order
  - B. Roll Call of Members

Adopted by the Planning Commission

- C. Approval of the Minutes of the Previous Meeting
- D. Public Informational Meetings
- E. Public Hearings
- F. Old / New Business
- G. Projects Update
- H. Announcement of Upcoming Meeting Date(s)
- I. Adjournment

#### **ARTICLE VII – PUBLIC HEARING PROCEDURES**

- 7.1 Time. The time of each public hearing on an application reviewed or matter considered by the Planning Commission will be stated on the agenda and the hearing will begin as soon as possible to the stated time.
- 7.2 Staff Presentation. City staff will prepare a written report regarding any project proposal being considered by the Planning Commission and will provide a brief oral overview of a project proposal prior to the opening of the public hearing on a proposal.
- 7.3 Applicant Presentation. The petitioner or appointed representative will state the request and explain the proposal and answer questions of the Planning Commission and members of the audience. The applicants' presentations will not be limited by time.
- 7.4 Public Hearings. At a public hearing, the meeting will be open for public discussion until the Chair determines that all information and statements have been heard. At that time, the Chair may terminate public discussion and limit discussion to members of the Planning Commission. Testimony from the public will be limited to five (5) minutes per person, except that the Planning Commission may waive the time limit. The Chair may impose reasonable restraint to limit the number of times one (1) individual may speak. Prior to making public comment, all persons must state their name and complete address for the record.
- 7.5 Closing of Public Hearing. Any member of the Planning Commission may move to continue the public hearing until a specified date and such continuation may be adopted by majority vote of those Planning Commission members present. Once a petitioner's request is heard and public input received, the Planning Commission will make a recommendation to the City Council as soon as reasonably possible.

#### **ARTICLE VIII- AMENDMENTS**

- 8.1 Amendments. The Planning Commission will review these Bylaws and any adopted policies of the Planning Commission periodically, and will recommend amendments or alterations to the City Council. The City Council may approve any recommended amendments or alterations by an affirmative majority vote.

Adopted by the Planning Commission

## ARTICLE IX – CODE OF ETHICS AND STANDARDS OF CONDUCT

9.1 Purpose. The Planning Commission hereby affirms its determination that its members will adhere to the highest ethical standards. The standards of conduct set forth below are the standards members of the Planning Commission must adhere to in carrying out their duties. By eliminating conflicts of interest and providing a guide for conduct in City of Wayzata matters, the Planning Commission hopes to promote the faith and confidence of the citizens of Wayzata in their government, and to encourage Wayzata citizens to serve on its council and commissions. Formatted: No underline

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- B. Except as permitted by law, a Planning Commission member must disclose a known potential conflict of interest for the public record and refrain from participating in the discussion and vote, when a matter comes before that person that: 1) affects the person's financial interests or those of a business with which the person is associated, unless the effect on the person or business is no greater than on other members of the same business classification, profession or occupation, or 2) affects the financial interests of an organization in which the person participates as a member of the governing body, unless the person serves in that capacity as the city's representative.
- C. A Planning Commission member must not act as an agent or attorney for another before the Wayzata City Council or a Wayzata board or commission in a matter where a conflict of interest exists or may exist.
- D. A Planning Commission member must not knowingly accept or solicit, directly or indirectly, a gift or loan for himself, herself or another if state law prohibits this.
- E. A Planning Commission member may accept expense reimbursement from the City for any training-related sessions.

## ARTICLE X – COMMITTEES

- 10.1 Standing Committees. There will be no standing committees of the Planning Commission.
- 10.2 Ad Hoc Committees. The Planning Commission may request that the City Council appoint other members of the community to ad hoc Planning Commission committees

Adopted by the Planning Commission

which may be created by the Planning Commission for a specific purpose and duration. At least one (1) member of the Planning Commission will also be appointed to each committee.

**ARTICLE XI – RECORDS AND OPEN MEETINGS**

11.1 Minutes and Recording. The City will ~~make supply a secretary at recordings and take all regular meetings of the Planning Commission who will be responsible for taking full and complete minutes of all regular meetings of the Planning Commission these meetings.~~ The City will audio record all special or workshop meetings. The Planning Commission will review and approve minutes of all of its meetings in accordance with these Bylaws. The City Clerk will be responsible for keeping a copy of said minutes ~~and audiotapes in a safe place with the records of the City~~ in accordance with City policy.

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11.2 Open Meetings. All meetings of the Planning Commission shall be open to the public and a matter of public record, except such meetings that must or may be closed under State law.- The City will broadcast or stream all regular meetings in accordance with City policy.

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Last Amended \_\_\_\_\_, 2026 via City Council Resolution No. \_\_\_\_\_-2026



**City of Wayzata  
Planning Commission  
Agenda Report**

<b>MEETING DATE:</b> April 20, 2026	<b>AGENDA ITEM:</b> 6.a
<b>TITLE:</b> Consider Application for Conditional Use Permit (CUP) to Allow Construction of Two Golf Course Related Improvement Projects at Woodhill Country Club	
<b>PREPARED BY:</b> Haily Hedblom, Planner	
<b>REVIEWED BY:</b> Alex Sharpe, Community Development Director	
<b>60 DAY DEADLINE:</b> 60 Day Deadline: June 1, 2026 120 Day Deadline: July 31, 2026	

**BACKGROUND:**

Woodhill Country Club is seeking a Conditional Use Permit (CUP) to allow for the construction of the following improvement projects:

1. A new pavilion structure adjacent to the existing racquet sports facilities on the property
2. A small convenience station (restroom) adjacent to the tee box on Hole 5 of the golf course

The attached staff report provides additional information on the project proposal.

**ACTION REQUESTED:**

After considering the items outlined in this report, holding the public hearing on the application, and discussing the requests of the application, the Planning Commission should direct staff to prepare a draft Planning Commission Report and Recommendation, with appropriate findings, reflecting a recommendation on the requests in the application, for review and adoption at the next Planning Commission meeting.

**ATTACHMENTS:**

1. Staff Report - 200 Woodhill Rd CUP
2. Applicant Narrative
3. Woodhill Pavilion Plan Set
4. Woodhill Convenience Station Plan Set
5. Woodhill Convenience Station AT Septic - Design Plan
6. Woodhill Convenience Station AT Septic - Management Plan



**Staff Report  
Wayzata Planning Commission  
April 20, 2026**

**Project Name:** Woodhill Country Club – CUP to Construct Two Golf Course Related Improvement Projects

**Applicant:** Brian Edmiston, Woodhill Country Club

**Addresses of Request:** 200 Woodhill Rd

**Prepared by:** Haily Hedblom, Planner

**“60-Day” Decision Deadline:** June 1, 2026

**“120-Day” Decision Deadline:** July 31, 2026

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## **Development Application**

### Introduction

Brian Edmiston, on behalf of Woodhill Country Club, has submitted a land use application for a conditional use permit (CUP) to allow the construction of two golf course related improvement projects. The proposed improvement projects related to this application include the following:

1. A pavilion structure with minor electrical service for convenience outlets.
2. A satellite convenience station (restroom) on the golf course served by private septic and water utilities.

The applicant has provided plan sets for each proposal, including site plans and architectural details. Septic design and management plans for the proposed convenience station have been submitted and reviewed by Hennepin County. The application narrative includes estimated land disturbance for each project.

Woodhill Country Club has indicated to staff that they are creating a master plan for additional improvement projects to take place over the course of several years. Staff intends to work with the country club and determine the best method for bringing forward a future land use application that may cover multiple components of development, depending on their overall plans.

### Property Information

The property identification number and owner of the property are as follows:

Address	PID	Owner
200 Woodhill Rd	02-117-23-11-0001	Woodhill Country Club

The current zoning and comprehensive plan land use designation for the property is as follows:

<b>Zoning District:</b>	R-1 Low Density Single Family Residential
<b>2040 Comp Plan Designation:</b>	Semi-Public/Private
<b>Overlay Districts:</b>	N/A

Woodhill Country Club is comprised of land that lies within the jurisdiction of the City of Wayzata as well as the City of Orono. Staff is collaborating with the City of Orono to ensure requirements of Wayzata City Code are adhered to where applicable in all future planned property improvements.

Project Location

The golf course property that lies within the City of Wayzata is comprised of three parcels located on western city boundary, south of Highway 12 and north of Shoreline Dr. Access to the golf course is located off Shoreline Dr in the City of Orono.

The proposed pavilion structure would be located at the south end of the golf course parking lot, near the tennis courts (*location 1 on map below*).

The location of the proposed satellite convenience station is approximate; on the north side of the eastern parcel adjacent to the property boundary south of the railroad (*location 2 on map below*). The proposed location is approximate as the applicant has stated exact siting of the structure will be determined onsite during construction.

*Map: Woodhill Country Club Property Boundaries in City of Wayzata  
 Source: Aerial Photograph, 2025 Hennepin County GIS*



### Application Requests

As part of the submitted development application, the applicant is requesting approval of the following item:

A. Conditional Use Permit (CUP) for Two Golf Course Related Improvement Projects (pavilion and convenience station):

City Code Ch.937.02.

This code section includes the “Use Table” for all residential zoning districts. *Recreation, Outdoor Commercial* which applies to golf courses and/or their accessory uses is listed as a conditional use within the R-1 zoning district.

A detailed narrative from the application is attached to this staff report. When evaluating this request, City Code Ch.904.02.F-G. should be considered. The standards from this section of code are included at the end of this staff report.

### Comprehensive Plan Guiding

The land use designation for the subject property in the 2040 Comprehensive Plan is Semi-Public/Private which includes *“similar uses to those identified under the institutional/public category, [buildings that typically provide a community service], however the ownership is classified as semi-public or private. These uses can include private golf courses, yacht clubs, utility uses, and other quasi-public recreational facilities and uses.”*

### Public Hearing Notice

The public hearing notice was published in the *Sun Sailor* on April 9, 2026. A letter providing a brief overview of the development proposal, along with the public hearing notice was also mailed to all property owners located within 500 feet of the subject property on April 8, 2026.

### Neighborhood Notification

The applicant mailed a letter with additional details about the application to residents within 500 feet of the subject property on April 8, 2026.

### Public Comments

As of the publishing date of this report, April 16, 2026, no public comments have been received.

### **Description of Proposal**

The applicant is proposing to construct the following:

1. An approximately 1,000sq. ft., 14ft. tall, open-air pavilion structure with composite decking, architectural v-groove siding, metal mesh railings, and an asphalt shingle roof; located adjacent to the existing tennis courts on the property. The structure will have no plumbing and minimal electrical service to allow convenience outlets. This project includes removal of four parking stalls and areas of new concrete

sidewalk. The total additional impervious surface added through this project will be 1,403sq. ft.

2. An approximately 230sq. ft. satellite convenience station adjacent to the tee box for Hole 5 on the golf course. The facility will include one unisex restroom and a refreshment station for beverages and water refill. Utilities will include electrical service, private well water, and a private septic system. The applicant has stated the convenience station will not be utilized in the colder months and there is no mechanical system proposed. Water lines will be purged of water during the fall closing of the course.

While *Recreation, Accessory* uses are considered Permitted Accessory Uses in the R-1 zoning district (Ch. 937.02), a conditional use permit for these accessory structures is required. The existing principal land use of country club and golf course likely predates the current ordinance that requires a conditional use permit. As such, the property is considered existing-nonconforming and any expansions to or of the use are required to meet current code provisions.

#### Considerations for Future Development

Additional new structures or site alterations will also require conditional use permits(s) in the future. Staff intends to work with the applicant on determining the best path forward for a forthcoming masterplan of improvements so items may be reviewed together, and applicable development and/or zoning applications may be grouped together under a single application. A broader approval of a masterplan or similar proposal may allow the country club to make their intended improvements without getting caught in the review process for each individual component of their plans.

#### **Analysis of Application**

City staff has reviewed the pertinent information and City Code requirements for the proposed project and provides the following analysis and information:

#### Conditional Use Permit (CUP)

As noted, *Recreation, Outdoor Commercial* uses are a conditional use within the R-1 zoning district. Conditional uses are those that are generally permitted but may have specific performance standards or conditions added to mitigate impacts to surrounding properties or the City. When considering CUPs, the Planning Commission is directed to refer to code Chapter 904.02F-G. These provisions are included in the “Applicable Code Provisions for Review” section of this report.

#### Design Standards and Deviations

The City’s Design Standards apply to all development in the City that has a nonresidential and/or multifamily component, and (ii) involves any of the activities listed in Section 909.04.B. As such, the proposed convenience station must be subject to the requirements of the Design Standards as outlined in code Chapter 909. The pavilion structure does not meet the applicability requirements of Ch.909.04.B and therefore is not subject to design review.

The proposed convenience station meets the applicability requirements for design review as it is a nonresidential, new building construction. Staff found design review of this application difficult due to the nature and size of the proposal. The purpose of the City's Design Standards, as listed in Ch.909.01 is to 1.) *Guide the expansion and renovation of existing structures and the construction of new buildings and parking, within the commercial districts of the City;* 2.) *Assist the City in reviewing development proposals;* and 3.) *Improve the City's public spaces including its streets, sidewalks, walkways, streetscape, and landscape treatments.* Much of the standards are intended for medium to large scale development in highly visible commercial districts and/or public spaces, which rendered a majority of the requirements non-applicable to this particular application. There is not currently any process for exemption from these standards based on type, size, or proposed use of a new building.

The following deviations from the standards will need to be evaluated by Planning Commission and City Council. Two of these deviations are considered *Significant Deviations* according to code section Ch.909.29, based primarily on scale due to the small size of the proposed building. Significant Deviations must be approved by City Council prior to issuance of a building permit. Minor Deviations may be evaluated and approved administratively by staff. When considering deviations from the design standards, the Planning Commission is directed to refer to code Chapter 909.29.A. These provisions are included in the "Applicable Code Provisions for Review" section of this report.

Significant Design Deviation 1: 909.11.B.3.- Façade Transparency

*3. The minimum unobstructed depth from the required glazing to the closest parallel interior wall shall be ten feet.*

Based on the floorplans submitted with the application, the unobstructed interior distance from the west facing window to the nearest parallel wall is 7'8½".

Significant Design Deviation 2: 909.14.3.B-C.- Building Materials and Quality

*b) The defined Building Base shall extend to two and three feet in height above ground level.*

*c) The Building Base shall be composed of Masonry Materials; projecting trims and moldings shall be composed of either complementary Masonry Materials or dimensional Board Siding Materials.*

The proposed building has a total approximate height of 10'8" measured from grade to top of roof pitch. The total façade height is less than 9'. The architectural elevations submitted with the application show a standard foundation base that is proportionate to the building size. The proposed composite plank lap siding exterior façade otherwise meets the requirements of the Design Standards.

Minor Design Deviation: 909.13.B.- Ground Floor Design

*B. Main entry doors in all Districts shall be primarily glass. If, for security reasons, a glazed entry door is not possible or practical, a main entry door shall be well detailed with decorative panels. Wood doors consistent with this standard may be utilized for retail and office buildings.*

Based on the plans submitted with the application, the proposed doors will be a solid material that is complimentary to the building exterior. The doors are shown as having decorative panel features.

### **Engineering and Forestry**

The City Engineer and City Forester have preliminarily reviewed the proposal and have the following comments/conditions.

#### Engineering

1. A permit will be required from Minnesota Department of Health (MDH) for the proposed water line extension in Wayzata. MDH may require a permit for the water line extension in the City of Orono as well, since the existing well and some of the water line extension is in Orono.
2. The portion of the water line extension in Orono will require permits from the City of Orono and/or the watershed district MCWD.
3. A utility permit from the Wayzata Utility Department will be required for the water line extension in Wayzata.
4. The proposed subsurface sewage treatment system requires a permit from Hennepin County Public Health.
5. An erosion control plan and associated inspections are required by the Wayzata Engineering Department.

#### Forestry

This type of property is exempt from the City's standard tree preservation and replacement requirements, per City Code Ch.936.03. Staff recommends the applicant work with a qualified arborist to develop a protection plan for any trees that they intend to preserve. The City's tree protection specifications can be found in City Code Ch. 936 for reference.

### **Considerations for the Planning Commission**

When considering an application for a CUP, City ordinance provides the Planning Commission and City Council with criteria for evaluation. Deviations from the Design Standards also require a recommendation from the Planning Commission for City Council review. City ordinance provides similar criteria for evaluation of design deviations. Code excerpts are attached to this report for further reference. Staff has summarized this criteria for the Planning Commission below.

#### Criteria for Conditional Use Permits (CUP) (Ch.904.02.F. – G.)

Conditional Uses are considered a generally permitted use, subject to potential conditions. The Planning Commission and City Council shall consider potential adverse

affects of the proposed conditional use on neighboring properties. When considering adverse affects the Commission should evaluate the following:

1. Is the use consistent with the Comprehensive Plan guidance?
2. Is the proposed use compatible with the area?
3. Does the proposed use meet code requirements for parking, setbacks, etc.
  - a. If it does not, can impacts be mitigated with conditions?
4. Would the proposed use affect property values?
5. Does the proposed use affect traffic patterns?
  - a. If so, can these affects be mitigated with conditions?
6. What impacts would the proposed use have on public services (water, sewer, schools, etc.)?

All conditions placed as part of a CUP must be “roughly proportional” to the proposal. This means the Commission must consider the impact of the proposal when evaluating the extent of a condition. Smaller projects typically have less significant conditions where larger projects, or those with more impact, may have more significant conditions.

Criteria for Significant Deviations from the Design Standards (Ch.909.29.A.1-7.)

Significant Deviations are departures from the standards that do not qualify as Minor Deviations. Approval requires a finding that one or more particular factors outweigh any potential negative impact. The Planning Commission and City Council should evaluate the following:

Is the “*negative*” impact of the deviation (if any) outweighed by one or more of the following “*positive*” impacts:

1. The extent the project advances policies and provisions of the City's Comprehensive Plan.
2. The extent the deviation permits greater conformity with other Design Standards, the guidance and policies behind the Standards, or with other Zoning Ordinance standards.
3. The positive effect of the project on the area in which the project is proposed.
4. The alleviation of an undue burden, taking into account current leasing, housing, commercial conditions.
5. The accommodation of future possible uses contemplated by the Zoning Ordinance or the Comp Plan.
6. A national, state or local historic designation.
7. The project is the remodeling of an existing building which largely conforms to the Design Standards.

**Standards of Planning Commission Review of Application Requests**

The application request is a quasi-judicial review and decision, meaning that the Planning Commission acts similar to a judge in a courtroom and applies the relevant rules of the Zoning Ordinance to this particular property and proposed development. The Planning Commission should recommend approval of the CUP request and associated Design

Deviations if the Commission determines that the proposals meet all of the Zoning Ordinance requirements in City Code Chapter 904.02 F.-G and Chapter 909.29.A.

### **Action Steps**

After considering the items outlined in this report and the public hearing held at the meeting, the Planning Commission should direct staff to prepare a *Planning Commission Report and Recommendation*, with appropriate findings, reflecting a recommendation on the application for review and adoption at the next Planning Commission meeting.

### **Proposed Conditions**

If the Planning Commission seeks to provide a recommendation of approval of the proposed application, staff recommends the following conditions of approval be included.

1. The applicant shall apply for and receive all pertinent permits related to the project from the various organizations and entities necessary prior to construction.
2. The applicant shall meet all conditions as outlined by the City Engineer.

### **Attachments**

1. Applicant Narrative
2. Proposed Pavilion Plan Set  
(site plan, architectural elevations and details)
3. Proposed Convenience Station Plan Set  
(site plan, architectural elevations and details)
4. Proposed Septic Plans and Management Plan for Convenience Station

### **Applicable Code Provisions for Review**

The following code excerpts are to be utilized for the Planning Commission and City Council's review of the proposed application.

#### Conditional Use Permit Ordinance Provisions (Ch.904.02.F. – G.)

F. The Planning Commission and City Council shall consider possible adverse effects of the proposed conditional use. Their judgment shall be based upon (but not limited to) the following factors:

1. The proposed action in relation to the specific policies and provisions of the official City Comprehensive Plan.
2. The proposed use's compatibility with present and future uses of the area.
3. The proposed use's conformity with all performance standards contained herein (i.e., parking, loading, noise, etc.).
4. The proposed use's effect on the area in which it is proposed.
5. The proposed use's impact upon property values in the area in which it is developed.
6. Traffic generated by the proposed use is in relation to capabilities of streets serving the property.
7. The proposed use's impact upon existing public services and facilities including parks, schools, streets and utilities, and the City's service capacity.

G. The Planning Commission and City staff shall have the authority to request additional information from the applicant concerning operational factors or to retain expert testimony with the consent and at the expense of the applicant concerning operational factors, said information is to be declared necessary to evaluate the request and/or to establish performance conditions in relation to all pertinent sections of this Ordinance. Failure on the part of the applicant to supply all necessary supportive information may be grounds for denial of the request.

Ordinance Provisions for Significant Deviations from the Design Standards  
(Ch.909.29.A.)

A. Significant Deviations shall be defined as deviations that amount to a significant departure from the Standards enumerated in Chapter 909 and do not qualify as Minor Deviations. Approval of any Significant Deviation shall require a finding by the City Council (after considering the Planning Commission's recommendation) that the negative impact of such deviation is outweighed by one or more of the following factors:

1. The extent to which the project advances specific policies and provisions of the City's Comprehensive Plan.
2. The extent to which the deviation permits greater conformity with other Standards, the Guidance of the Design Standards, policies behind the Standards, or with other Zoning Ordinance standards.
3. The positive effect of the project on the area in which the project is proposed.
4. The alleviation of an undue burden, taking into account current leasing, housing and commercial conditions.
5. The accommodation of future possible uses contemplated by the Design Standards, the Zoning Ordinance or the Comprehensive Plan.
6. A national, state or local historic designation.
7. The project is the remodeling of an existing building which largely otherwise conforms to the Design Standards.



March 9, 2026  
Revised March 27, 2026  
Revised April 1, 2026

Alex Sharpe  
Community Development Director  
City of Wayzata  
600 Rice Street E  
Wayzata, MN 55391

RE: CUP Application for Raquet Court Pavilion and Course Convenience Station

Dear Mr. Sharpe

Thank you for your assistance over the past several weeks in clarifying that a Conditional Use Permit (CUP) is required for the two proposed improvement projects at Woodhill Country Club. We appreciate your guidance through this process.

**Project 1 – Viewing Pavilion**

Woodhill Country Club proposes to construct a small viewing pavilion adjacent to the existing racquet sports facilities. The structure will have no plumbing and will be served only by electrical service for convenience outlets.

The structure will be built with a traditional frost footing.

Estimated disturbed earth is approximately 184 CY of soil accounting for over dig during excavation.

**Project 2 – Convenience Station (Hole 5)**

Woodhill Country Club also proposes to construct a small convenience station adjacent to the tee box for Hole 5 on the golf course. The facility will include one unisex restroom and a refreshment station for beverages and water refill. Utilities are to include a private septic system (see enclosed design), as well as water and electrical service. All proposed utilities will be subject to the applicable jurisdictional reviews as part of the permitting process.

The convenience station at hole 5 will not be utilized in the colder months and there is no mechanical system proposed. Domestic water lines will be purged of water during the fall closing of the course.

Domestic water will be provided by vibratory trenching from an existing potable water source approximately 3,326 linear feet at a depth of 2' using a vibratory plow. The disturbed surface area is less than 1" along the length of the length of the trench. The proposed route is shown on the survey in both the site location image on the upper left of the sheet as well as in the detailed area plan. The source of the water is a private well. Water serving the convenience stations will be accessed via an existing pump station located south of the 15<sup>th</sup> tee box.

The structure will be built on a helical pier system with concrete grade beams and subsequent slab on grade floors to limit site disturbance.

The civil engineer calculated a site disturbance of approximately 34.82 CY at the convenience station location. This calculation is shown at the bottom left of the survey.

**Enclosed Documents**

Please find the following materials enclosed for your review:

- Plans and survey for the Viewing Pavilion



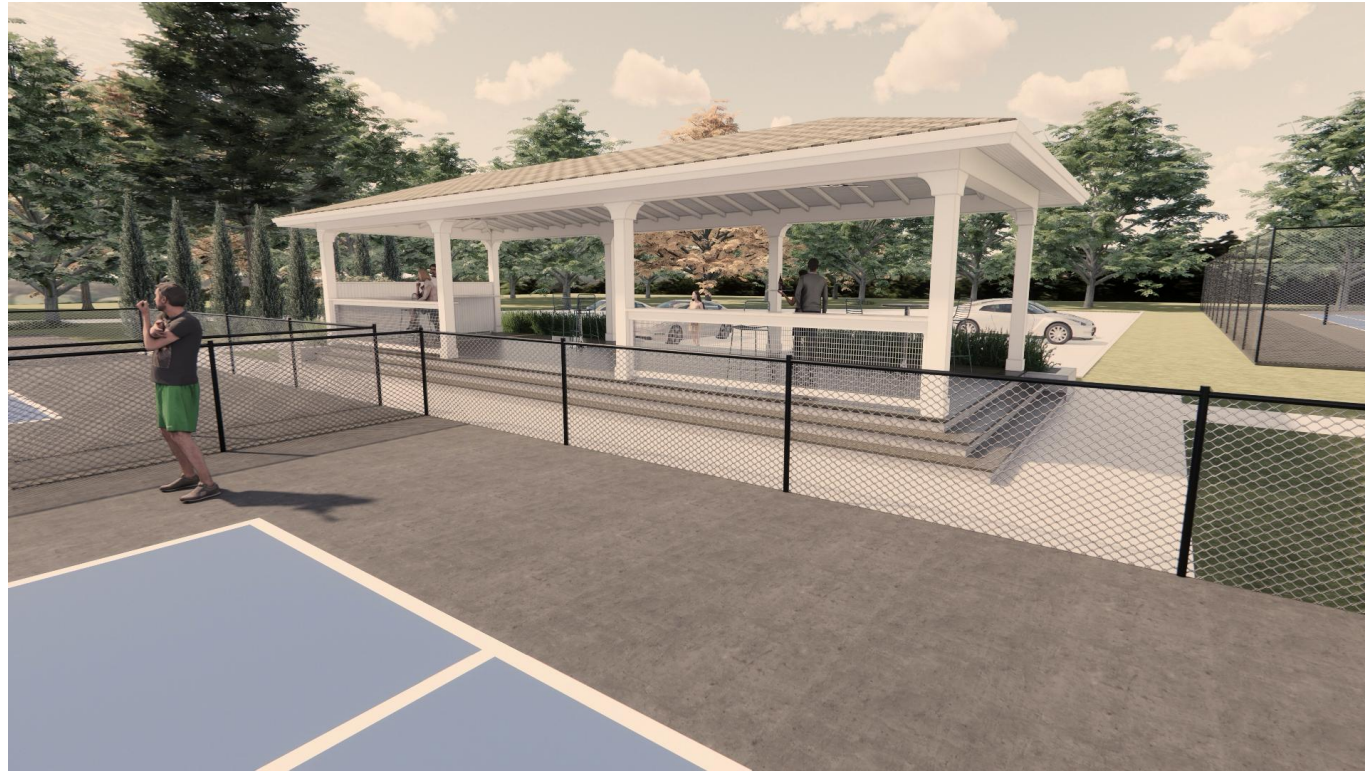
- Plans and survey for the Convenience Station
- Septic Design and Report for the Convenience Station

Should you have any questions or require additional information, please do not hesitate to contact me. Thank you for your time and consideration.

Very sincerely,

A handwritten signature in black ink, appearing to read "Matthew M. Byers". The signature is fluid and cursive, with a prominent initial "M" and a long, sweeping tail.

Matthew Byers, AIA  
Managing Principal  
C: 651-336-1393



# Woodhill Pavilion

200 Woodhill Rd  
Wayzata, MN 55391

## SHEET INDEX

- A0.0 Title Sheet
- A0.1 Location Plan
- A0.2 Site Plan
  - Survey
- A1.0 Floor Plan
  - A1.1 Roof Plan
- A2.0 Exterior Elevations
  - A2.1 Exterior Elevations

## PROJECT TEAM

Owner: Brian Edmiston  
200 Woodhill Rd  
Wayzata, MN 55391  
brian.edmiston@woodhillcc.com  
952.345.0784

Architect: PLAAD  
Matt Byers  
1229 Tyler St NE  
Suite 140  
Minneapolis, MN 55413  
matt@plaadoffice.com  
651.336.1393

Builder: Markku Ravaska  
Nordea Homes  
markku@nordeahomes.com  
320.237.7067

Surveyor: Nicholas Hillmer  
Anderson Engineering of Minnesota  
13605 1st Avenue North, Suite 100  
Plymouth, MN 55441  
763.412.4000



1229 Tyler St NE  
Minneapolis, MN 55413

### Certification

FOR COORDINATION  
NOT FOR  
CONSTRUCTION

### Issue Chart

No.	Date	Description
1	03/06/26	CUP Application
2	03/13/26	SD Pricing
3	03/27/26	CUP Updates

### Owner

Brian Edmiston  
200 Woodhill Rd  
Wayzata, MN

### Project

### Woodhill Pavilion

200 Woodhill Rd Wayzata  
MN 55391

### Issue Name

### Pricing

### Issue Date

Friday, March 27, 2026

### Sheet Title

Title Sheet

### Sheet Number

# A0.0

## APPLICABLE CODES AND REGULATIONS WITH LOCAL AMENDMENTS

Building Codes  
2020 Minnesota Residential Code  
2020 Minnesota Energy Code  
2020 Minnesota Mechanical and Fuel Gas Code  
2020 Minnesota Plumbing Code  
2020 Minnesota Electrical Code  
2020 Minnesota Provisions to the State Building Code

Land Use Codes  
TBD

FOR COORDINATION

NOT FOR  
CONSTRUCTION

**Issue Chart**

No.	Date	Description
1	03/06/26	CUP Application
2	03/13/26	SD Pricing
3	03/27/26	CUP Updates

**Owner**

Brian Edmiston  
200 Woodhill Rd  
Wayzata, MN

**Project**

**Woodhill Pavilion**  
200 Woodhill Rd Wayzata  
MN 55391

**Issue Name**

**Pricing**

**Issue Date**

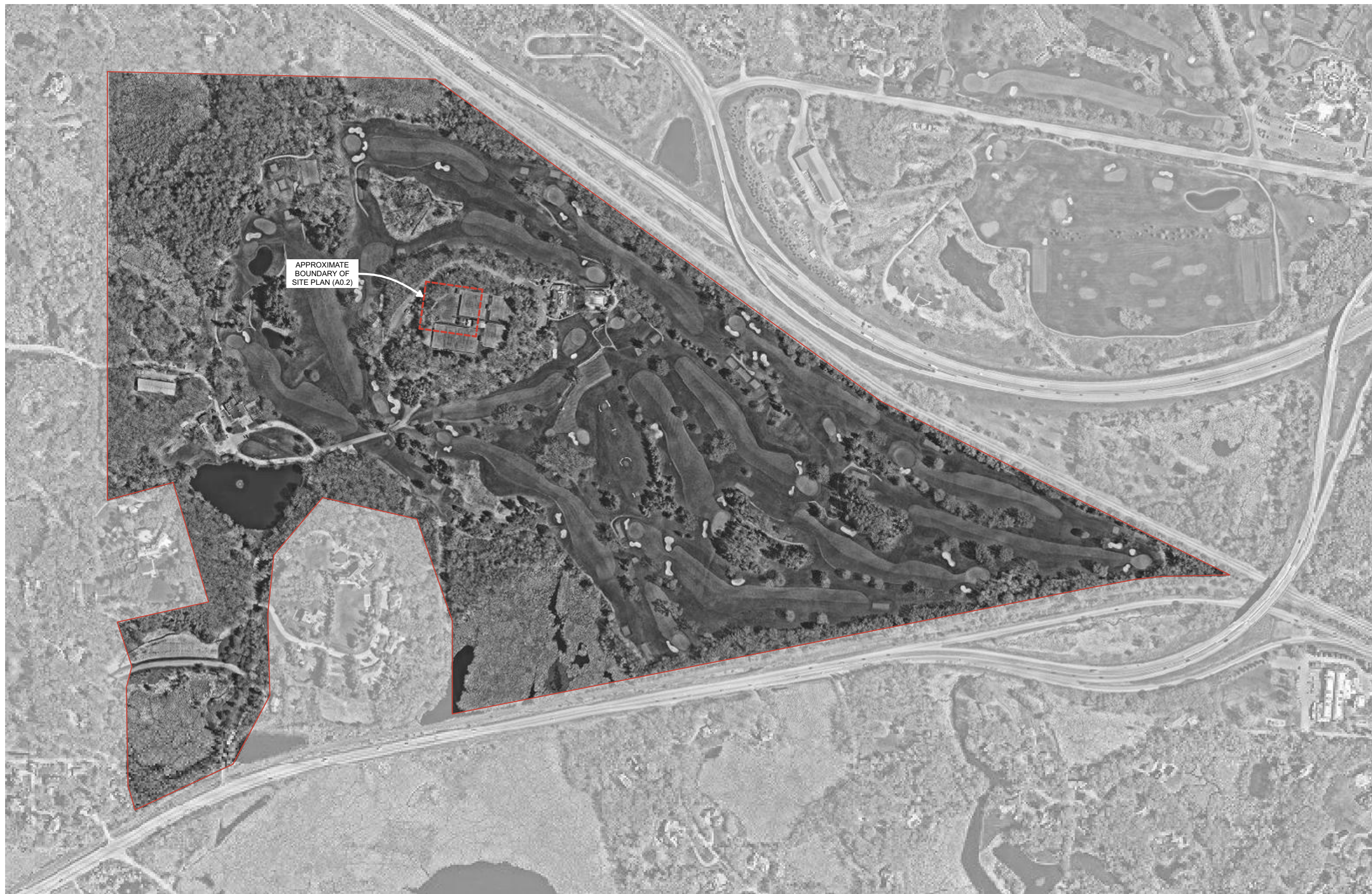
Friday, March 27, 2026

**Sheet Title**

Location Plan

**Sheet Number**

**A0.1**

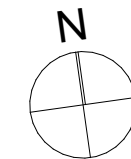
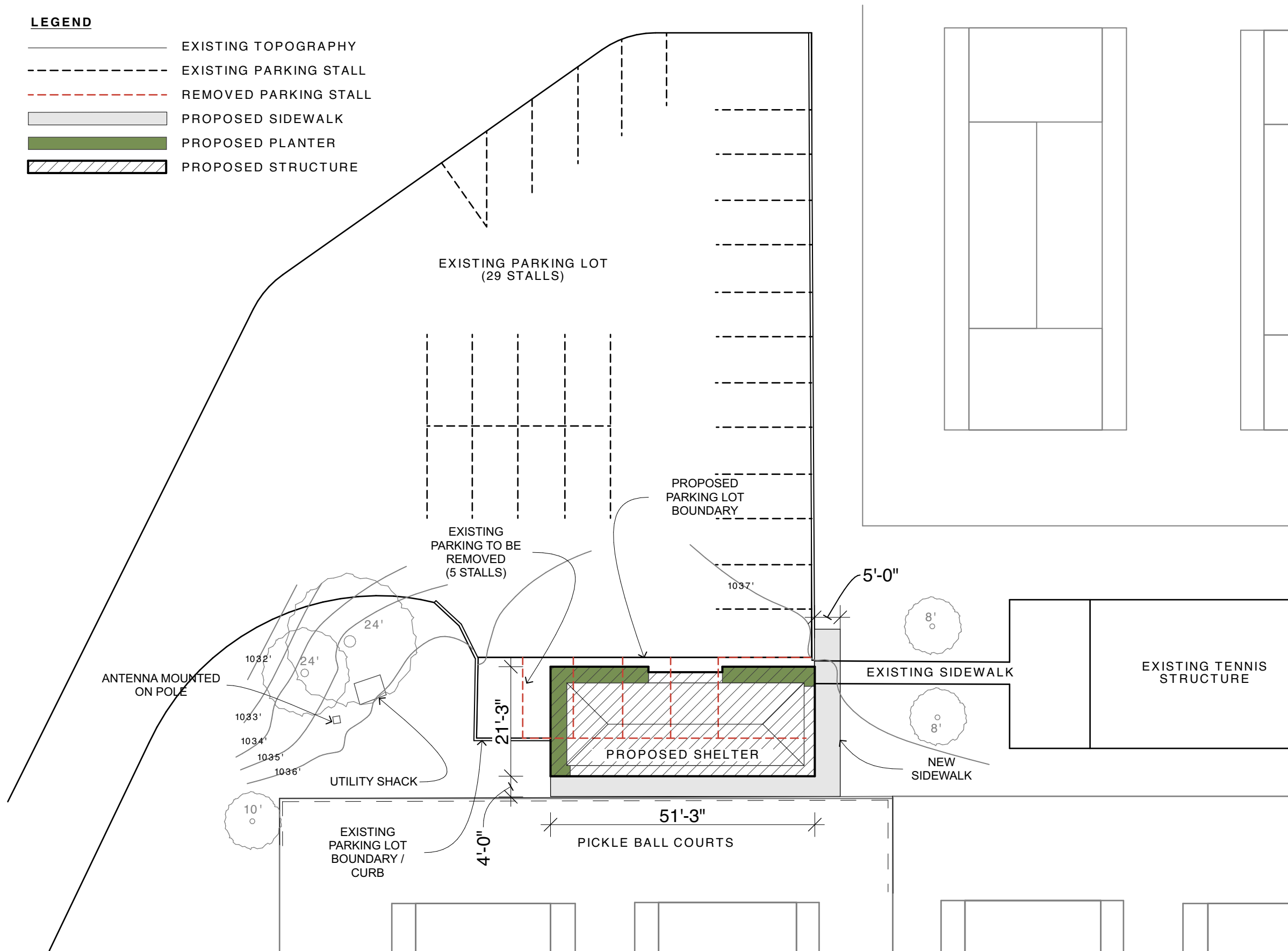


**Site Context / Location Plan**

\*Darker area represents approximate Woodhill Country Club property

**LEGEND**

- EXISTING TOPOGRAPHY
- - - EXISTING PARKING STALL
- - - REMOVED PARKING STALL
- ▭ PROPOSED SIDEWALK
- ▭ PROPOSED PLANTER
- ▨ PROPOSED STRUCTURE



**Certification**

FOR COORDINATION  
NOT FOR  
CONSTRUCTION

**Issue Chart**

No.	Date	Description
1	03/06/26	CUP Application
2	03/13/26	SD Pricing
3	03/27/26	CUP Updates

**Owner**

Brian Edmiston  
200 Woodhill Rd  
Wayzata, MN

**Project**

**Woodhill Pavilion**

200 Woodhill Rd Wayzata  
MN 55391

**Issue Name**

**Pricing**

**Issue Date**

Friday, March 27, 2026

**Sheet Title**

Site Plan

**Sheet Number**

# A0.2

**WOODHILL COUNTRY CLUB**

**RACQUETS SOCIAL DECK AREA - BUILDING PERMIT SURVEY**

**ADDRESS:**

200 Woodhill Road, Wayzata, Minnesota 55391.

**DESCRIPTION:**

Part of the Northeast Quarter of the Northeast Quarter of Section 2, Township 117 North, Range 23 West, Hennepin County.

**PARCEL IDS:**

0211723110001 Hennepin County

**CERTIFICATION:**

I hereby certify that this survey was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated: March 25, 2026

Anderson Engineering of Minnesota, LLC

by: *Nicholas M. Hillmer*

Nicholas Hillmer  
Minnesota License No. 45774

**SURVEY NOTES:**

- The horizontal datum and bearings are based on the Hennepin County Coordinate System NAD83(2011).
- The vertical datum is NAVD 88.
- Proposed building dimensions per PLAAD Architects plan set, sheet A0.2, dated March 13th, 2026.
- Property lines not depicted. Nearest property line is approximately 160 feet south of north edge of tennis courts.
- The location and extent of underground utilities, if shown, are based upon above ground evidence and Gopher State One Call markings per ticket number 260480005. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. The size and location of utilities shown should be considered approximate. Additional underground utilities may be present. Verification of the existence and location of all utilities should be obtained from the utility owners prior to any planning or design. In accordance with State Statute, the location of utilities shall be confirmed prior to any demolition or construction.
- According to the City of Wayzata, the subject property is zoned R-1 and has the building setback requirements listed below. It is recommended that the property owner obtain a zoning letter from the City to verify all conditions that affect the property through the city zoning ordinance. This survey does not purport to describe all conditions contained in said ordinance.

PRINCIPAL BUILDING SETBACKS
Front=45
Rear =20
Side =50

ACCESSORY BUILDING SETBACKS
Front=50
Rear =10
Side =10

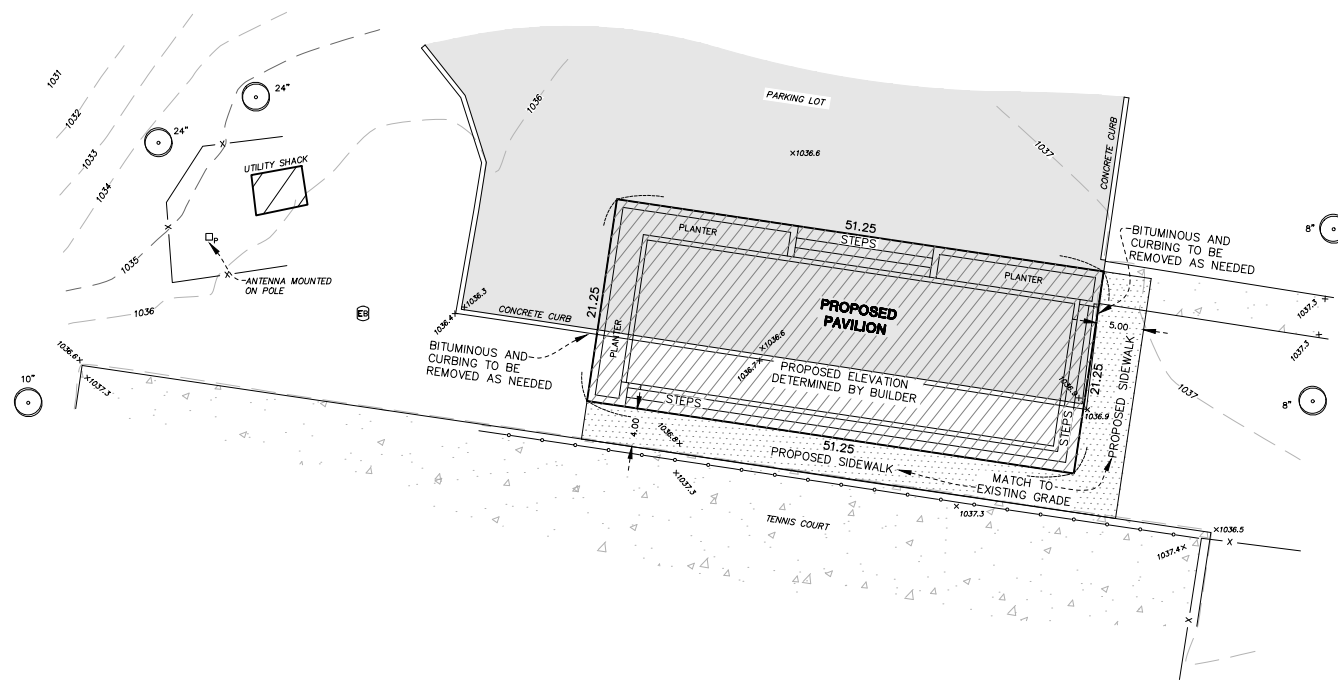
**PROPOSED BUILDING COVERAGE**

PAVILION BUILDING = 1,089 SQ. FT.

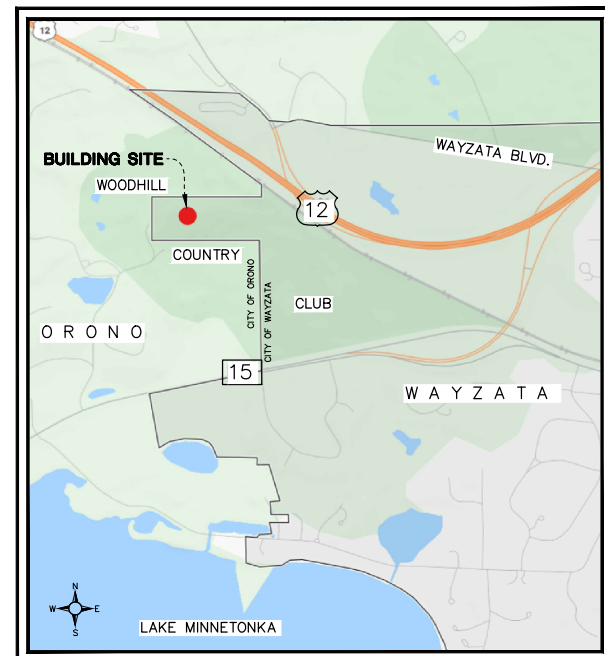
**IMPERVIOUS SURFACES**

PROPOSED PAVILION = 1,089 SQ. FT.  
PROPOSED SIDEWALK = 314 SQ. FT.

TOTAL ADDITIONAL IMPERVIOUS SURFACE = 1,403 SQ. FT.



**VICINITY MAP**



NO SCALE

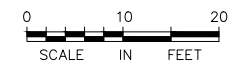
**SITE LOCATION**



NO SCALE

**LEGEND**

- ELECTRIC BOX
- ELECTRIC OUTLET POST
- CONIFEROUS TREE
- DECIDUOUS TREE
- BUILDING SETBACK
- FENCE
- BITUMINOUS SURFACE
- CONCRETE SURFACE
- PROPOSED CONCRETE WALK



FOR COORDINATION  
NOT FOR  
CONSTRUCTION

**Issue Chart**

No.	Date	Description
1	03/06/26	CUP Application
2	03/13/26	SD Pricing
3	03/27/26	CUP Updates

**Owner**

Brian Edmiston  
200 Woodhill Rd  
Wayzata, MN

**Project**

**Woodhill Pavilion**  
200 Woodhill Rd Wayzata  
MN 55391

**Issue Name**

**Pricing**

**Issue Date**

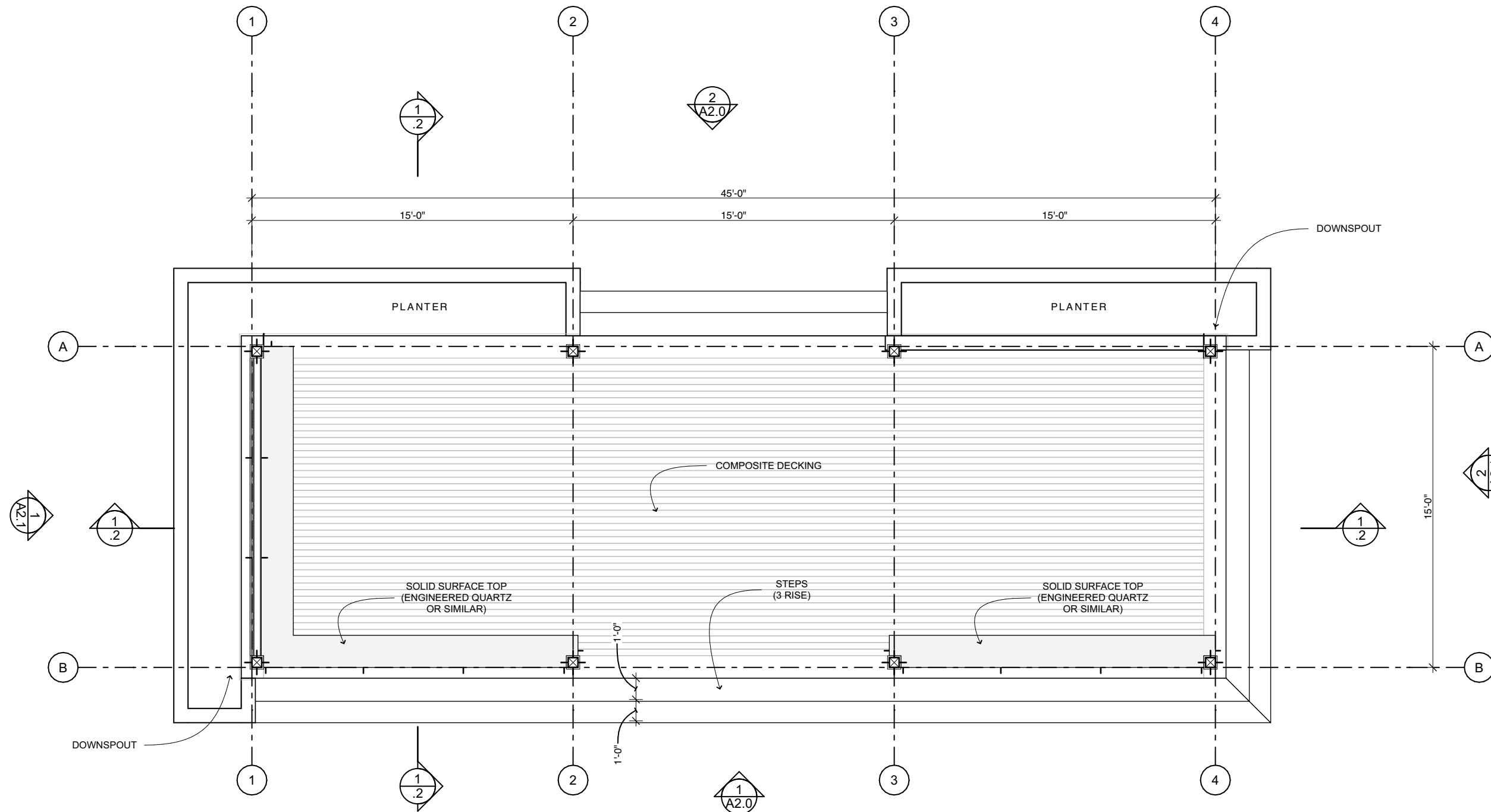
Friday, March 27, 2026

**Sheet Title**

Floor Plan

**Sheet Number**

# A1.0

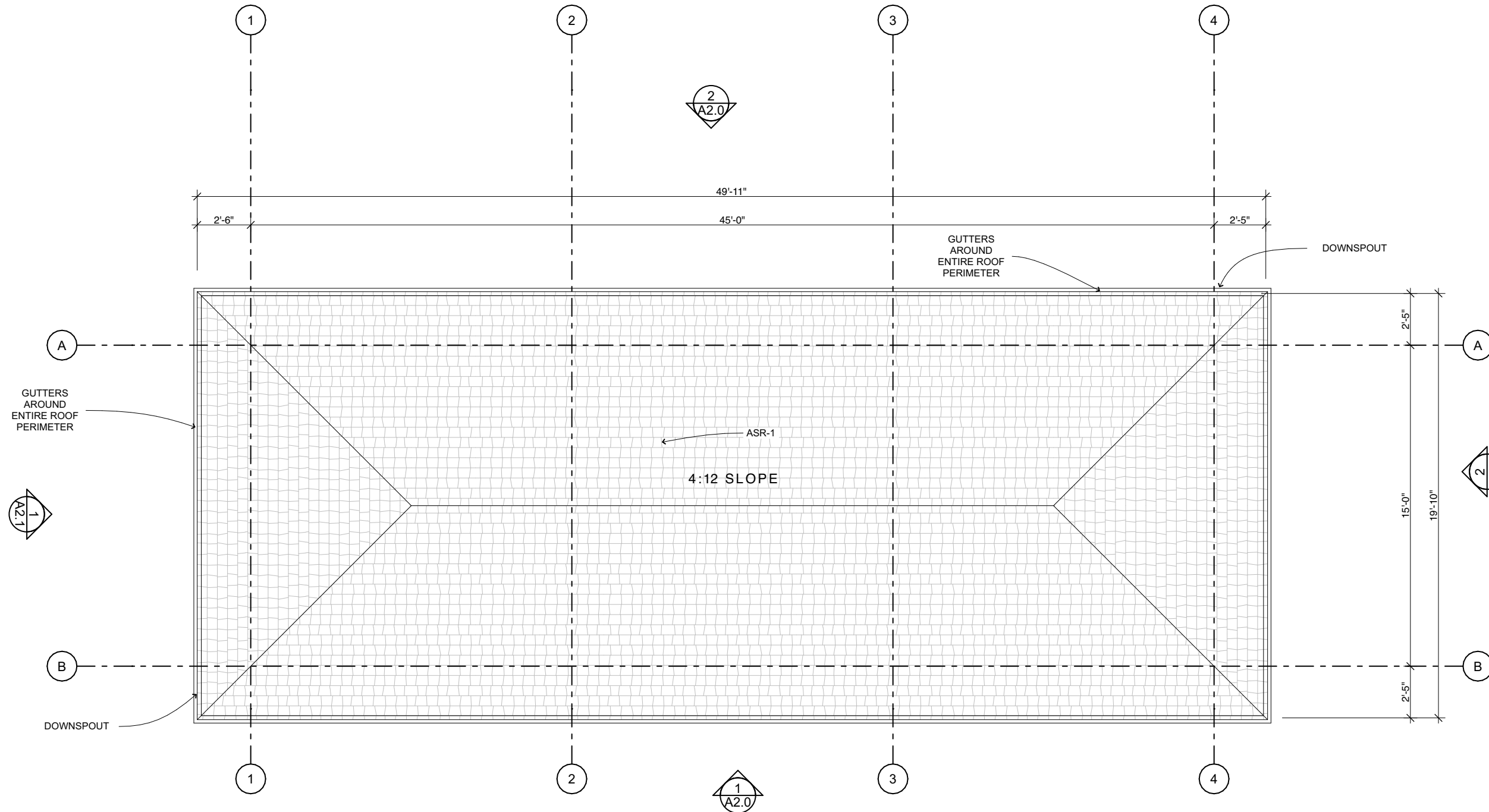


1

**Floor Plan**

3/16" = 1'-0"

FOR COORDINATION  
NOT FOR  
CONSTRUCTION



**Issue Chart**

No.	Date	Description
1	03/06/26	CUP Application
2	03/13/26	SD Pricing
3	03/27/26	CUP Updates

**Owner**

Brian Edmiston  
200 Woodhill Rd  
Wayzata, MN

**Project**

**Woodhill Pavilion**

200 Woodhill Rd Wayzata  
MN 55391

**Issue Name**

**Pricing**

**Issue Date**

Friday, March 27, 2026

**Sheet Title**

Roof Plan

**Sheet Number**

**A1.1**

1

**Roof Plan**

3/16" = 1'-0"

**KEYNOTES**

**DIVISION 07 THERMAL AND MOISTURE PROTECTION**

ASR-1 Asphalt Shingle Roofing  
Manf: GAF  
Style: Timberline  
Color: Charcoal

FOR COORDINATION  
NOT FOR  
CONSTRUCTION

**Issue Chart**

No.	Date	Description
1	03/06/26	CUP Application
2	03/13/26	SD Pricing
3	03/27/26	CUP Updates

**Owner**

Brian Edmiston  
200 Woodhill Rd  
Wayzata, MN

**Project**

**Woodhill Pavilion**  
200 Woodhill Rd Wayzata  
MN 55391

**Issue Name**

**Pricing**

**Issue Date**

Friday, March 27, 2026

**Sheet Title**

Exterior Elevations

**Sheet Number**

# A2.0

**KEYNOTES**

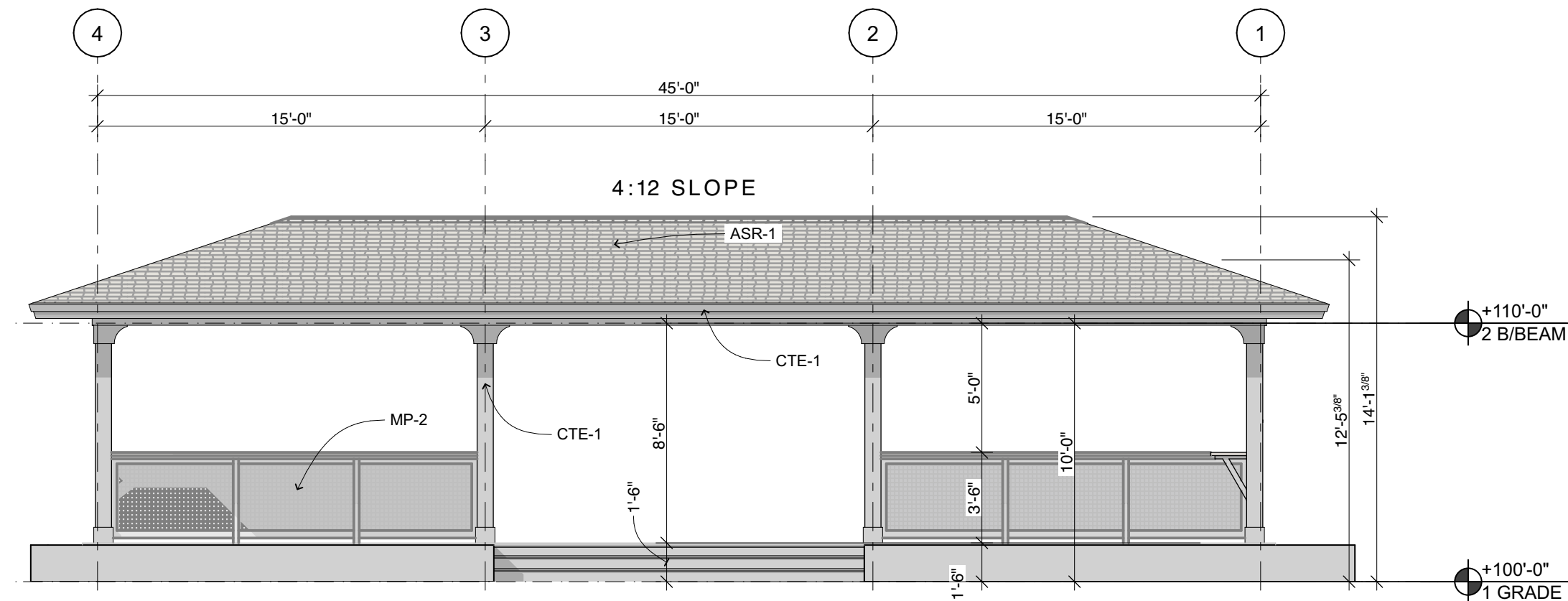
**DIVISION 06 WOOD, PLASTICS AND COMPOSITES**

CTE-1 Composite Trim Exterior  
Manufacturer: JamesHardie  
Product: Hardie Trim  
Texture: Smooth  
Size: 5/4" x dimension shown in drawings  
Color: Arctic White

**DIVISION 07 THERMAL AND MOISTURE PROTECTION**

ASR-1 Asphalt Shingle Roofing  
Manf: GAF  
Style: Timberline  
Color: Charcoal

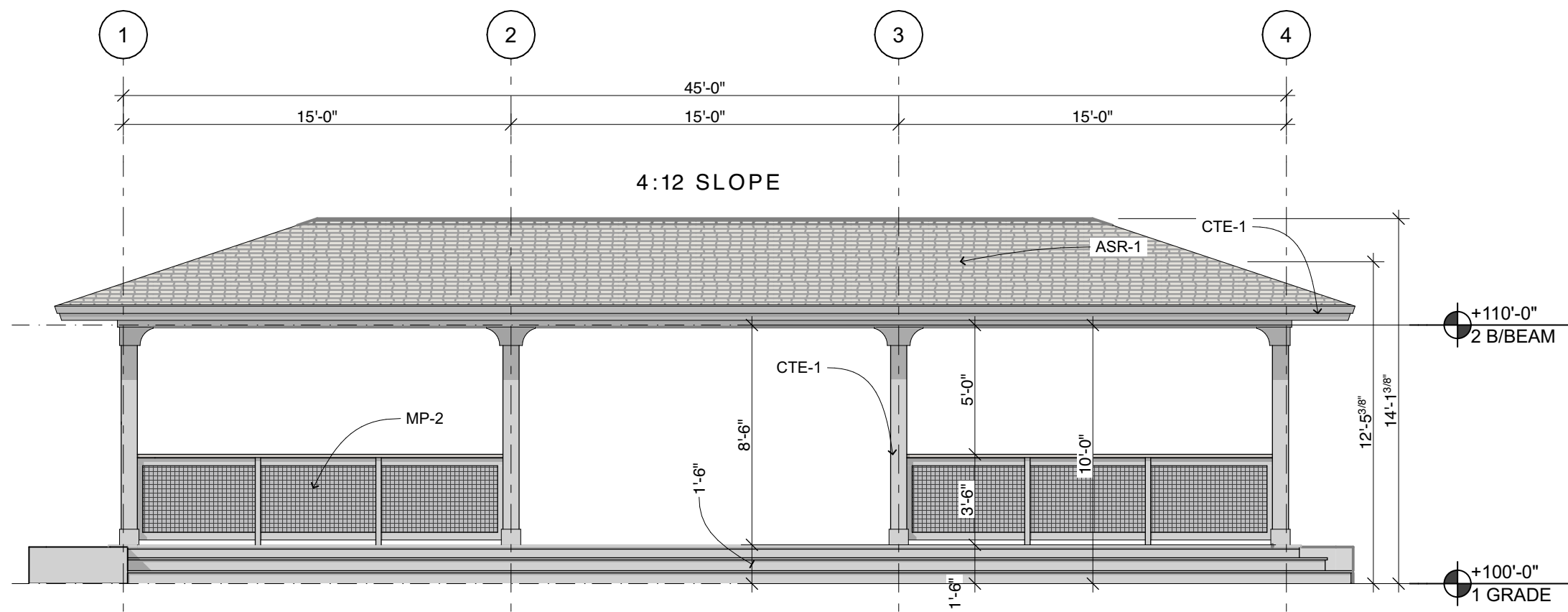
MP-2 Metal Mesh  
Metal mesh railing panel  
07 50 00



**North Elevation**

3/16" = 1'-0"

2



**South Elevation**

3/16" = 1'-0"

1

FOR COORDINATION  
NOT FOR  
CONSTRUCTION

## KEYNOTES

### DIVISION 06 WOOD, PLASTICS AND COMPOSITES

CTE-1 Composite Trim Exterior  
Manufacturer: JamesHardie  
Product: Hardie Trim  
Texture: Smooth  
Size: 5/4" x dimension shown in drawings  
Color: Arctic White

### DIVISION 07 THERMAL AND MOISTURE PROTECTION

ASR-1 Asphalt Shingle Roofing  
Manf: GAF  
Style: Timberline  
Color: Charcoal

CSE-1 Composite Exterior Siding  
Manufacturer: JamesHardie  
Product: Artisan V-Groove  
Texture: Smooth  
Color: Arctic White

### Issue Chart

No.	Date	Description
1	03/06/26	CUP Application
2	03/13/26	SD Pricing
3	03/27/26	CUP Updates

### Owner

Brian Edmiston  
200 Woodhill Rd  
Wayzata, MN

### Project

### Woodhill Pavilion

200 Woodhill Rd Wayzata  
MN 55391

### Issue Name

### Pricing

### Issue Date

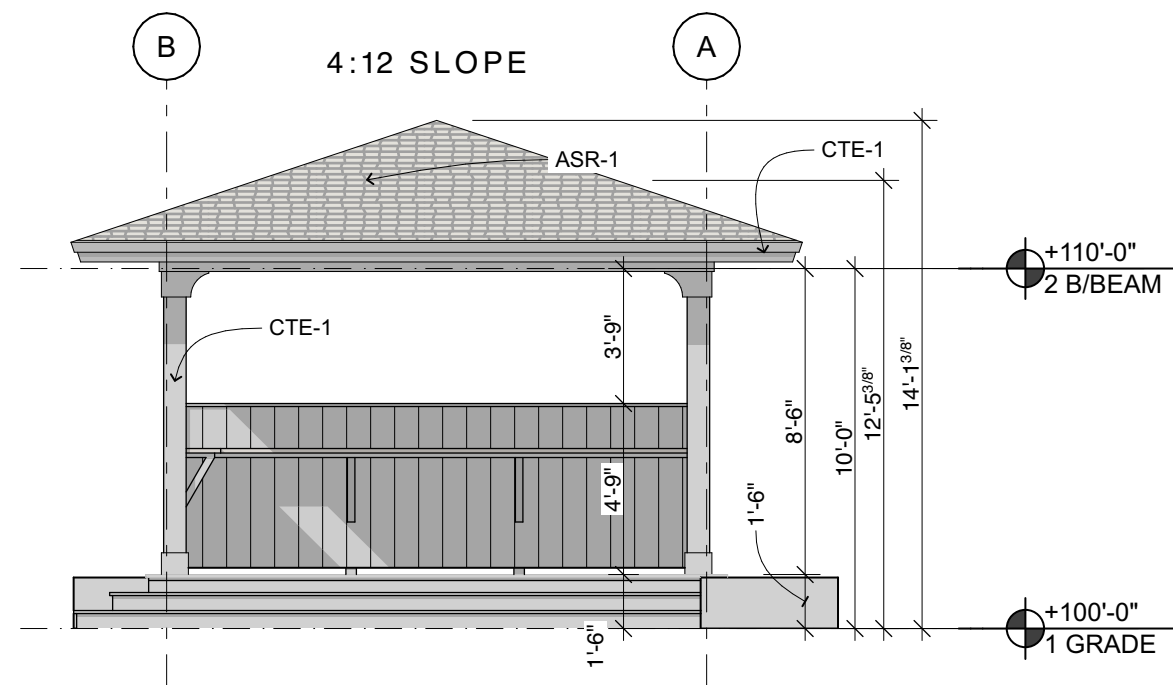
Friday, March 27, 2026

### Sheet Title

Exterior Elevations

### Sheet Number

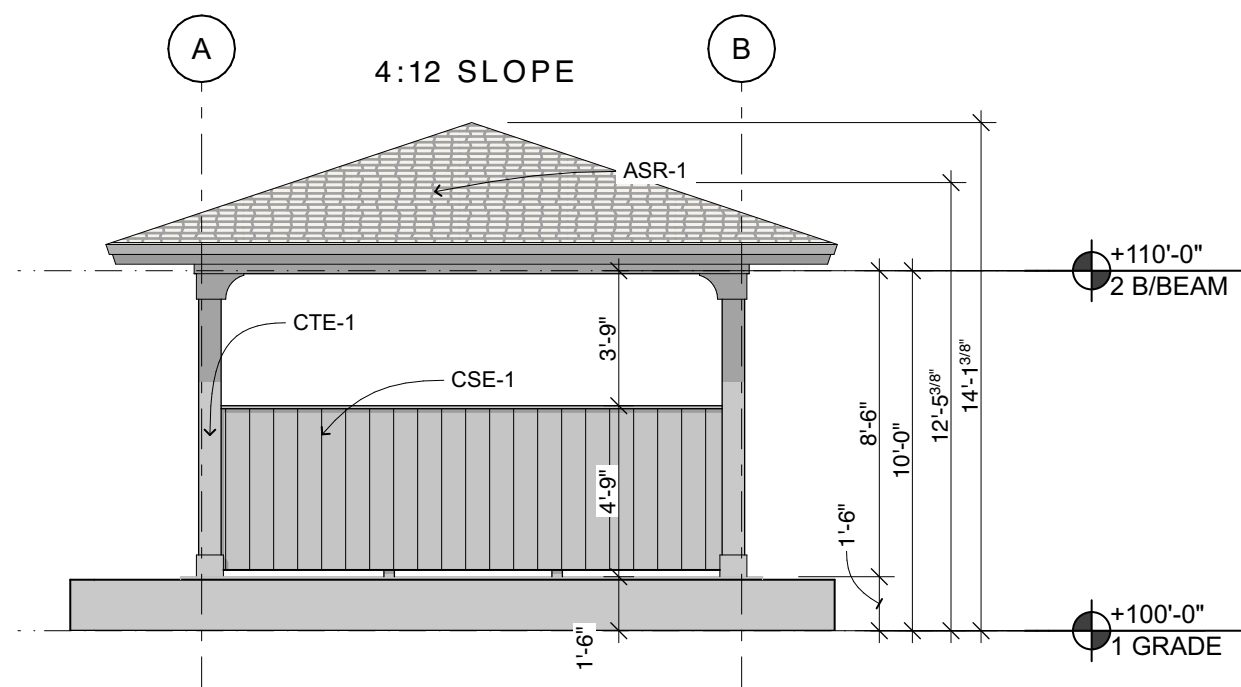
# A2.1



2

**East Elevation**

3/16" = 1'-0"



1

**West Elevation**

3/16" = 1'-0"



# Convenience Station

200 Woodhill Rd  
Wyzata, MN 55391

## SHEET INDEX

- A0.0 Title Sheet
- A0.1 Location Plan
- A0.2 Site Plan - Hole 5  
Survey
- A1.0 Floor Plan
- A1.1 Roof Plan
- A2.0 Exterior Elevations

## PROJECT TEAM

**Owner:** Brian Edmiston  
200 Woodhill Rd  
Wayzata, MN 55391  
brian.edmiston@woodhillcc.com  
952.345.0784

**Architect:** PLAAD  
Matt Byers  
1229 Tyler St NE  
Suite 140  
Minneapolis, MN 55413  
matt@plaadoffice.com  
651.336.1393

**Builder:** Markku Ravaska  
Nordea Homes  
markku@nordeahomes.com  
320.237.7067

**Surveyor:** Nicholas Hillmer  
Anderson Engineering of Minnesota  
13605 1st Avenue North, Suite 100  
Plymouth, MN 55441  
763.412.4000



1229 Tyler St NE  
Minneapolis, MN 55413

## Certification

FOR COORDINATION  
NOT FOR  
CONSTRUCTION

## Issue Chart

No.	Date	Description
1	03/06/26	CUP Application
2	03/13/26	SD Pricing
3	03/18/26	CUP Application
4	03/27/26	CUP Updates
5	04/01/26	CUP Updates

## Owner

Woodhill Country Club  
200 Woodhill Rd  
Wayzata, MN

## Project

Woodhill CC

## Issue Name

CUP Application

## Issue Date

Friday, March 27, 2026

## Sheet Title

Title Sheet

## Sheet Number

A0.0

## APPLICABLE CODES AND REGULATIONS WITH LOCAL AMENDMENTS

Building Codes  
2020 Minnesota Residential Code  
2020 Minnesota Energy Code  
2020 Minnesota Mechanical and Fuel Gas Code  
2020 Minnesota Plumbing Code  
2020 Minnesota Electrical Code  
2020 Minnesota Provisions to the State Building Code

Land Use Codes  
TBD

FOR COORDINATION

NOT FOR  
CONSTRUCTION

**Issue Chart**

No.	Date	Description
1	03/06/26	CUP Application
2	03/13/26	SD Pricing
3	03/18/26	CUP Application
4	03/27/26	CUP Updates
5	04/01/26	CUP Updates

**Owner**

Woodhill Country Club  
200 Woodhill Rd  
Wayzata, MN

**Project**

**Woodhill CC**

**Issue Name**

**CUP Application**

**Issue Date**

Friday, March 27, 2026

**Sheet Title**

Location Plan

**Sheet Number**

**A0.1**



Orono

Wayzata

DASHED RED LINE  
DENOTES CITY  
BOUNDARY

APPROXIMATE  
BOUNDARY OF SITE  
PLAN (A0.2)

**Site Context / Location Plan**

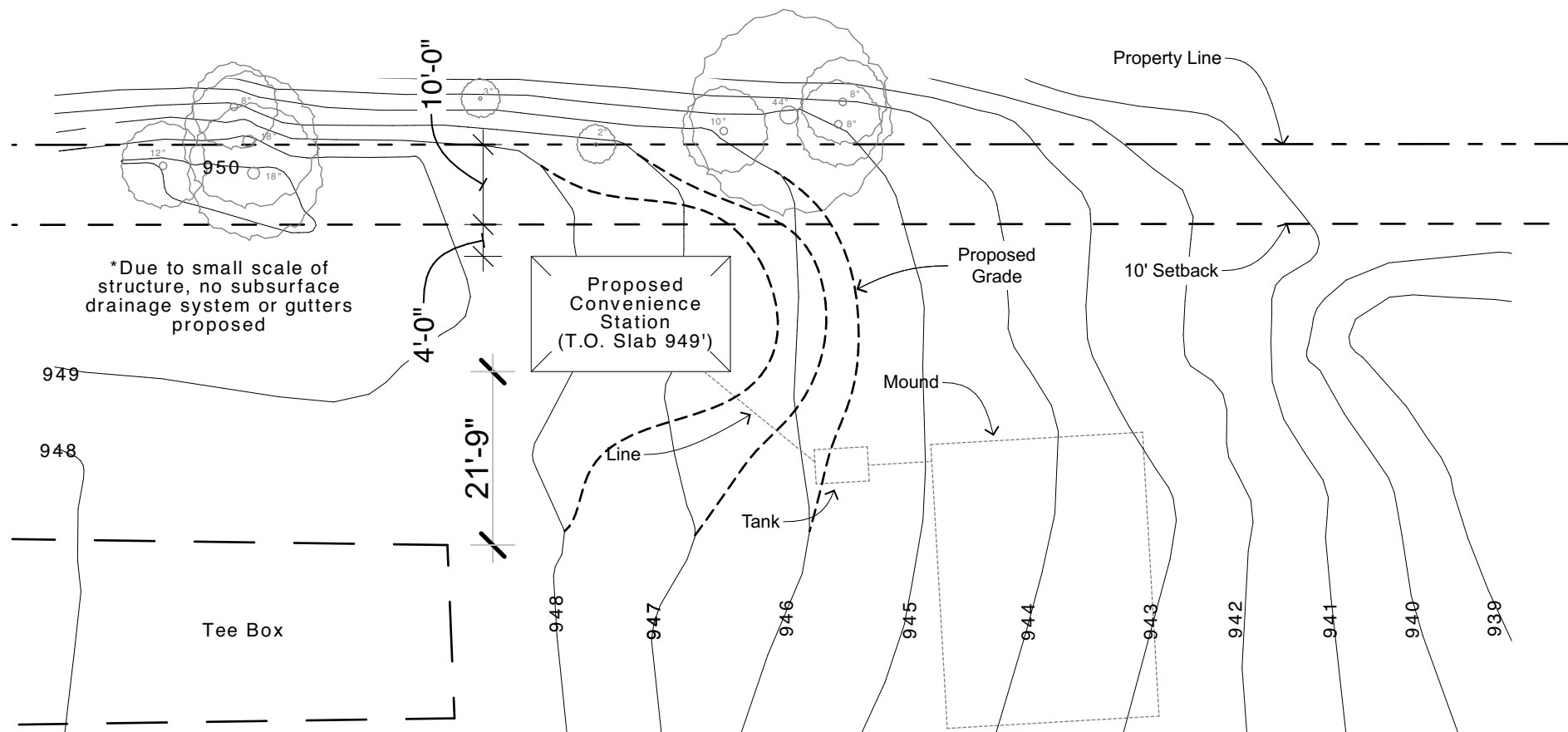
\*Darker area represents approximate Woodhill Country Club property

FOR COORDINATION  
NOT FOR  
CONSTRUCTION

**EGEND**

- — — — — PROPERTY LINE
- - - - - SETBACK
- EXISTING TOPOGRAPHY
- - - - - PROPOSED TOPOGRAPHY
- ..... SEPTIC SYSTEM
- — — — — TEE BOX

## Burlington Northern Railroad



\*Due to small scale of structure, no subsurface drainage system or gutters proposed

**Issue Chart**

No.	Date	Description
1	03/06/26	CUP Application
2	03/13/26	SD Pricing
3	03/18/26	CUP Application
4	03/27/26	CUP Updates
5	04/01/26	CUP Updates

**Owner**

Woodhill Country Club  
200 Woodhill Rd  
Wayzata, MN

**Project**

**Woodhill CC**

**Issue Name**

**CUP Application**

**Issue Date**

Friday, March 27, 2026

**Sheet Title**

Site Plan - Hole 5

1

**Site Plan - 5**

1" = 20'

**Sheet Number**

**A0.2**

**WOODHILL COUNTRY CLUB  
TEE 5 CONVENIENCE STATION - BUILDING PERMIT SURVEY**

**ADDRESS:**

200 Woodhill Road, Wayzata, Minnesota 55391.

**DESCRIPTION:**

Lot 67, Auditor's Subdivision No. 184, Hennepin County,

And

The Northeast Quarter of the Southeast Quarter of Section 2, Township 117 North, Range 23 West, Hennepin County, Minnesota,

**PARCEL IDS:**

111723230002 and 0211723120001, Hennepin County

**CERTIFICATION:**

I hereby certify that this survey was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated: March 25, 2026

Revised: April 1, 2026

Anderson Engineering of Minnesota, LLC

by: *Nicholas M Hillmer*

Nicholas Hillmer  
Minnesota License No. 45774

**SURVEY NOTES:**

1. The horizontal datum and bearings are based on the Hennepin County Coordinate System NAD83(2011).
2. The vertical datum is NAVD 88.
3. Proposed building dimensions per PLAAD Architects plan set, sheet A1.1, dated March 13th, 2026.
4. This is a partial boundary survey. The property lines are depicted nearest the survey area.
5. The location and extent of underground utilities, if shown, are based upon above ground evidence and Gopher State One Call markings per ticket number 260480005. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. The size and location of utilities shown should be considered approximate. Additional underground utilities may be present. Verification of the existence and location of all utilities should be obtained from the utility owners prior to any planning or design. In accordance with State Statute, the location of utilities shall be confirmed prior to any demolition or construction.
6. According to the City of Wayzata, the subject property is zoned R-1 and has the building setback requirements listed below. It is recommended that the property owner obtain a zoning letter from the City to verify all conditions that affect the property through the city zoning ordinance. This survey does not purport to describe all conditions contained in said ordinance.

**PRINCIPAL BUILDING SETBACKS**

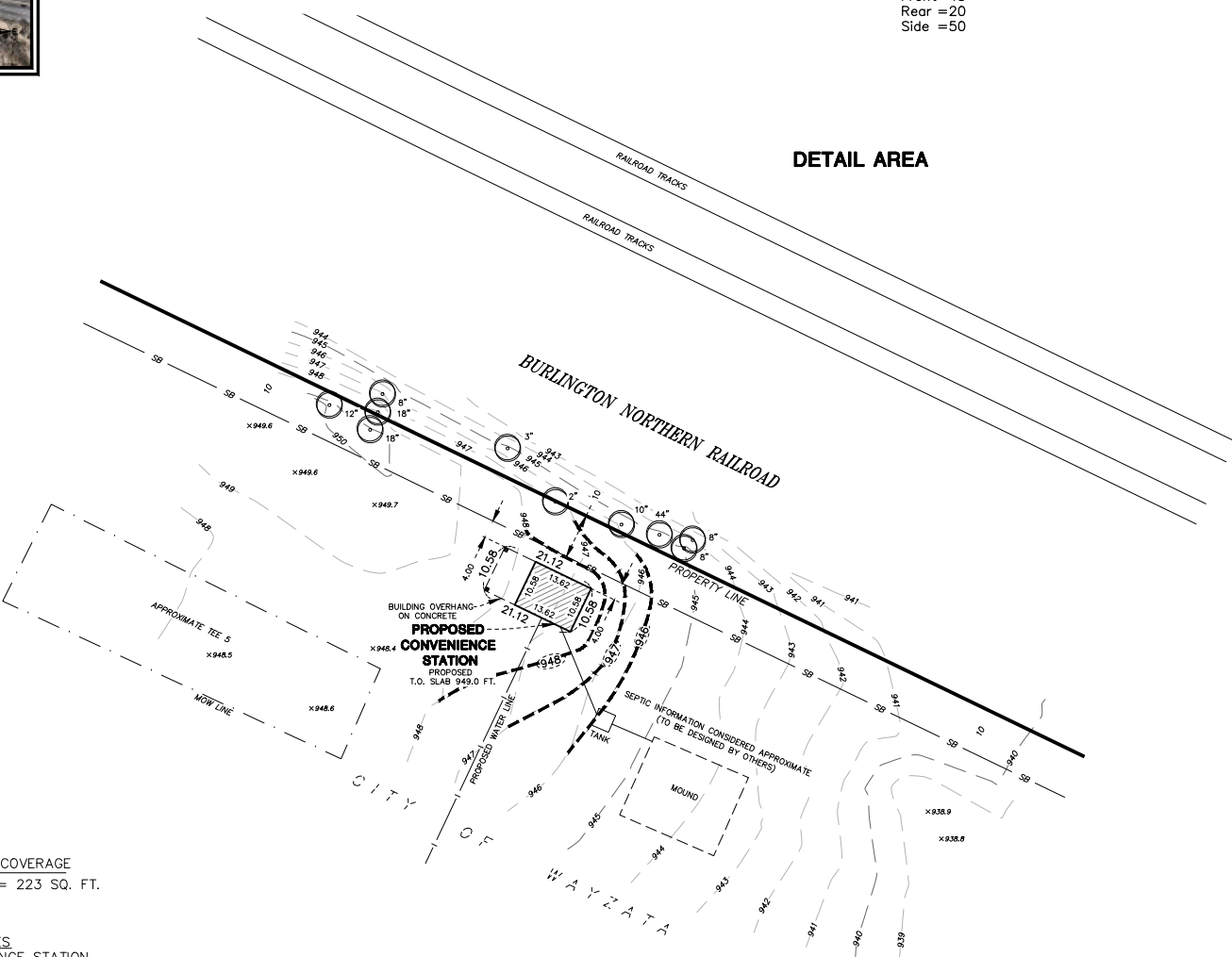
Front=45  
Rear =20  
Side =50

**ACCESSORY BUILDING SETBACKS**

Front=50  
Rear =10  
Side =10



NO SCALE



**DETAIL AREA**

**LEGEND**

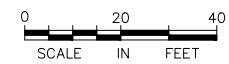
- ELECTRIC BOX
- ELECTRIC OUTLET POST
- CONIFEROUS TREE
- DECIDUOUS TREE
- BUILDING SETBACK
- FENCE
- BITUMINOUS SURFACE
- CONCRETE SURFACE
- TREE TO BE REMOVED AS NEEDED
- PROPOSED CONTOUR
- PROPOSED ELEVATION
- PROPOSED WATER MAIN

**PROPOSED BUILDING COVERAGE**  
PAVILION BUILDING = 223 SQ. FT.

**IMPERVIOUS SURFACES**  
PROPOSED CONVENIENCE STATION  
TOTAL ADDITIONAL IMPERVIOUS SURFACE = 223 SQ. FT.

**CUT/FILL SUMMARY**

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
VOLUME SURFACE	1.000	1.000	1466.35 Sq. Ft.	0.04 Cu. Yd.	34.86 Cu. Yd.	34.82 Cu. Yd.<Fill>
Totals			1466.35 Sq. Ft.	0.04 Cu. Yd.	34.86 Cu. Yd.	34.82 Cu. Yd.<Fill>



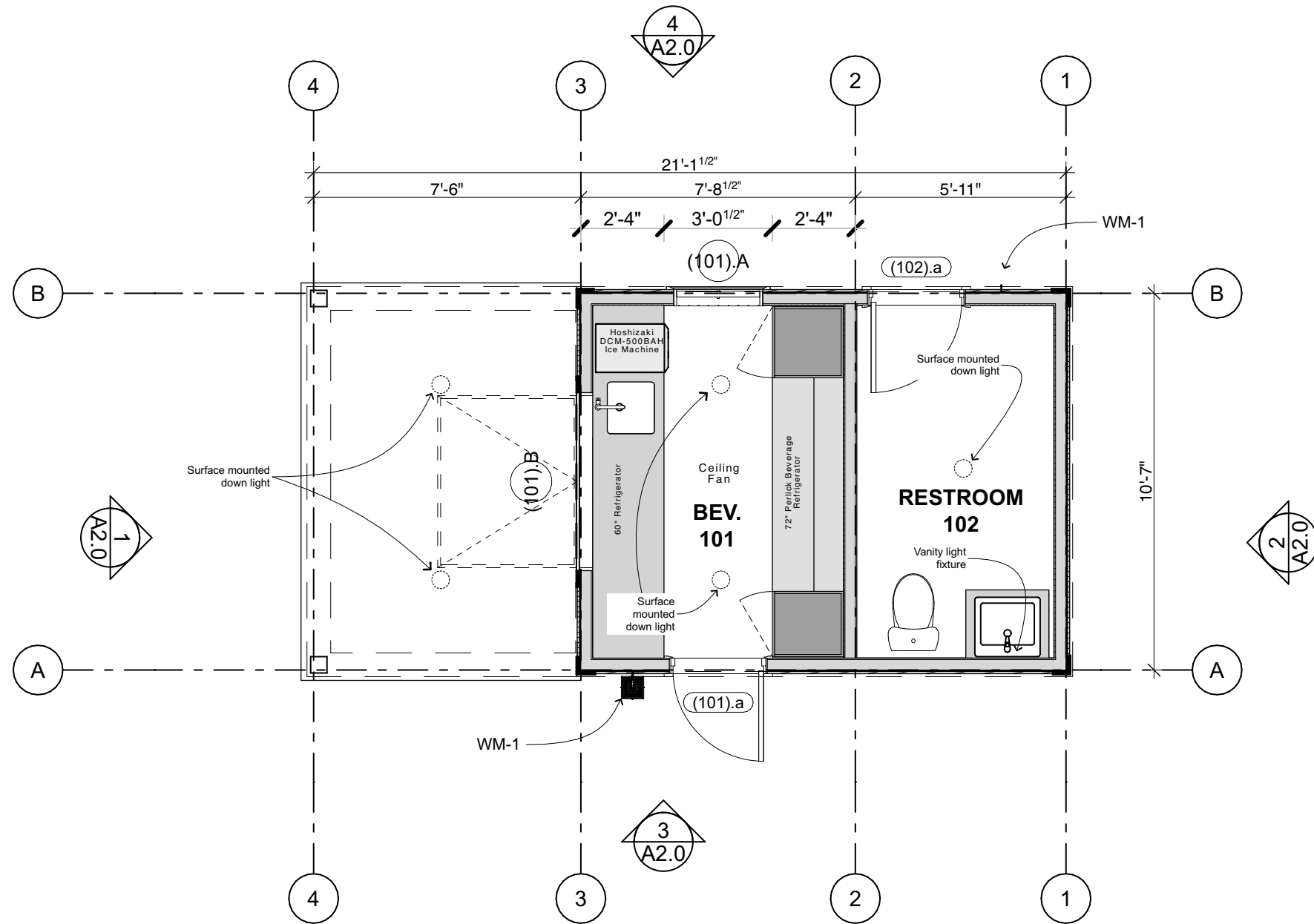
**ANDERSON**  
ENGINEERING • ARCHITECTURE • LAND SURVEYING  
ENVIRONMENTAL SERVICES • LANDSCAPE ARCHITECTURE

Anderson Engineering of Minnesota, LLC  
13605 1st Avenue North, Suite 100  
Plymouth, MN 55441  
763-412-4000 (o) 763-412-4090 (f)  
www.ae-mn.com

**KEYNOTES**

**DIVISION 16 ELECTRICAL**

WM-1 Wall Mounted Exterior Fixture  
Dark sky compliant



1

**Floor Plan**

1/4" = 1'-0"

FOR COORDINATION  
NOT FOR  
CONSTRUCTION

**Issue Chart**

No.	Date	Description
1	03/06/26	CUP Application
2	03/13/26	SD Pricing
3	03/18/26	CUP Application
4	03/27/26	CUP Updates
5	04/01/26	CUP Updates

**Owner**

Woodhill Country Club  
200 Woodhill Rd  
Wayzata, MN

**Project**

**Woodhill CC**

**Issue Name**

**CUP Application**

**Issue Date**

Friday, March 27, 2026

**Sheet Title**

Floor Plan

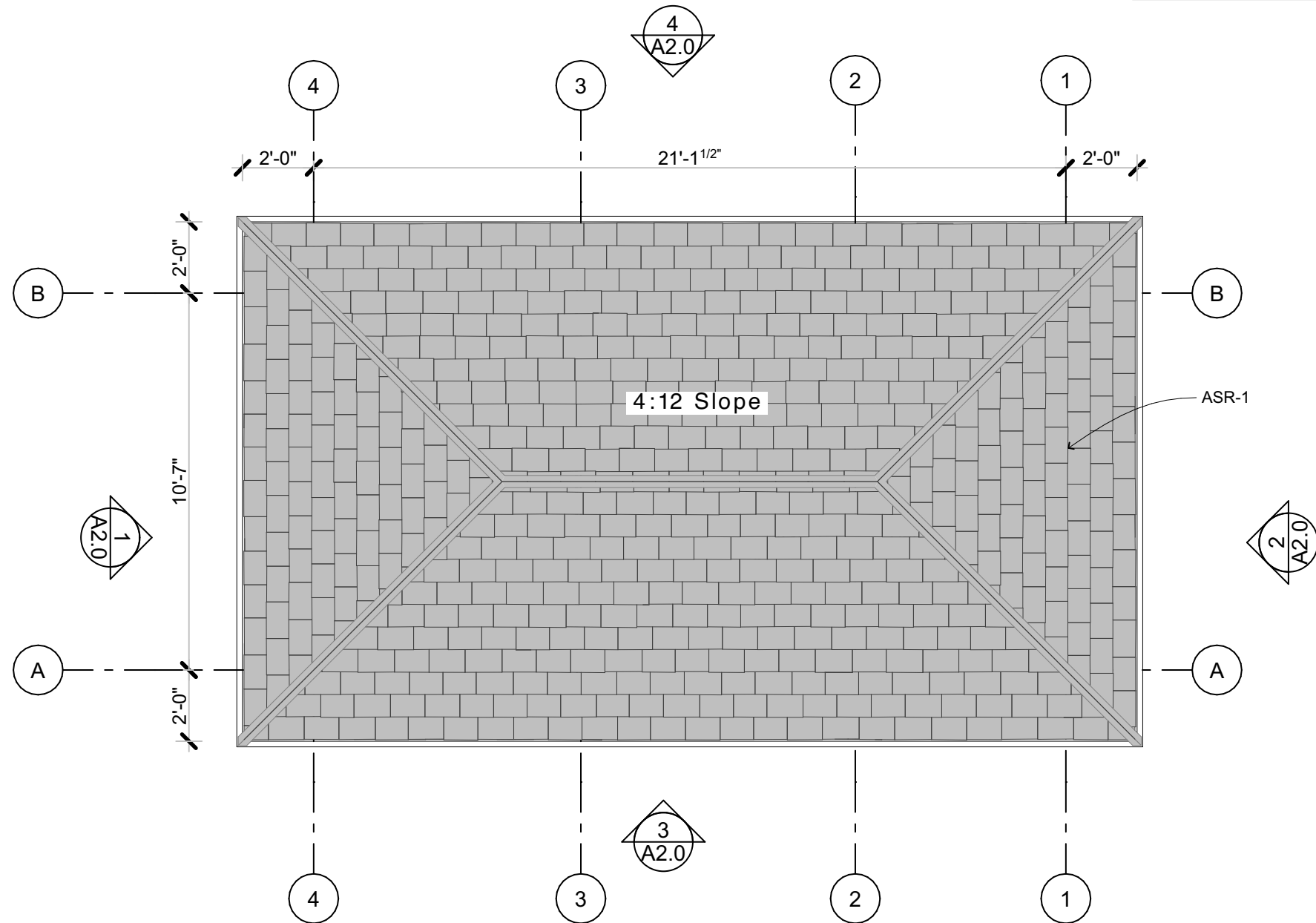
**Sheet Number**

**A1.0**

## KEYNOTES

**DIVISION 07 THERMAL AND MOISTURE PROTECTION**

ASR-1 Asphalt Shingle Roofing  
Manf: GAF  
Style: Timberline  
Color: Charcoal



FOR COORDINATION  
NOT FOR  
CONSTRUCTION

**Issue Chart**

No.	Date	Description
1	03/06/26	CUP Application
2	03/13/26	SD Pricing
3	03/18/26	CUP Application
4	03/27/26	CUP Updates
5	04/01/26	CUP Updates

**Owner**

Woodhill Country Club  
200 Woodhill Rd  
Wayzata, MN

**Project**

**Woodhill CC**

**Issue Name**

**CUP Application**

**Issue Date**

Friday, March 27, 2026

**Sheet Title**

Roof Plan

1

**Roof Plan**

1/4" = 1'-0"

**Sheet Number**

**A1.1**

FOR COORDINATION  
NOT FOR  
CONSTRUCTION

**Issue Chart**

No.	Date	Description
1	03/06/26	CUP Application
2	03/13/26	SD Pricing
3	03/18/26	CUP Application
4	03/27/26	CUP Updates
5	04/01/26	CUP Updates

**Owner**

Woodhill Country Club  
200 Woodhill Rd  
Wayzata, MN

**Project**

**Woodhill CC**

**Issue Name**

**CUP Application**

**Issue Date**

Friday, March 27, 2026

**Sheet Title**

Exterior Elevations

**Sheet Number**

**A2.0**

**KEYNOTES**

**DIVISION 06 WOOD, PLASTICS AND COMPOSITES**

CTE-1 Composite Trim Exterior  
Manufacturer: JamesHardie  
Product: Hardie Trim  
Texture: Smooth  
Size: 5/4" x dimension shown in drawings  
Color: Arctic White

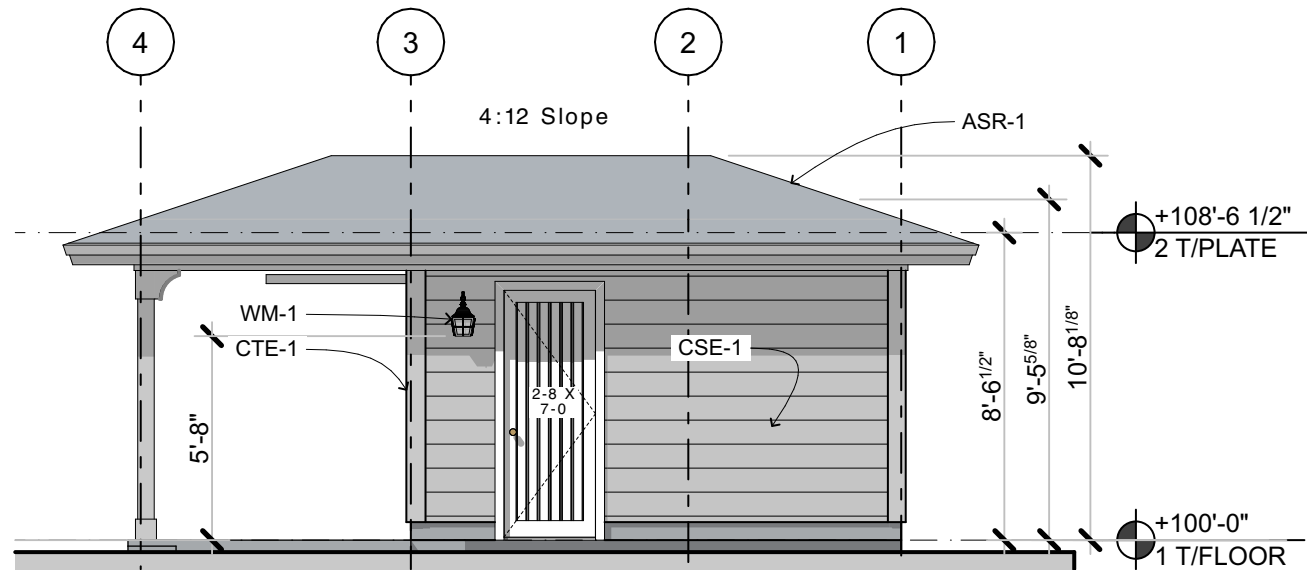
**DIVISION 07 THERMAL AND MOISTURE PROTECTION**

ASR-1 Asphalt Shingle Roofing  
Manf: GAF  
Style: Timberline  
Color: Charcoal

CSE-1 Composite Exterior Siding  
Manufacturer: JamesHardie  
Product: Hardie Plank Lap Siding  
Texture: Smooth  
Color: Arctic White

**DIVISION 16 ELECTRICAL**

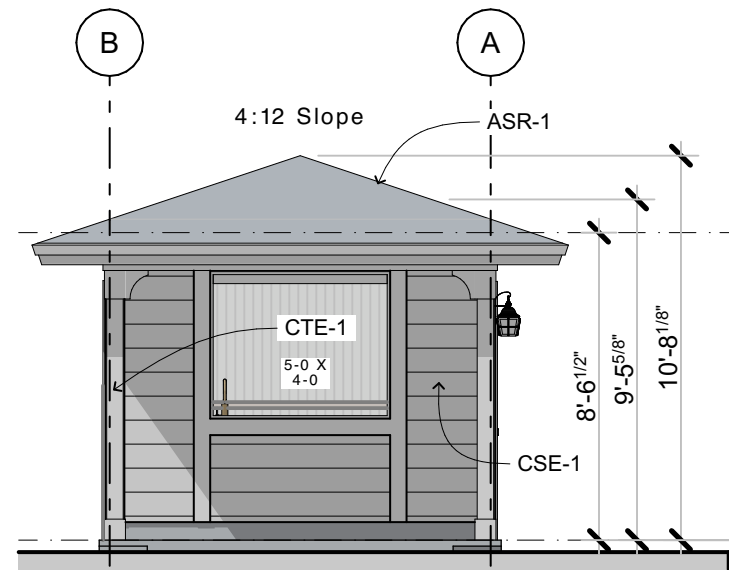
WM-1 Wall Mounted Exterior Fixture  
Dark sky compliant



**3 South Elevation** 3/16" = 1'-0"

**PERCENTAGE OF CSE VS. WINDOW/DOORS**

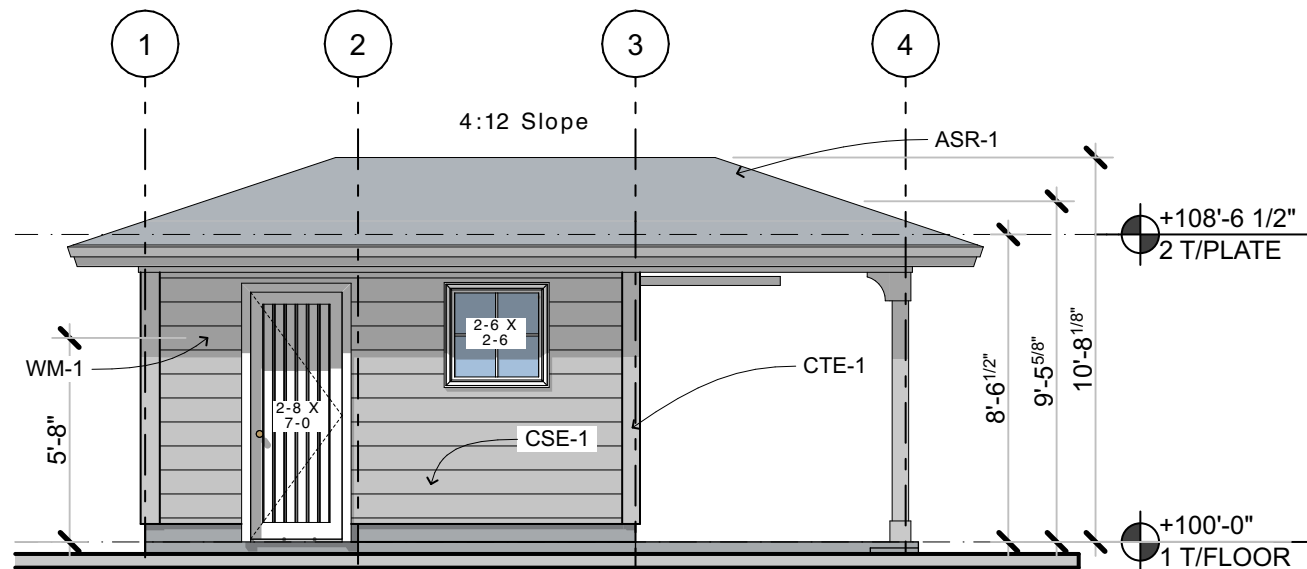
TOTAL WALL AREA: 106 SF  
DOOR: 18.7 SF  
WINDOW: 6.25 SF  
TOTAL OPENING AREA: 24.95 SF  
PERCENTAGE DOOR+WINDOW VS. OVERALL WALL AREA: 24.95SF/106SF = 23%



**1 West Elevation** 3/16" = 1'-0"

**PERCENTAGE OF CSE VS. WINDOW/DOORS**

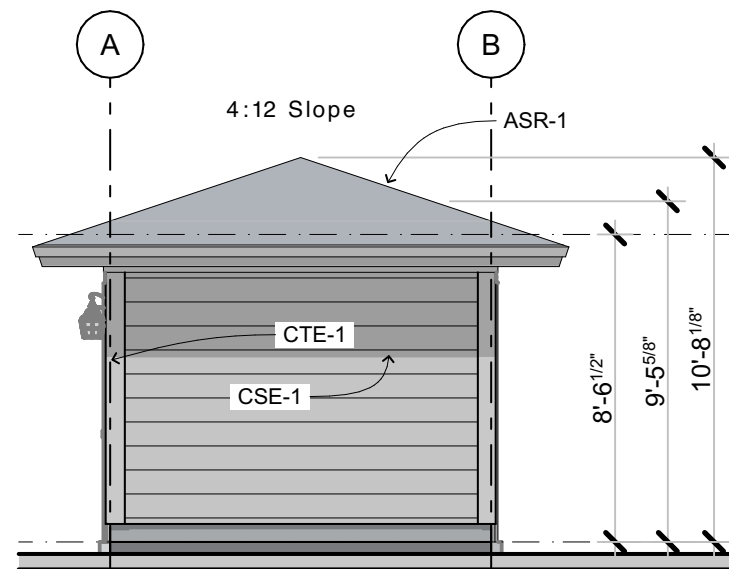
TOTAL WALL AREA: 77 SF  
DOOR: 0 SF  
WINDOW: 20 SF  
TOTAL OPENING AREA: 20 SF  
PERCENTAGE DOOR+WINDOW VS. OVERALL WALL AREA: 20SF/77SF = 26%



**4 North Elevation** 3/16" = 1'-0"

**PERCENTAGE OF CSE VS. WINDOW/DOORS**

TOTAL WALL AREA: 106 SF  
DOOR: 18.7 SF  
WINDOW: 6.25 SF  
TOTAL OPENING AREA: 24.95 SF  
PERCENTAGE DOOR+WINDOW VS. OVERALL WALL AREA: 24.95SF/106SF = 23%



**2 East Elevation** 3/16" = 1'-0"

**PERCENTAGE OF CSE VS. WINDOW/DOORS**

TOTAL WALL AREA: 77 SF  
DOOR: 0 SF  
WINDOW: 0 SF  
TOTAL OPENING AREA: 0 SF  
PERCENTAGE DOOR+WINDOW VS. OVERALL WALL AREA: 0SF/77SF = 0%

Septic System Design For:

Woodhill Country Club  
200 Woodhill Road  
Wayzata, MN 55391

Completed By:  
A and T Septic  
Tim Kinney  
320-221-1800  
License 1608

This is a design for a Type 3 Mound system for a one stall bathroom near the 5<sup>th</sup> T box.

There is an average of 60 rounds of golf played on the course per day. Estimated flow are 20 members using the bathroom per day x 5 gallons per day = 100 GPD. Adding 60% = 160 GPD. 160GPD x 3 = 480 gallons minimum septic tank capacity.

The soil profile indicates some mixing in the top 8 inches. In addition, the top 12-14 inches is compacted. The top 14 inches of the mound absorption area shall be removed and replaced with washed sand.

New 1500 combination septic tank/pump tank  
Mound with 10x13 Rock bed  
18-inch sand lift on 9% slope

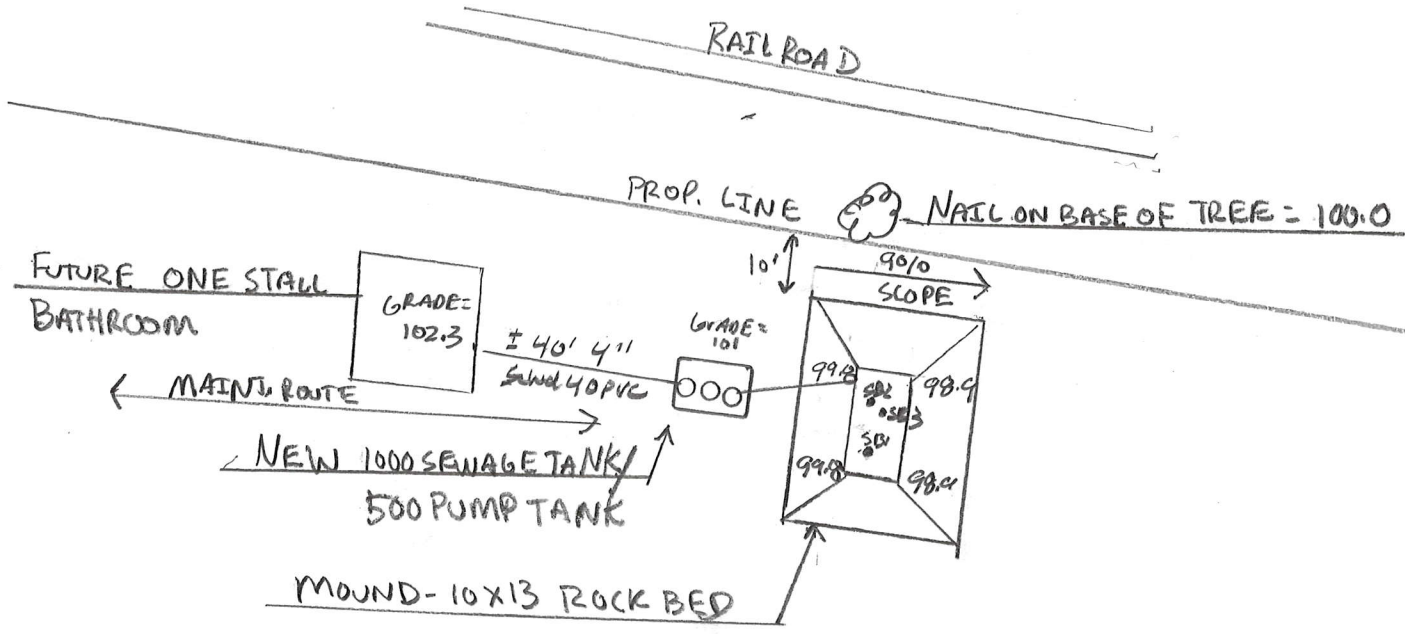
Owner shall verify the location of the north property line prior to installation.

Please review and sign the attached management plan prior to submittal for permit.

Installing a water meter in the bathroom structure is for flow measurement is recommended.

NORTH ↑

WAYZATA COUNTRY CLUB  
200 WOODHILL ROAD  
WAYZATA MN 55391  
PID - 0111723280002



\*NO WELLS WITHIN 500' OF SYSTEM

DESIGN SUMMARY - 1606PD TYPE B MOUND

- 1500 GALLON COMBINATION TANK (1000 SEWAGE / 500 PUMP)
- 10x13.3 MOUND ROCK BED - 18" SAND LIFT
- TOP OF SAND EL = 100.4
- 3- 2" LATERALS - 1/4 HOLES - 3' O.C. 11.3' LONG



# Hennepin County Natural Resources Map

Date: 10/14/2025

## Legend

2 Foot Elevation Contours

— Index

— Intermediate



Comments:

1:1,200

↑ N

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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Aerial imagery flown 2024

PID: 021172310001  
 Address: 200 Woodhill Rd,  
 Wayzata 55391  
 Owner: Woodhill Country Club  
 Acres: 16.77  
 Point location (UTM 15N):  
 457071.2278252607,  
 4980286.69548316



## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
L2B	Malardi-Hawick complex, 1 to 6 percent slopes	1.7	2.7%
L2C	Malardi-Hawick complex, 6 to 12 percent slopes	1.5	2.4%
L2D	Malardi-Hawick complex, 12 to 18 percent slopes	0.5	0.8%
L22C2	Lester loam, 6 to 10 percent slopes, moderately eroded	18.9	30.2%
L22E	Lester loam, 10 to 22 percent slopes	10.9	17.5%
L22F	Lester loam, morainic, 25 to 35 percent slopes	0.3	0.5%
L23A	Cordova loam, 0 to 2 percent slopes	3.4	5.4%
L36A	Hamel, overwash-Hamel complex, 0 to 3 percent slopes	7.5	12.0%
L37B	Angus loam, 2 to 6 percent slopes	4.3	6.8%
L41E	Lester-Kilkenny complex, 16 to 22 percent slopes	0.1	0.1%
L49A	Klossner soils, depressional, 0 to 1 percent slopes	2.5	3.9%
L50A	Muskego and Houghton soils, 0 to 1 percent slopes	1.4	2.3%
L132A	Hamel-Glencoe complex, 0 to 2 percent slopes	0.2	0.3%
U2A	Udorthents, wet substratum, 0 to 2 percent slopes	8.8	14.1%
U3B	Udorthents (cut and fill land), 0 to 6 percent slopes	0.6	0.9%
<b>Totals for Area of Interest</b>		<b>62.7</b>	<b>100.0%</b>

# Mound Design

Property Owner: Woodhill Country Club

Date: 10/13/2025

Site Address: 200 Woodhill Road, Wayzata MN

PID: 011172323002

Comments: \_\_\_\_\_

Instructions:  = enter data     = adjust if desired     = computer calculated - DO NOT CHANGE!

- 1)  bedroom    Type     Other Establishment    System
- 2)  GPD design flow
- 3)  Garbage disposal or pumped to septic
- 4)  Gal Septic tank (code minimum)     Gal Septic tank (design size / LUG req'd)  
Tank options: none
- 5)  GPD/ft<sup>2</sup> mound sand loading rate    contour loading rate of  req's a min     ft. long rockbed
- 6)  ft rockbed width     ft rockbed length
- 7)  ft lateral spacing     ft perforation spacing    (maximum of 3 for both)  
 manifold connection
- 8)  laterals     feet long     perfs / lateral     perfs total  
(1/2 a perf means the first perf starts at the middle feed manifold)
- 9)  inch perfs at  feet residual head    gives  gpm flow rate per perforation  
for this perf size & spacing, & pipe size on line 12, max perfs/lateral =  , line #8 must be less -->    OK
- 10)  doses per day    ( 4 minimum)
- 11)  gallons per dose    (treatment volume)
- 12)  inch diameter laterals must be used to meet "4x pipe volume" requirement
- 13)  feet of  inch supply line    leads to  gallons of drainback volume  
(Tip: "top feed" manifold to control the drainback)
- 14)  gallons TOTAL pump out volume (treatment + drainback)
- 15)  feet vertical lift from pump to mound laterals, leads to a:
- 16)  GPM @  feet of head, Pump requirement    (note: >50gpm may require an extra 3-6' of head)
- 17)  gal Dose tank (code minimum)     gal Dose tank (design size / LUG req'd)    at  gpi  
leads to a:
- 18)  inch swing on Demand float,    (this delivers Average flow, =70% of Peak design flow)  
 min ON
- 19)  inches from bottom of tank to "Pump OFF" float     hrs OFF
- 20)  inches from bottom of tank to "Pump ON" float     inches to "Timer ON" float
- 21)  inches from bottom of tank to "Hi Level" float     inches to "Hi Level" float
- 22)  gallons reserve capacity    (after High Level Alarm is activated-demand dosed)

23)  gpd/ft<sup>2</sup> Absorption area Soil Loading Rate, which gives a mound ratio of  (minimum)  
 (this must match the soil boring log) desired mound ratio

24)  percent site slope (0-20% range)  (% downslope site slope, if different than upslope)

25)  inches, or  ft. to Redox or other limiting condition (need at least 12" to be a Type I)  
 Treatment zone contains  inches of 0% soil credit, and  inches of 50% soil credit. Giving a:

26)  inch, or  ft. Sand Lift Mound **CRITICAL FOR FUTURE CERTIFICATIONS!!!**

27)  ft. Total ABSORPTION width (with sand beyond rockbed as follows:)

28)  ft. upslope and sideslope

ft. Downslope

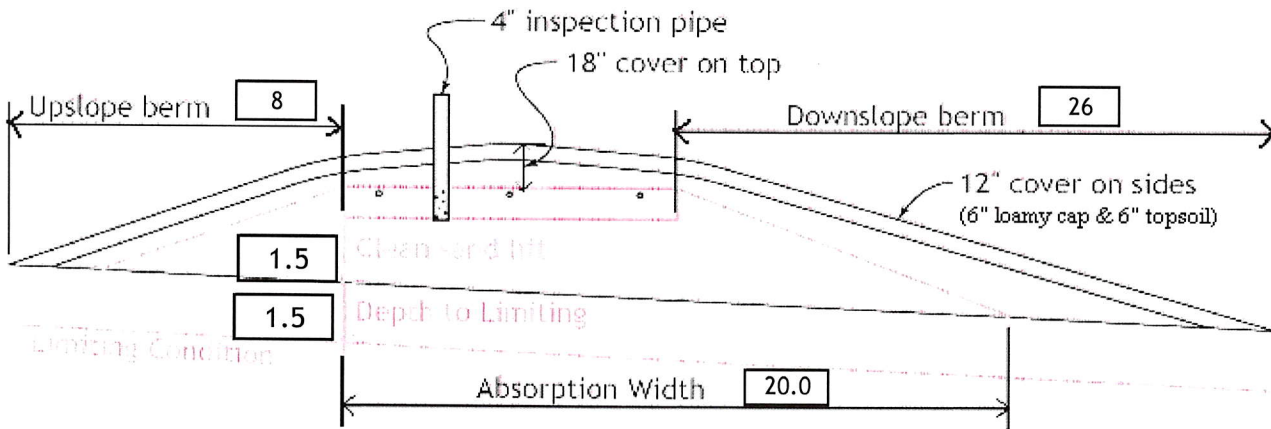
Individual slope ratios give BERM widths (topsoil beyond rockbed) of:

29)  upslope ratio  ft. upslope berm

30)  sideslope  ft. sideslope berms

31)  downslope  ft. downslope berm

32) Overall Dimensions:  ft. wide by  ft. long Rock bed  
 ft. wide by  ft. long Mound footprint



Note:

For 0 to 1% slopes, *Absorption Width* is measured from the *Bed* equally in both directions.  
 For slopes >1%, *Absorption Width* is measured downhill from the upslope edge of the *Bed*.

33) Rock Bed:  ft. by  ft. by  inches under pipe, plus 20% gives  yd<sup>3</sup> or \*1.4=  ton

34) Mound Sand: (note: volume is based on 3:1/4:1 slope from top of rockbed, Exchange sand for loamy cap if desired)  
 up +  downslope +  ends +  under rock =  yd<sup>3</sup> or \*1.4=  ton  
 plus 20%

35) Loamy Cap:  ft. by  ft. 6" deep, plus 20% gives  yd<sup>3</sup> or \*1.4=  ton

36) Topsoil:  ft. by  ft. 6" deep, plus 20% gives  yd<sup>3</sup> or \*1.4=  ton

I hereby certify that I have completed this work in accordance with all applicable ordinances, rules and laws.

Tim Kinney  
 Designer Signature

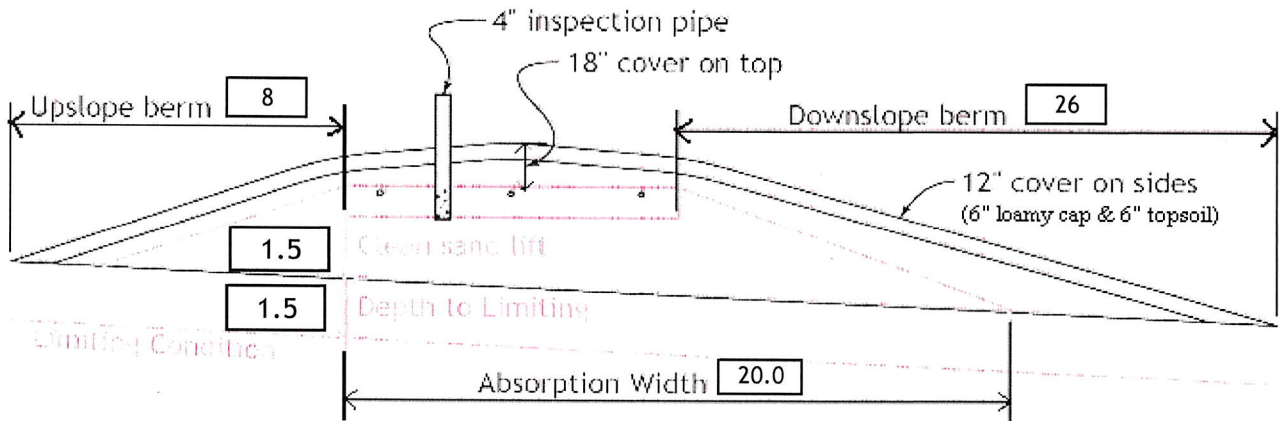
A and T Septic  
 Company

1608  
 License#

10/13/2025  
 Date

# Installer Summary

- 480 gallon Septic tank (minimum) Tank options: none
- 160 gallon Dose tank (minimum) at 13.90 gpi
- 13 GPM @ 17 ft. of head, Pump required
- 3.1 inch swing on Demand float which translates to roughly 2.6 inches of float tether length
- Optional Time dosing of:
- 3.3 minutes ON
  - 8.5 hours OFF
  - 12 inches to "timer ON" float
  - 28 inches to "Hi level" float
- 15 inches from bottom of tank to "pump ON" float, or
- 18 inches from bottom of tank to "Hi Level Alarm" or
- 20 ft. of 2.0 inch supply line with end feed manifold connection  
(Tip: "top feed" manifold to control drainback)
- 18 inch, or 1.5 ft. Sand Lift Mound
- 10.0 ft. wide by 13.3 ft. long Rock bed
- 3 laterals 2.00 inch diameter 11.3 ft. long 3.0 ft. lateral spacing
- 1/4" inch perfs 3.0 ft. perforation spacing
- No Effluent filter & alarm
- 3 clean out & valve box assemblies
- 20.0 ft. Total sand ABSORPTION width (minimum)
- 0.0 ft. upslope and sideslope (sand beyond rockbed, minimum)
  - 10.0 ft. Downslope (sand beyond rockbed, minimum)
- Specific slope ratios give BERM widths (topsoil beyond rockbed) of:
- |                   |                        |
|-------------------|------------------------|
| 3:1 upslope ratio | 8 ft. upslope berm     |
| 3:1 sideslope     | 13 ft. sideslope berms |
| 4:1 downslope     | 26 ft. downslope berm  |



Note:  
 For 0 to 1% slopes, *Absorption Width* is measured from the *Bed* equally in both directions.  
 For slopes >1%, *Absorption Width* is measured downhill from the upslope edge of the *Bed*.

Rock Bed:	5.0 yd <sup>3</sup> or *1.4=	7 ton	6 inches under pipe
Mound Sand:	88 yd <sup>3</sup> or *1.4=	123 ton	calculation based on 3:1/4:1 slope from top of rockbed
Loamy Cap:	32 yd <sup>3</sup> or *1.4=	45 ton	6" deep
Topsoil:	39 yd <sup>3</sup> or *1.4=	55 ton	6" deep

## INSPECTOR CHECKLIST - mound

ZUU Woodhill Road, Wayzata MN

- WELL setbacks: 20'- 50' to sewer line req's MDH pressure test form (5 psi for 15 min)  
50' to everything 100' to drainfield with shallow well
- PROPERTY LINES setback: 10' to everything
- Road setback: platted: 10' prop line. Metes & bounds: out of road easement, or outer ditch.
- LAKE / BLUFF setback: 20' for bluff. Lakes: GD \_\_\_\_, RD \_\_\_\_, NE \_\_\_\_\_. Protected wetland \_\_\_\_.
- Building setbacks: 10' for everything, 20' for dispersal area.
- WATER LINE under pressure 10' to bed, tank & sewer line. (else sewer line > 12" below)
  
- Sewer line & tank connection (no hard 90's, long sweep 90 or 2-45's, slope minimum 1" in 8' = 1%)  
(no depth req's, clean out every 100', Sch 40 pipe)
  
- Septic tank and risers (water tight risers, baffles, insulated, proper depth, existing verified by pumping)  
mfg \_\_\_\_\_ 480 gallons none \_\_\_\_\_
- Riser over outlet, riser over inlet or center, and 6"+ inspection pipe over any remaining baffles.
- No \_\_\_\_\_ effluent filter & alarm
- Dose tank, risers and piping (water tight risers, insulated, proper depth, drainback)  
mfg \_\_\_\_\_ 160 gallons
  
- dose pump \_\_\_\_\_ 13 gpm 17 head VERIFY PUMP CURVE
- verify that installed "vertical lift from pump to laterals" is no more than design value of 10 feet
- float setting drop 3.1 inches at 13.9 gpi "DESIGNED" 2.6 inches approx float tether length  
43.0 gal dose divided by \_\_\_\_\_ gpi "INSTALLED" = \_\_\_\_\_ inches float drop (field corrected)

Optional Time dosing of:  
3.3 min ON 8.5 hr OFF

- LABEL pump requirements and drawdown on riser or panel
- Cam lock reachable from grade - 30" max. J-hook weep hole. Supply line access (no hard 90's)  
2.0 inch supply pipe: Sch40, sloped 1/8"+, supported by 4" sch40 sleeve or compacted, and buried 6"+.
- splice box / control panel / electrical connections / Hi Level Alarm
- flow measurement: CT, ETM, time dosed, home water meter
- mound absorption area rough up
- mound rock dimensions 10.0 X 13.3
- Sand lift depth 18 inches. (Jar test : 2" sand leaves < 1/8" silt after 30 min)
  
- Absorption Sand beyond rock 0.0 upslope 10.0 downslope
- Bermed topsoil beyond rockbed 8 upslope 13 sideslope 26 downslope
  
- cover depth of 12-18"+ VERIFY
- 3 laterals (1-2' from edge of rock)
- 2.00 inch pipe size (Sch40 pipe & fittings)
- 3.0 ft lateral spacing
  
- 1/4" inch perforations
- 3.0 ft perforation spacing
  
- Air inlet at end of laterals, and at top feed manifold if necessary. VERIFY
- clean outs (no hard 90's)
- 4" inspection pipe to bottom of rock, anchored VERIFY
  
- Abandon existing system - if necessary  Re-use existing tank certification
- monitoring plan and type \_\_\_\_\_
- well abandonment form - if necessary \_\_\_\_\_

# Preliminary & Field Evaluation Form

## Owner Information

Date	<u>10/13/2025</u>	Sec / Twp / Rng	<u>1-117-23</u>
Parcel ID	<u>011172323002</u>	LUG (county, city, township)	<u>Hennepin County</u>
Property Owner:	<u>Woodhill Country Club</u>	Owners address (if different)	
Property Address:	<u>200 Woodhill Road, Wayzata MN</u>		
City / State / Zip:	_____		

## Flow Information and Waste Type / Strength

Estimated Design flow	<u>160</u>	Anticipated Waste strength	<input type="checkbox"/> Hi Strength	<input checked="" type="checkbox"/> Domestic
Comments:		Any Non-Domestic Waste	<input type="checkbox"/> Yes (class V)	<input checked="" type="checkbox"/> No
		Sewage ejector/grinder pump	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
		Water softener	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
		Garbage Disposal	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
		Daycare / In home business	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No

## Site Information

Existing & proposed lot improvements located (see site map)	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Well casing depth	<u>&gt;50</u>	
Easements on lot located (see site map)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	Drainfield w/in 100' of residential well	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Property lines determined (see site map)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	Site w/in 200' of transient noncommunity water supply (TNCWS)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Req'd setbacks determined (see site map)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	Site w/in an inner wellhead mgmt zone (CWS/NTNCWS)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Utilities located & identified (gopher state one call)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	Buried water supply pipe w/in 50' of system	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Access for system maintenance (shown on site map)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	Site located in Shoreland (w/in 1000' of lake, 300' of river)	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Soil treatment area protected	<input type="checkbox"/> Yes	<input type="checkbox"/> No	Site map prepared with previous items included	<input type="checkbox"/> Yes	<input type="checkbox"/> No

Construction related issues \_\_\_\_\_

\_\_\_\_\_

**Soil Information**

		Evidence of site:	
		Cut	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
		Filled	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
		Compacted	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
		Disturbed	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Original soils	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
Soil logs completed and attached	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Perk test completed and attached (if applicable)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Soil loading rate (gpd/ft <sup>2</sup> )	<u>0.60</u>	Percolation rate (if applicable)	_____
Depth/elev to SHWT	<u>18.00</u>	Flooding or run-on potential (comments)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Depth to system bottom maximum (or elev minimum)	<u>-18.00</u>	Flood elevation (if applicable)	<u>Na</u>
Depth/elev to standing water (if applicable)	<u>na</u>	Elevation of ordinary high water level (if applicable)	<u>na</u>
Depth/elev to bedrock (if applicable)	<u>na</u>	Floodplain designation and elev - 100 yr/10 yr (if applicable)	<u>na</u>
Soil Survey information determined (see attachment)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
Differences between soil survey and field evaluation (if applicable)	<u>None</u>		
	_____		

*I hereby certify this evaluation was completed in accordance with MN 7080 and any local req's.*

Tim Kinney  
Designer Signature

A and T Septic  
Company

1608  
License #

# Soil Observation Log

Owner Information	
Property Owner / project: <u>Woodhill Country Club</u>	Date <u>10/13/2025</u>
Property Address / PID: <u>200 Woodhill Road, Wayzata MN</u>	

Soil Survey Information	
<input type="checkbox"/> refer to attached soil survey	
Parent matl's:	<input checked="" type="checkbox"/> Till <input type="checkbox"/> Outwash <input type="checkbox"/> Lacustrine <input type="checkbox"/> Alluvium <input type="checkbox"/> Organic <input type="checkbox"/> Bedrock
landscape position:	<input type="checkbox"/> Summit <input type="checkbox"/> Shoulder <input checked="" type="checkbox"/> Side slope <input type="checkbox"/> Toe slope
soil survey map units:	<u>L2C</u> slope <u>9</u> %    direction- <u>downhill</u>

Soil Log #1							
		<input checked="" type="checkbox"/> Boring <input type="checkbox"/> Pit	Elevation <u>99.5</u>		Depth to SHWT <u>18</u>		
Depth (in)	Texture	fragment %	matrix color	redox color	consistence	grade	shape
0-8	Mixed Loam	6	10yr2/1	None	Firm	Strong	Blocky
8-14	Loam	6	10yr2/1	None	Firm	Strong	Blocky
14-18	Loam	6	10yr4/4	None	Friable	Moderate	Blocky
18-26	Loam	6	10yr4/4	7.5yr5/6-10yr4/2	Friable	Moderate	Blocky
		<35 35 - 50 >50			loose friable firm rigid	loose weak moderate strong	single grain granular    blocky prismatic    platy massive
Comments:							

200 Woodhill Road, Wayzata MN								Soil Log #2	
<input checked="" type="checkbox"/> Boring		<input type="checkbox"/> Pit		Elevation <u>99.5</u>		Depth to SHWT <u>24</u>			
Depth (in)	Texture	fragment %	matrix color	redox color	consistence	grade	shape		
0-8	Mixed Loam	6	10yr2/1	None	Firm	Strong	Blocky		
8-14	Loam	6	10yr2/1	None	Firm	Strong	Blocky		
14-24	Loam	6	10yr4/4	None	Friable	Moderate	Blocky		
24-28	Loam	6	10yr4/4	7.5yr5/6-10yr4/2	Friable	Moderate	Blocky		
		<35 35 - 50 >50			loose friable firm rigid	loose weak moderate strong	single grain granular blocky prismatic platy massive		

200 Woodhill Road, Wayzata MN								Soil Log #3	
<input checked="" type="checkbox"/> Boring		<input type="checkbox"/> Pit		Elevation <u>99.4</u>		Depth to SHWT <u>18</u>			
Depth (in)	Texture	fragment %	matrix color	redox color	consistence	grade	shape		
0-8	Mixed Loam	6	10yr2/1	None	Firm	Strong	Blocky		
8-14	Loam	6	10yr2/1	None	Firm	Strong	Blocky		
14-18	Loam	6	10yr4/4	None	Friable	Moderate	Blocky		
18-26	Loam	6	10yr4/4	7.5yr5/6-10yr4/2	Friable	Moderate	Blocky		
		<35 35 - 50 >50			loose friable firm rigid	loose weak moderate strong	single grain granular blocky prismatic platy massive		

I hereby certify this work was completed in accordance with MN 7080 and any local req's.

Tim Kinney  
Designer Signature

A and T Septic  
Company

1608  
License #

\_\_\_\_\_  
LUG soil verify Signature

+

\_\_\_\_\_  
LUG media elev/depth Signature

= Soil Separation Report



## Septic System Management Plan for Above Grade Systems

The goal of a septic system is to protect human health and the environment by properly treating wastewater before returning it to the environment. Your septic system is designed to kill harmful organisms and remove pollutants before the water is recycled back into our lakes, streams and groundwater.

This **management plan** will identify the operation and maintenance activities necessary to ensure long-term performance of your septic system. Some of these activities must be performed by you, the homeowner. Other tasks must be performed by a licensed septic maintainer or service provider. However, it is **YOUR** responsibility to make sure all tasks get accomplished in a timely manner.

The University of Minnesota's *Septic System Owner's Guide* contains additional tips and recommendations designed to extend the effective life of your system and save you money over time.

***Proper septic system design, installation, operation and maintenance means safe and clean water!***

Property Owner	Email
Property Address	Property ID
System Designer	Contact Info
System Installer	Contact Info
Service Provider/Maintainer	Contact Info
Permitting Authority	Contact Info
Permit #	Date Inspected

Keep this Management Plan with your Septic System Owner's Guide. The Septic System Owner's Guide includes a folder to hold maintenance records including pumping, inspection and evaluation reports. Ask your septic professional to also:

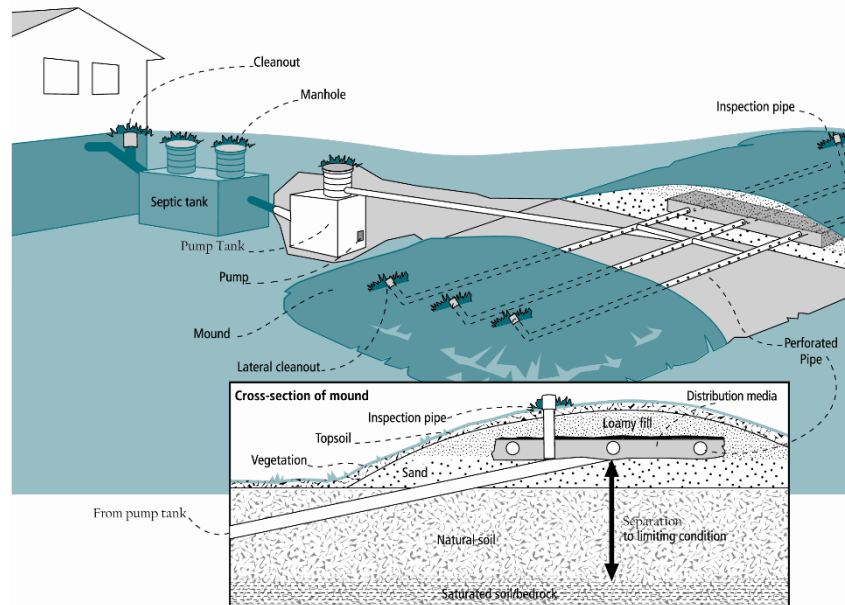
- Attach permit information, designer drawings and as-built of your system, if they are available.
- Keep copies of all pumping records and other maintenance and repair invoices with this document.
- Review this document with your maintenance professional at each visit; discuss any changes in product use, activities, or water-use appliances.

For a copy of the *Septic System Owner's Guide*, visit [www.bookstores.umn.edu](http://www.bookstores.umn.edu) and search for the word "septic" or call 800-322-8642.

**For more information see <http://septic.umn.edu>**



Your Septic System



<b>Septic System Specifics</b>	
System Type:    I    II    III    IV*    V* (Based on MN Rules Chapter 7080.2200 – 2400) *Additional Management Plan required	<input type="checkbox"/> System is subject to operating permit* <input type="checkbox"/> System uses UV disinfection unit* Type of advanced treatment unit _____

<b>Dwelling Type</b>	<b>Well Construction</b>
Number of bedrooms: _____ System capacity/ design flow (gpd): _____ Anticipated average daily flow (gpd): _____ Comments _____ Business? :    Y    N    What type? _____	Well depth (ft): _____ <input type="checkbox"/> Cased well Casing depth: _____ <input type="checkbox"/> Other (specify): _____ Distance from septic (ft): _____ Is the well on the design drawing?    Y    N

<b>Septic Tank</b>	
<input type="checkbox"/> First tank    Tank volume: _____ gallons Does tank have two compartments?    Y    N <input type="checkbox"/> Second tank    Tank volume: _____ gallons <input type="checkbox"/> Tank is constructed of _____ <input type="checkbox"/> Effluent screen:    Y    N    Alarm    Y    N	<input type="checkbox"/> Pump Tank    _____ gallons <input type="checkbox"/> Effluent Pump    make/model: _____ Pump capacity _____ GPM TDH _____ Feet of head <input type="checkbox"/> Alarm location _____

<b>Soil Treatment Area (STA)</b>	
Mound/At-Grade area (width x length): _____ ft x _____ ft Rock bed size (width x length): _____ ft x _____ ft Location of additional STA: _____ Type of distribution media: _____	<input type="checkbox"/> Inspection ports <input type="checkbox"/> Cleanouts <input type="checkbox"/> Surface water diversions <input type="checkbox"/> Additional STA not available



## Homeowner Management Tasks

These *operation and maintenance* activities are your responsibility. *Chart on page 6 can help track your activities.*

**Your toilet is not a garbage can. Do not flush anything besides human waste and toilet paper. No wet wipes, cigarette butts, disposal diapers, used medicine, feminine products or other trash!**

The system and septic tanks needs to be  
checked every \_\_\_\_\_ months

Your service provider or pumper/maintainer should evaluate if your tank needs to be pumped more or less often.

### Seasonally or several times per year

- *Leaks.* Check (listen, look) for leaks in toilets and dripping faucets. Repair leaks promptly.
- *Soil treatment area.* Regularly check for wet or spongy soil around your soil treatment area. If surfaced sewage or strong odors are not corrected by pumping the tank or fixing broken caps and leaks, call your service professional. *Untreated sewage may make humans and animals sick.* Keep bikes, snowmobiles and other traffic off and control borrowing animals.
- *Alarms.* Alarms signal when there is a problem; contact your service professional any time the alarm signals.
- *Lint filter.* If you have a lint filter, check for lint buildup and clean when necessary. If you do not have one, consider adding one after washing machine.
- *Effluent screen.* If you do not have one, consider having one installed the next time the tank is cleaned along with an alarm.

### Annually

- *Water usage rate.* A water meter or another device can be used to monitor your average daily water use. Compare your water usage rate to the design flow of your system (listed on the next page). Contact your septic professional if your average daily flow over the course of a month exceeds 70% of the design flow for your system.
- *Caps.* Make sure that all caps and lids are intact and in place. Inspect for damaged caps at least every fall. Fix or replace damaged caps before winter to help prevent freezing issues.
- *Water conditioning devices.* See Page 5 for a list of devices. When possible, program the recharge frequency based on *water demand (gallons)* rather than *time (days)*. Recharging too frequently may negatively impact your septic system. Consider updating to demand operation if your system currently uses time,
- *Review your water usage rate.* Review the Water Use Appliance chart on Page 5. Discuss any major changes with your service provider or pumper/maintainer.

### During each visit by a service provider or pumper/maintainer

- Make sure that your service professional services the tank through the manhole. (NOT through a 4" or 6" diameter inspection port.)
- Ask how full your tank was with sludge and scum to determine if your service interval is appropriate.
- Ask your pumper/maintainer to accomplish the tasks listed on the Professional Tasks on Page 4.



## Professional Management Tasks

These are the operation and maintenance activities that a pumper/maintainer performs to help ensure long-term performance of your system. At each visit a written report/record must be provided to homeowner.

### Plumbing/Source of Wastewater

- Review the Water Use Appliance Chart on Page 5 with homeowner. Discuss any changes in water use and the impact those changes may have on the septic system.
- Review water usage rates (if available) with homeowner.

### Septic Tank/Pump Tanks

- *Manhole lid.* A riser is recommended if the lid is not accessible from the ground surface. Insulate the riser cover for frost protection.
- *Liquid level.* Check to make sure the tank is not leaking. The liquid level should be level with the bottom of the outlet pipe. (If the water level is below the bottom of the outlet pipe, the tank may not be watertight. If the water level is higher than the bottom of the outlet pipe of the tank, the effluent screen may need cleaning, or there may be ponding in the soil treatment area.)
- *Inspection pipes.* Replace damaged or missing pipes and caps.
- *Baffles.* Check to make sure they are in place and attached, and that inlet/outlet baffles are clear of buildup or obstructions.
- *Effluent screen.* Check to make sure it is in place; clean per manufacturer recommendation. Recommend retrofitted installation if one is not present.
- *Alarm.* Verify that the alarm works.
- *Scum and sludge.* Measure scum and sludge in each compartment of each septic and pump tank, pump if needed.

### Pump

- *Pump and controls.* Check to make sure the pump and controls are operating correctly.
- *Pump vault.* Check to make sure it is in place; clean per manufacturer recommendations.
- *Alarm.* Verify that the alarm works.
- *Drainback.* Check to make sure it is draining properly.
- *Event counter or elapsed time meter.* Check to see if there is an event counter or elapsed time meter for the pump. If there is one or both, calculate the water usage rate and compare to the anticipated use listed on Design and Page 2. Dose Volume: \_\_\_\_\_ gallons: Pump run time: \_\_\_\_\_ Minutes

### Soil Treatment Area

- *Inspection pipes.* Check to make sure they are properly capped. Replace caps and pipes that are damaged.
- *Surfacing of effluent.* Check for surfacing effluent or other signs of problems.
- *Lateral flushing.* Check lateral distribution; if cleanouts exist, flush and clean at recommended frequency.
- *Vegetation* - Check to see that a good growth of vegetation is covering the system.

**All other components – evaluate as listed here:**



**Water-Use Appliances and  
Equipment in the Home**

<b>Appliance</b>	<b>Impacts on System</b>	<b>Management Tips</b>
Garbage disposal	<ul style="list-style-type: none"> <li>• Uses additional water.</li> <li>• Adds solids to the tank.</li> <li>• Finely-ground solids may not settle. Unsettled solids can exit the tank and enter the soil treatment area.</li> </ul>	<ul style="list-style-type: none"> <li>• Use of a garbage disposal is not recommended.</li> <li>• Minimize garbage disposal use. Compost instead.</li> <li>• To prevent solids from exiting the tank, have your tank pumped more frequently.</li> <li>• Add an effluent screen to your tank.</li> </ul>
Washing machine	<ul style="list-style-type: none"> <li>• Washing several loads on one day uses a lot of water and may overload your system.</li> <li>• Overloading your system may prevent solids from settling out in the tank. Unsettled solids can exit the tank and enter the soil treatment area.</li> </ul>	<ul style="list-style-type: none"> <li>• Choose a front-loader or water-saving top-loader, these units use less water than older models.</li> <li>• Limit the addition of extra solids to your tank by using liquid or easily biodegradable detergents. Limit use of bleach-based detergents and fabric softeners.</li> <li>• Install a lint filter after the washer and an effluent screen to your tank</li> <li>• Wash only full loads and think even – spread your laundry loads throughout the week.</li> </ul>
Dishwasher	<ul style="list-style-type: none"> <li>• Powdered and/or high-phosphorus detergents can negatively impact the performance of your tank and soil treatment area.</li> <li>• New models promote “no scraping”. They have a garbage disposal inside.</li> </ul>	<ul style="list-style-type: none"> <li>• Use gel detergents. Powdered detergents may add solids to the tank.</li> <li>• Use detergents that are low or no-phosphorus.</li> <li>• Wash only full loads.</li> <li>• Scrape your dishes anyways to keep undigested solids out of your septic system.</li> </ul>
Grinder pump (in home)	<ul style="list-style-type: none"> <li>• Finely-ground solids may not settle. Unsettled solids can exit the tank and enter the soil treatment area.</li> </ul>	<ul style="list-style-type: none"> <li>• Expand septic tank capacity by a factor of 1.5.</li> <li>• Include pump monitoring in your maintenance schedule to ensure that it is working properly.</li> <li>• Add an effluent screen.</li> </ul>
Large bathtub (whirlpool)	<ul style="list-style-type: none"> <li>• Large volume of water may overload your system.</li> <li>• Heavy use of bath oils and soaps can impact biological activity in your tank and soil treatment area.</li> </ul>	<ul style="list-style-type: none"> <li>• Avoid using other water-use appliances at the same time. For example, don’t wash clothes and take a bath at the same time.</li> <li>• Use oils, soaps, and cleaners in the bath or shower sparingly.</li> </ul>
<b>Clean Water Uses</b>	<b>Impacts on System</b>	<b>Management Tips</b>
High-efficiency furnace	<ul style="list-style-type: none"> <li>• Drip may result in frozen pipes during cold weather.</li> </ul>	<ul style="list-style-type: none"> <li>• Re-route water directly out of the house. Do not route furnace discharge to your septic system.</li> </ul>
Water softener Iron filter Reverse osmosis	<ul style="list-style-type: none"> <li>• Salt in recharge water may affect system performance.</li> <li>• Recharge water may hydraulically overload the system.</li> </ul>	<ul style="list-style-type: none"> <li>• These sources produce water that is not sewage and should not go into your septic system.</li> <li>• Reroute water from these sources to another outlet, such as a dry well, draitile or old drainfield.</li> </ul>
Surface drainage Footing drains	<ul style="list-style-type: none"> <li>• Water from these sources will overload the system and is prohibited from entering septic system.</li> </ul>	<ul style="list-style-type: none"> <li>• When replacing, consider using a demand-based recharge vs. a time-based recharge.</li> <li>• Check valves to ensure proper operation; have unit serviced per manufacturer directions</li> </ul>



**Homeowner Maintenance Log**

Track maintenance activities here for easy reference. See list of management tasks on pages 3 and 4.

Activity	Date accomplished									
<b>Check frequently:</b>										
Leaks: check for plumbing leaks*										
Soil treatment area check for surfacing**										
Lint filter: check, clean if needed*										
Effluent screen (if owner-maintained)***										
Alarm**										
<b>Check annually:</b>										
Water usage rate (maximum gpd _____)										
Caps: inspect, replace if needed										
Water use appliances – review use										
Other:										

- \*Monthly
- \*\*Quarterly
- \*\*\*Bi-Annually

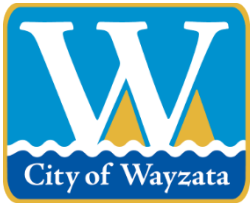
Notes:

*"As the owner of this SSTS, I understand it is my responsibility to properly operate and maintain the sewage treatment system on this property, utilizing the Management Plan. If requirements in this Management Plan are not met, I will promptly notify the permitting authority and take necessary corrective actions. If I have a new system, I agree to adequately protect the reserve area for future use as a soil treatment system."*

Property Owner Signature: \_\_\_\_\_ Date \_\_\_\_\_

Management Plan Prepared By: \_\_\_\_\_ Certification # \_\_\_\_\_

Permitting Authority: \_\_\_\_\_



**City of Wayzata  
Planning Commission  
Agenda Report**

<b>MEETING DATE:</b> April 20, 2026	<b>AGENDA ITEM:</b> 7.a
<b>TITLE:</b> Review of Development Activities	
<b>PREPARED BY:</b> Alex Sharpe, Community Development Director	
<b>REVIEWED BY:</b>	
<b>60 DAY DEADLINE:</b> N/A	

**BACKGROUND:**

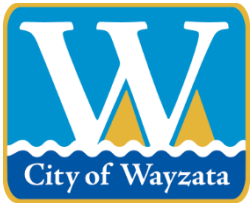
A verbal update will be provided at the meeting.

**ACTION REQUESTED:**

N/A

**ATTACHMENTS:**

None



## City of Wayzata Planning Commission Agenda Report

<b>MEETING DATE:</b> April 20, 2026	<b>AGENDA ITEM:</b> 7.b
<b>TITLE:</b> Planning Commission Meeting Schedule	
<b>PREPARED BY:</b> Alex Sharpe, Community Development Director	
<b>REVIEWED BY:</b> Alex Sharpe, Community Development Director	
<b>60 DAY DEADLINE:</b> N/A	

**BACKGROUND:**

The 2026 City Calendar and City Council Liaison Schedule are attached. The next City Council meeting is scheduled for Tuesday, April 21st, 2026. The next Planning Commission meeting is scheduled for Monday, May 4th, 2026.

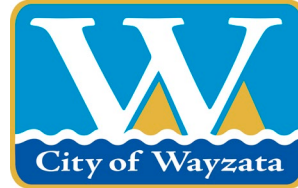
**ACTION REQUESTED:**

N/A

**ATTACHMENTS:**

1. 2026 City Calendar

# City of Wayzata 2026 Meeting Calendar



January 2026						
S	M	T	W	Th	F	S
				1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	31

February 2026						
S	M	T	W	Th	F	S
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28

March 2026						
S	M	T	W	Th	F	S
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				

April 2026						
S	M	T	W	Th	F	S
				1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	

May 2026						
S	M	T	W	Th	F	S
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31						

June 2026						
S	M	T	W	Th	F	S
1	2	3	4	5	6	
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30				

July 2026						
S	M	T	W	Th	F	S
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30	31	

August 2026						
S	M	T	W	Th	F	S
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30	31					

September 2026						
S	M	T	W	Th	F	S
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30		

October 2026						
S	M	T	W	Th	F	S
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31						

November 2026						
S	M	T	W	Th	F	S
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30					

December 2026						
S	M	T	W	Th	F	S
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				

- Energy & Environment 5:30 PM
- Planning Commission - 6:30 PM
- City Council - 7:00 PM
- Local Board of Appeal & Equalization - TBD April 2026
- Charter Commission - 9:00 AM
- Lake Minnetonka Conservation District (LMCD)
- Heritage Preservation Board (HPB) - 2:00 PM
- Housing & Redevelopment Authority (HRA) - 7:30 AM
- Parks & Trails Board - 6:00 PM
- Public Art Committee - 5:00 PM
- Night to Unite
- Holiday Observed  
City Offices Closed
- Election  
Precinct Caucuses—2/3/26 (No Public Meetings)

**Meeting dates and times are subject to change. Dates can be confirmed by calling City Hall.**

Revised  
1/20/2026