



Wayzata Planning Commission

Meeting Agenda

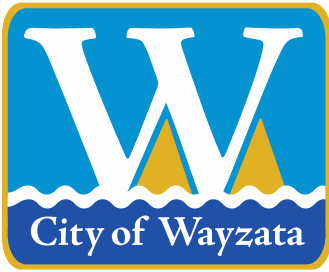
Monday, November 7, 2016

Community Room,
600 Rice Street East,
Wayzata, Minnesota

- 7:00 p.m.
1. **Call to Order & Roll Call**
 2. **Approval of Agenda**
 3. **Approval of Minutes**
 - a. None
 4. **Old Business Items:**
 - a. Ovsyannikova Addition – 15610 Holdridge Rd E
 - Preliminary and Final Plat Subdivision
 5. **Public Hearing Items:**
 - a. Meyer Place at Ferndale – 105 Lake Street E
 - Rezoning, PUD Concept and General Plans, and Design Review
 6. **Other Items:**
 - a. Review of Development Activities
 - b. Next Meeting is November 21, 2016
 7. **Adjournment**

NOTES:

¹ Members of the Planning Commission and some staff may gather at the Wayzata Bar and Grill immediately after the meeting for a purely social event. All members of the public are welcome.



City of Wayzata

600 Rice Street
Wayzata, MN 55391-1734

Mayor:

Ken Willcox

City Council:

Bridget Anderson
Johanna McCarthy
Andrew Mullin
Steven Tyacke

City Manager:

Jeffrey Dahl

Date: November 4, 2016

To: Planning Commission

From: Jeff Thomson, Director of Planning and Building

Subject: Ovsyannikova Addition

Application Information

The property owners, Anna Ovsyannikova and Yengeny Ogranovich, have submitted a development application to subdivide the property at 15610 Holdridge Rd E into two single-family residential lots. The existing house would remain and one new home would be constructed on the new lot. The proposal requires preliminary and final plat review.

Planning Commission Review

The Planning Commission reviewed the development application and held a public hearing at its meeting on October 17, 2016. After discussing the application, the Planning Commission directed staff to prepare a Planning Commission Report and Recommendation recommending denial of the development application.

Planning Commission Action

City staff has drafted the attached Planning Commission Report and Recommendation, which recommends denial of the preliminary and final plat subdivision.

Attachments

- October 17, 2016 Planning Report
- Proposed Plans
- Draft Planning Commission Report and Recommendation



**Planning Report
Wayzata Planning Commission
October 17, 2016**

Project Name: Ovsyannikova Addition
Applicant Anna Ovsyannikova and Yengeny Ogranovich
Addresses of Request: 15610 Holdridge Rd E
Prepared by: Jeff Thomson, Director of Planning and Building
“60 Day” Deadline: November 18, 2016

Development Application

Introduction

The property owners, Anna Ovsyannikova and Yengeny Ogranovich, have submitted a development application to subdivide the property at 15610 Holdridge Rd E into two single-family residential lots. The existing house would remain and one new home would be constructed on the new lot. The proposal requires preliminary and final plat review.

Property Information

The property identification number and owner of the property are as follows:

Address	PID	Owner
15610 Holdridge Rd E	04-117-22-33-0043	Anna Ovsyannikova and Yengeny Ogranovich

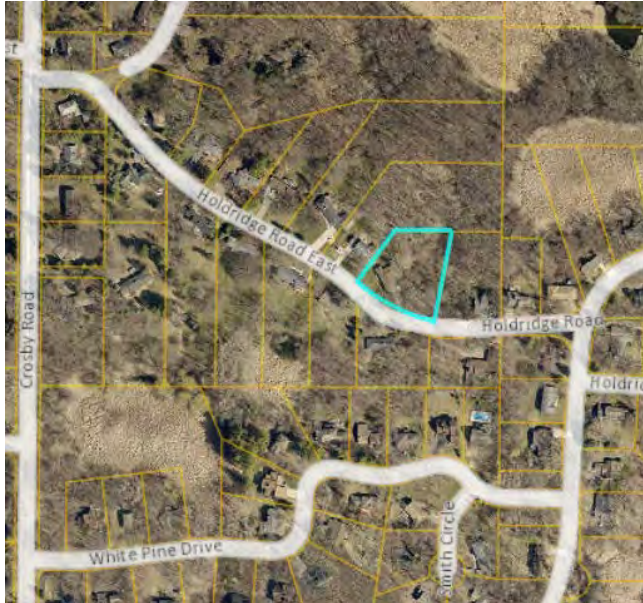
The current zoning and comprehensive plan land use designation for the property are as follows:

Current zoning:	R-2/Medium Density Single Family Residential District
Comp plan designation:	Low Density Single Family
Total site area:	43,797 sq. ft. (1.0 acres)

Project Location

The property is located on Holdridge Road East:

Map 1: Project Location



Application Requests

As part of the submitted development application, the applicant is requesting approval of the following item:

- A. Concurrent Preliminary and Final Plat Subdivision: The proposal requires preliminary and final plat review to subdivide the one existing lot into two lots. (City Code Sections 805.14 and 805.15)

Adjacent Land Uses.

The following table outlines the uses, zoning, and Comprehensive Plan land use designations for adjacent properties:

Direction	Adjacent Use	Zoning	Comp Plan Land Use Designation
North	Single-family homes	R-2/Medium Density Single Family Residential District	Low Density Single Family
East	Single-family home	R-2/Medium Density Single Family Residential District	Low Density Single Family
South	Single-family homes	R-2/Medium Density Single Family Residential District	Low Density Single Family
West	Single-family homes	R-2/Medium Density Single Family Residential District	Low Density Single Family

Public Hearing Notice

The public hearing notice was published in the *Wayzata Sun Sailor* on October, 6, 2016. The public hearing notice was also mailed to all property owners located within 350 feet of the subject property on October 7, 2016.

Analysis of Application

Lot Requirements

The proposed lots would meet the minimum lot requirements for the R-2 zoning district:

	Lot area (sq. ft.)	Lot width	Lot depth
R-2 Requirements	15,000 (min.)	100 ft. (min.)	100 ft. (min.)
Lot 1	26,821 sq. ft.	149 ft.	175 ft.
Lot 2	16,976 sq. ft.	100 ft.	153 ft.

Surrounding Lot Sizes

The following summarizes the lot areas of the R-2 lots located within 350 feet of the property and within the City of Wayzata:

Address	Lot area
15714 Holdridge Rd E	50,533 sq. ft.
15706 Holdridge Rd E	103,197 sq. ft.
15700 Holdridge Rd E	87,758 sq. ft.
15600 Holdridge Rd E	40,305 sq. ft.
15601 Holdridge Rd E	27,824 sq. ft.
15607 Holdridge Rd E	36,789 sq. ft.
15611 Holdridge Rd E	38,419 sq. ft.
15709 Holdridge Rd E	49,030 sq. ft.
15803 Holdridge Rd E	58,029 sq. ft.

Proposed Houses:

The applicant has submitted house plans for the new home on Lot 2. The proposed house would be two stories in height with a walk-out basement on the back of the house. The proposed subdivision plans also provide the location and footprint of the proposed house, which would meet the requirements of the R-2 zoning district:

	R-2 Requirement	Lot 1 (Existing House)	Lot 2 (Proposed House)
Front yard setback	25 ft. (min.)	32 ft.	34 ft.
Side yard setback	10 ft. (min.)	12 ft.	10 ft.
Rear yard setback	20 ft. (min.)	92 ft.	71 ft.
Lot coverage	20% (max.)	7.7%	13.1%
Impervious surface	30% (max.)	17.1%	22.2%
Building height	30 ft. (max.)	N/A (no changes)	TBD

Tree Preservation

There are 45 total trees located on the property, of which, 41 are designated as significant trees in the City's tree preservation ordinance, and 4 are designated as heritage trees. The proposed plans include the removal of 12 total trees, 11 significant trees and 1 heritage trees. The tree preservation ordinance allows the removal of up to 25% of the inches of significant trees for a subdivision before mitigation is required. The removal of any heritage trees requires 2 inches of tree replacement for every 1 inch of heritage tree removed. The proposed plans would remove 24.8% of the inches of significant trees, and 23.1% of the inches of heritage trees. The plans would not require mitigation for the significant tree removal, but would require replacement of 81 inches of trees for the one heritage tree that would be removed.

Applicable Code Provisions for Review

Preliminary Plat Criteria (Section 805.14.E): The Planning Commission shall consider possible adverse effects of the preliminary plat. Its judgment shall be based upon, but not limited to, the following factors:

1. The proposed subdivision or lot combination shall be consistent with the Wayzata Comprehensive Plan.
2. Building pads that result from a subdivision or lot combination shall preserve sensitive areas such as lakes, streams, wetlands, wildlife habitat, trees and vegetation, scenic points, historical locations, or similar community assets.
3. Building pads that result from subdivision or lot combination shall be selected and located with respect to natural topography to minimize filing or grading.
4. Existing stands of significant trees shall be retained where possible. Building pads that result from a subdivision or lot combination shall be sensitively integrated into existing trees.
5. The creation of a lot or lots shall not adversely impact the scale, pattern or character of the City, its neighborhoods, or its commercial areas.
6. The design of a lot, the building pad, and the site layout shall respond to and be reflective of the surrounding lots and neighborhood character.
7. The lot size that results from a subdivision or lot combination shall not be dissimilar from adjacent lots or lots found in the surrounding neighborhood or commercial area.
8. The architectural appearance, scale, mass, construction materials, proportion and scale of roof line and functional plan of a building proposed on a lot to be divided or combined shall be similar to the characteristics and

quality of existing development in the City, a neighborhood or commercial area.

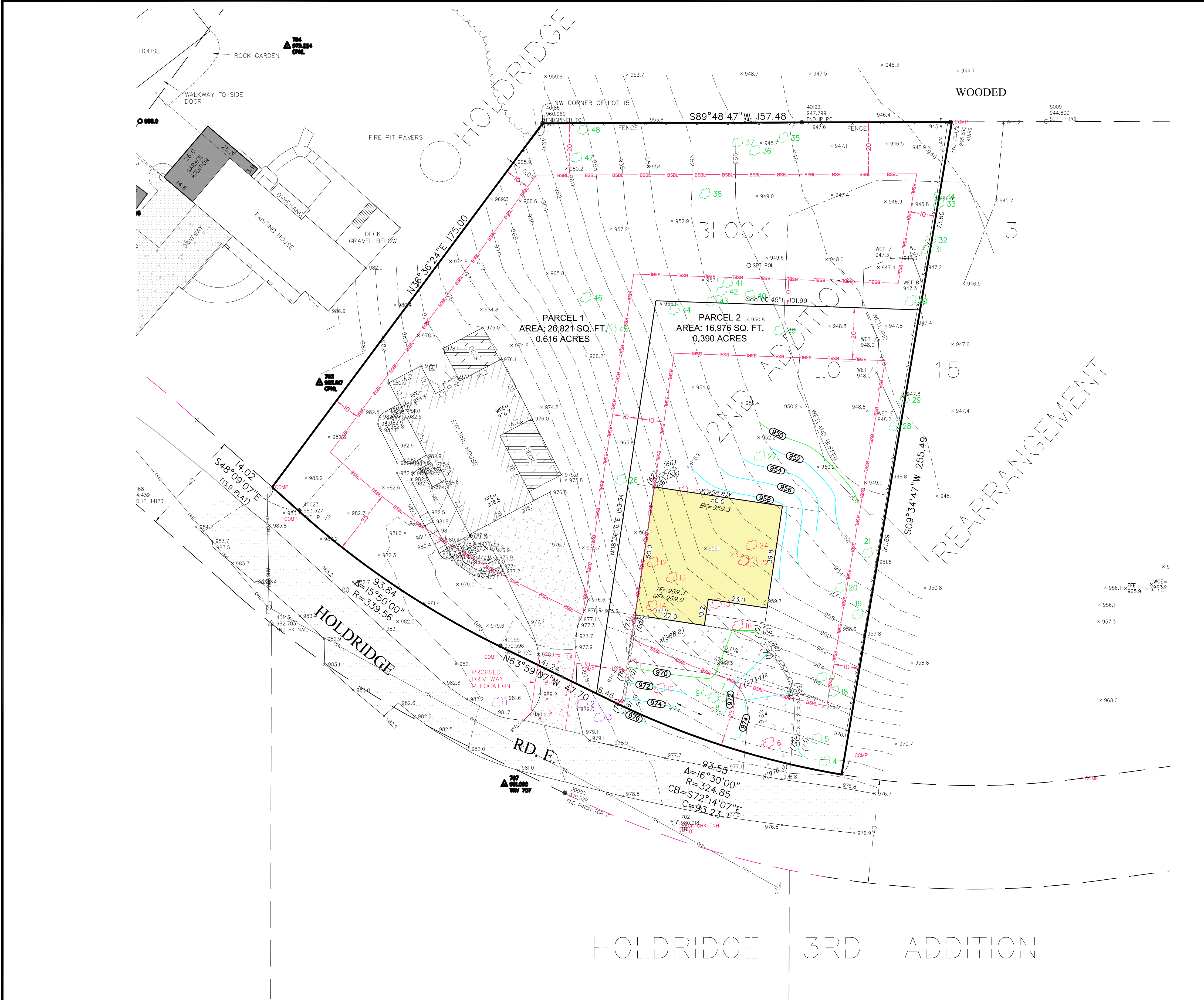
9. The design, scale and massing of buildings proposed on a subdivided or combined lot shall be subject to the architectural guidelines and criteria for the Downtown Architectural District, Commercial and Institutional Architectural Districts, and Residential Architectural Districts and the Design Review Board/City Council review process outline in Section 9 of the Wayzata Zoning Ordinance.
10. The proposed lot layout and building pads shall conform with all performance standards contained herein.
11. The proposed subdivision or lot combination shall not tend to or actually depreciate the values of neighboring properties in the area in which the subdivision or lot combination is proposed.
12. The proposed subdivision or lot combination shall be accommodated with existing public services, primarily related to transportation and utility systems, and will not overburden the City's service capacity.

Action Steps

After considering the items outlined in this report and the public hearing held at the meeting, the Planning Commission should direct staff to prepare a *Planning Commission Report and Recommendation*, with appropriate findings, reflecting a recommendation on the application for review and adoption at the next Planning Commission meeting.

Attachments

- Attachment A: Proposed Subdivision
- Attachment B: Proposed House Plans



DESCRIPTION OF PROPERTY SURVEYED
That part of Lot 15, Block 3, Holdridge Second Addition Rearrangement, lying West of the following described line: Commencing at the Northwest corner of said lot; thence East along the North line of said lot a distance of 157.88 feet to the point of beginning of said line; thence deflecting right 99 degrees 46 minutes to the Southerly line of said lot, and there ending.

Site Address: 15610 Holdridge Road East, Wayzata, Minnesota, 55391

Flood Zone Information: This property appears to lie in Zone X (area determined to be outside the 0.2% annual chance floodplain) per Flood Insurance Rate Map, Community Panel No. 27053C0328E, effective date of September 2, 2004.

Parcel Area Information: Gross Area: Parcel 1 26,821 s.f. ~ 0.616 acres
Parcel 2 16,976 s.f. ~ 0.390 acres

Benchmark: Elevations are based on MN/DOT Geodetic Station Name: ROGER MN053 ~ Elevation=993.879 feet (NAVD88).

Zoning Information: The current Zoning for the subject property is R-2 (Medium Density Single Family Residential District) per the City of Wayzata's zoning map dated 04-28-2015. The setback, height, and floor space area restrictions for said zoning designation were obtained from the City of Wayzata found on their web site on the date of 03-21-2016 and are as follows:

Principal Structure Setbacks - Front: 25 feet; Side: 10 feet; Rear: 20 feet
Height: 2½ stories and 30 feet
Impervious surface: 30 percent of lot area
Lot Coverage: 20 percent of lot area

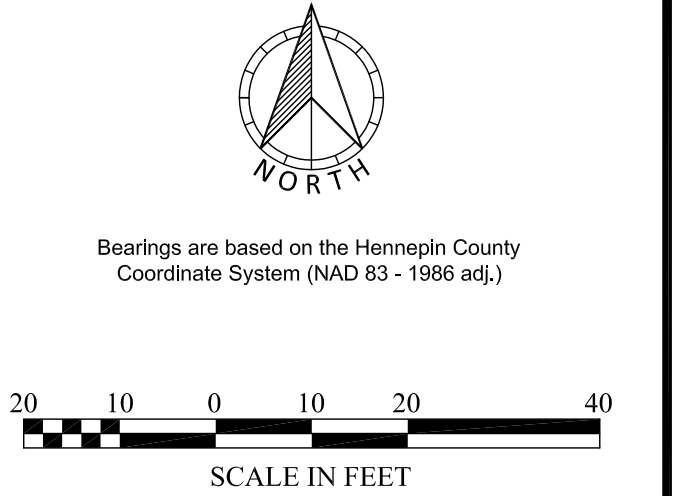
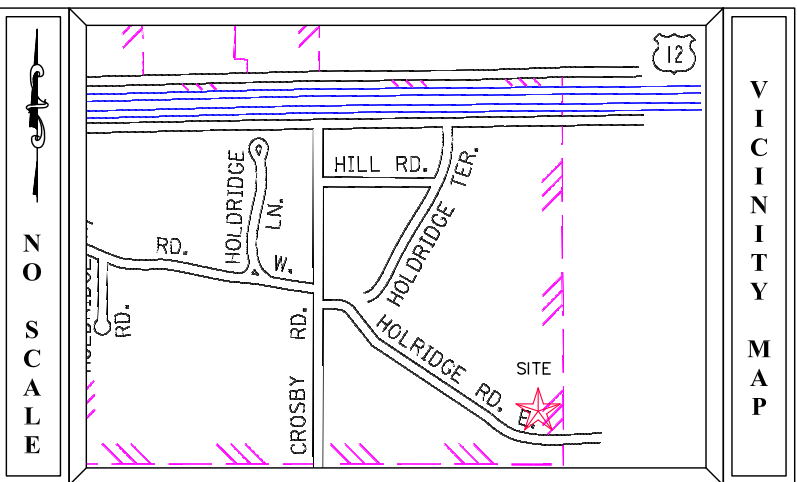
Accessory Structure Setbacks - Front: 30 feet; Side: 5 feet; Rear: 5 feet
Height: 20 feet

Please note that the general restrictions for the subject property may have been amended through a city process. We could be unaware of such amendments if they are not in a recorded document provided to us. We recommend that a zoning letter be obtained from the Zoning Administrator for the current restrictions for this site.

Utilities: We have shown the location of utilities on the surveyed property by observed evidence only. There may be underground utilities encumbering the subject property we are unaware. Please note that we have not placed a Gopher State One Call for this survey. There may or may not be underground utilities in the mapped area, therefore extreme caution must be exercised before any excavation takes place on or near this site. Before digging, you are required by law to notify Gopher State One Call at least 48 hours in advance at 651/454-0002.

Parcel 1 Info
Lot Area = 26,821 Sq Ft
House Area = 2,072 Sq Ft
Lot Coverage = 7.7%
Concrete Area = 1,928 Sq Ft
Deck Area = 589 Sq Ft
Impervious Area = 4,589 Sq Ft = 17.1%

Parcel 2 Info
Lot Area = 16,976 Sq Ft
House Area = 2,226 Sq Ft
Lot Coverage = 13.1%
Driveway Area = 1,541 Sq Ft
Total Impervious Area = 3,767 Sq Ft = 22.2%



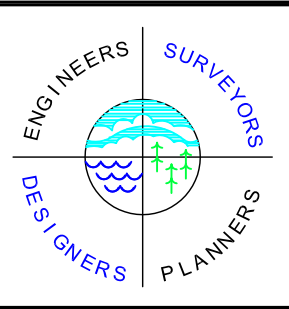
SURVEY LEGEND

- | | | |
|--|---|---|
| <ul style="list-style-type: none">CAST IRON MONUMENTCATCH BASINFLARED END SECTIONGATE VALVEGUY WIREHYDRANTSURVEY MONUMENT SETSURVEY MONUMENT FOUNDSURVEY CONTROL POINTLIGHT POLEPOWER POLESANITARY MANHOLESANITARY CLEANOUTSIGNGROUND ELEVATIONSTORM DRAINSTORM MANHOLEYARD LIGHT | <ul style="list-style-type: none">A/C UNITCABLE TV PEDESTALELECTRIC TRANSFORMERELECTRIC MANHOLEELECTRIC METERGAS METERGAS VALVEGUARD RAILHAND HOLESOIL BORINGTREE CONIFEROUSTREE DECIDUOUSTELEPHONE MANHOLETELEPHONE PEDESTALTRAFFIC SIGNALUTILITY MANHOLEUTILITY PEDESTALWELL | <ul style="list-style-type: none">BITUMINOUSBUILDING SETBACK LINECABLE TVCONCRETE CURBCONCRETECONTOUR EXISTINGCONTOUR PROPOSEDDRAIN TILEELECTRIC UNDERGROUNDELECTRIC UNDERGROUNDFIBER OPTIC UNDERGROUNDGAS UNDERGROUNDOVERHEAD UTILITYRAILROAD TRACKSSANITARY SEWERSTORM SEWERTELEPHONE UNDERGROUNDUTILITY UNDERGROUNDWATERMAIN |
|--|---|---|

FIELD CREW	NO.	BY	DATE	REVISION
CL. AT	1	EMW	10/7/2016	UPDATED WETLAND PER CITY
DRAWN				
JJA				
CHECKED				
DBP				
DATE				
03/21/2016				

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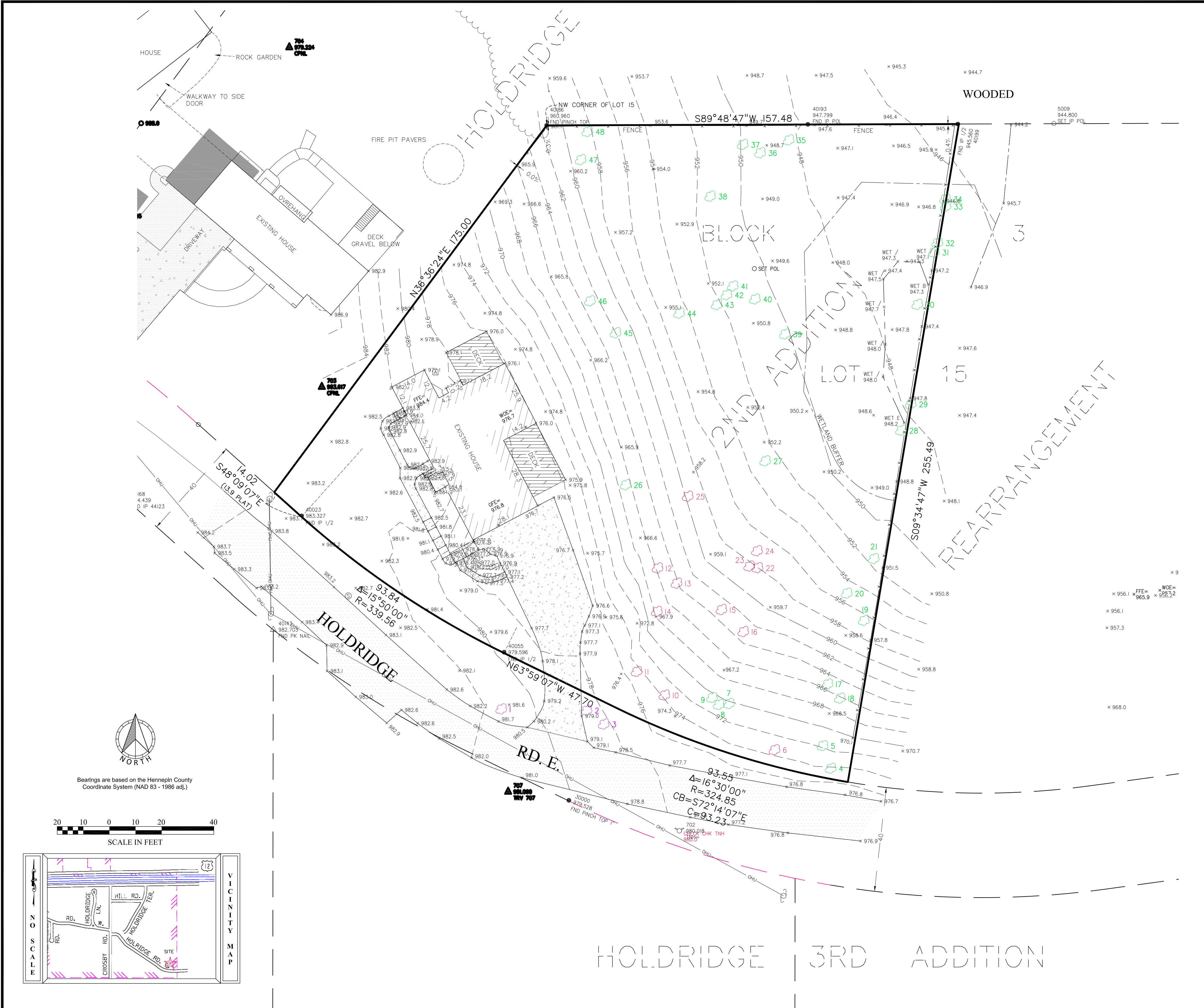


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TWP.117 - RGE.22 - SEC.04
Project City: Wayzata
Hennepin County

PRELIMINARY PLAT
PREPARED FOR:
ANNA OVSYANNIKOVA

FILE NO.
68445-001
1
PC 11/4/2016



Tree #	Species	Caliper Inches	Condition	Caliper In Exempt	Caliper In Removed	Caliper In Saved
1	Oak, bur	35.0	Good	35.0		
2	Oak, bur	30.5	Good	30.5		
3	Oak, bur	22.0	Fair	22.0		
4	Basswood	71.5	Good			71.5
5	Oak, red	15.5	Good			15.5
6	Ash, green	8.5	Good		8.5	
7	Oak, bur	30.0	Good			30.0
8	Elm, Siberian	10.0	Good			10.0
9	Elm, American	6.5	Good			6.5
10	Elm, American	8.0	Good		8.0	
11	Elm, American	9.5	Good		9.5	
12	Basswood	24.0	Fair		24.0	
13	Elm, American	8.0	Good		8.0	
14	Oak, bur	10.5	Good		10.5	
15	Boxelder	8.0	Good		8.0	
16	Boxelder	7.0	Good		7.0	
17	Oak, red	6.0	Good			6.0
18	Oak, red	13.0	Good			13.0
19	Basswood	7.5	Fair			7.5
20	Boxelder	17.0	Good			17.0
21	Oak, red	33.0	Fair			33.0
22	Elm, American	8.0	Fair		8.0	
23	Oak, red	40.5	Fair		40.5	
24	Elm, American	10.5	Good		10.5	
25	Boxelder	6.5	Fair		6.5	
26	Elm, American	8.0	Good			8.0
27	Ash, green	7.5	Good			7.5
28	Ash, green	15.5	Good			15.5
29	Boxelder	14.0	Good			14.0
30	Ash, green	8.0	Fair			8.0
31	Ash, green	7.5	Good			7.5
32	Ash, green	6.5	Fair			6.5
33	Ash, green	6.5	Good			6.5
34	Ash, green	8.5	Good			8.5
35	Boxelder	12.0	Good			12.0
36	Boxelder	16.0	Good			16.0
37	Elm, American	10.5	Good			10.5
38	Oak, red	18.0	Fair			18.0
39	Ash, green	20.5	Good			20.5
40	Ash, green	9.5	Fair			9.5
41	Ash, green	10.0	Good			10.0
42	Ash, green	10.0	Good			10.0
43	Ash, green	9.0	Good			9.0
44	Ash, green	7.0	Good			7.0
45	Ash, green	7.0	Fair			7.0
46	Boxelder	17.5	Fair			17.5
47	Boxelder	14.0	Good			14.0
48	Elm, American	11.0	Good			11.0
				87.5	149.0	464.0
Total Caliper Inches on Report				700.5		
Total Caliper Exempt (Off Site)				87.5		
Net Caliper Inches				613.0		
Total Caliper inches Saved				464.0	75.69%	
Total Caliper Inches Removed				149.0	24.31%	
= Indicates Heritage Tree						
Total Heritage Caliper Inches on Report				264.5		
Total Heritage Caliper Exempt (Off Site)				65.5		
Net Heritage Caliper Inches				199.0		
Total Heritage Caliper inches Saved				134.5	67.59%	
Total Heritage Caliper Inches Removed				64.5	32.41%	

SURVEY LEGEND

● CAST IRON MONUMENT	⊠ A/C UNIT	▬ BITUMINOUS
⊠ CATCH BASIN	⊠ CABLE TV PEDESTAL	— BSL — BSL — BUILDING SETBACK LINE
◁ FLARED END SECTION	⊠ ELECTRIC TRANSFORMER	— CTV — CABLE TV
⊠ GATE VALVE	⊠ ELECTRIC MANHOLE	— CONCRETE CURB
< GUY WIRE	⊠ ELECTRIC METER	— CONCRETE
○ HYDRANT	⊠ GAS METER	— 960 — CONTOUR EXISTING
○ SURVEY MONUMENT SET	⊠ GAS VALVE	— 960 — CONTOUR PROPOSED
● SURVEY MONUMENT FOUND	⊠ GUARD RAIL	— DT — DRAIN TILE
△ SURVEY CONTROL POINT	⊠ HAND HOLE	— ELC — ELECTRIC UNDERGROUND
⊠ LIGHT POLE	⊠ SOIL BORING	— FO — FIBER OPTIC UNDERGROUND
⊠ POWER POLE	⊠ TREE CONIFEROUS	— GAS — GAS UNDERGROUND
⊠ SANITARY MANHOLE	⊠ TREE DECIDUOUS	— OHU — OVERHEAD UTILITY
⊠ SANITARY CLEANOUT	⊠ TELEPHONE MANHOLE	===== RAILROAD TRACKS
⊠ SIGN	⊠ TELEPHONE PEDESTAL	—>—>— SANITARY SEWER
⊠ GROUND ELEVATION	⊠ TRAFFIC SIGNAL	—>—>— STORM SEWER
⊠ STORM DRAIN	⊠ UTILITY MANHOLE	— TEL — TELEPHONE UNDERGROUND
⊠ STORM MANHOLE	⊠ UTILITY PEDESTAL	— UTL — UTILITY UNDERGROUND
⊠ YARD LIGHT	⊠ WELL	— W — WATERMAIN

FIELD CREW	NO.	BY	DATE	REVISION
CL. AT				
DRAWN				
JJA				
CHECKED				
DBP				
DATE				
03/21/2016				

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I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 17th day of September, 2016.

David B. Pemberton, PLS
pemberton@sathre.com

Minnesota License No. 40344

ENGINEERS
DESIGNERS
SURVEYORS
PLANNERS

SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

TWP.117 - RGE.22 - SEC.04
Project City: Wayzata
Hennepin County

TREE SURVEY
PREPARED FOR:
ANNA OVSYANNIKOVA

FILE NO.
68445-001
1
PC 11/4/2016
Page 9 of 103

OVSYANNIKOVA ADDITION

C.R. DOC. NO. _____

KNOW ALL PERSONS BY THESE PRESENTS: That Yevgeniy Ogranovich and Anna Ovsyannikova, husband and wife, fee owners of the following described property situated in the State of Minnesota, County of Hennepin, to wit:

That part of Lot 15, Block 3, HOLDRIDGE SECOND ADDITION REARRANGEMENT, lying West of the following described line:

Commencing at the northwest corner of said lot; thence East along the north line of said lot a distance of 157.88 feet to the point of beginning of said line; thence deflecting right 99 degrees 46 minutes to the southerly line of said lot and the ending.

Have caused the same to be surveyed and platted as OVSYANNIKOVA ADDITION and do hereby dedicate to the public for public use forever the easements for drainage and utility purposes as shown on this plat.

In witness whereof said Yevgeniy Ogranovich and Anna Ovsyannikova husband and wife, have hereunto set their hands this _____ day of _____, 2016 .

Yevgeniy Ogranovich

Anna Ovsyannikova

STATE OF MINNESOTA, COUNTY OF HENNEPIN

The foregoing instrument was acknowledged before me this _____ day of _____, 2016, by Yevgeniy Ogranovich and Anna Ovsyannikova, husband and wife.

Notary Public, Hennepin County, Minnesota

Notary Printed Name

My Commission Expires

STATE OF MINNESOTA, COUNTY OF HENNEPIN

I, David B. Pemberton do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on the plat; that all monuments depicted on the plat have been or will be correctly set within one year; that all water boundaries and wet lands, as defined by Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 2016.

David B. Pemberton, Licensed Land Surveyor
Minnesota License No. 40344

STATE OF MINNESOTA, COUNTY OF HENNEPIN

This instrument was acknowledged before me this _____ day of _____, 2016, by David B. Pemberton.

Notary Public, Hennepin County, Minnesota

Notary Printed Name

My Commission Expires

WAYZATA, MINNESOTA

This plat of OVSYANNIKOVA ADDITION was approved and accepted by the City Council of Wayzata, Minnesota at a regular meeting held this _____ day of _____, 2016. If applicable, the written comments and recommendations of the Commissioner of Transportation and the County Highway Engineer have been received by the City or the prescribed 30 day period has elapsed without receipt of such comments and recommendations, as provided by Minnesota Statutes, Section 505.03, Subdivision 2.

By: _____, Mayor By: _____, City Clerk

RESIDENT AND REAL ESTATE SERVICES
Hennepin County, Minnesota

I hereby certify that taxes payable in _____ and prior years have been paid for land described on this plat. Dated this _____ day of _____, 2016.

Mark V. Chapin, Hennepin County Auditor

By: _____, Deputy

SURVEY DIVISION
Hennepin County, Minnesota

Pursuant to Minnesota Statutes Section 383B.565 (1969), this plat has been approved this _____ day of _____, 2016.

Chris F. Mavis, Hennepin County Surveyor

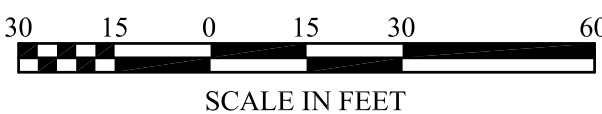
By: _____

COUNTY RECORDER
Hennepin County, Minnesota

I hereby certify that the within plat of OVSYANNIKOVA ADDITION was recorded in this office this _____ day of _____, 2016, at _____ o'clock _____ M.

Martin McCormick, County Recorder

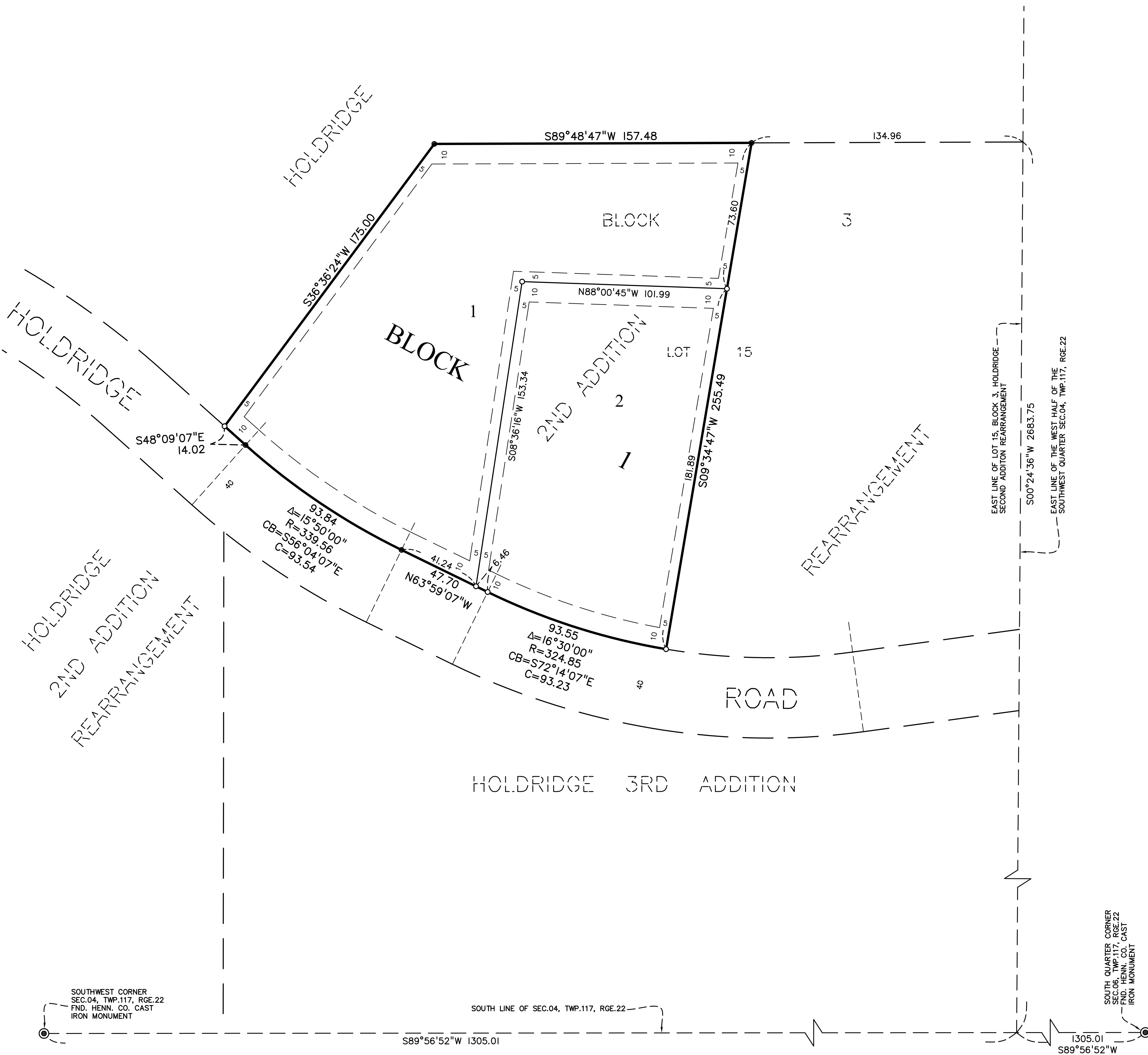
By: _____, Deputy



The basis for the bearing system is the easterly line of Lot 15, Block 3, HOLDRIDGE SECOND ADDITION REARRANGEMENT, which is assumed to bear South 00 degrees 24 minutes 36 seconds West.

- Denotes a 1/2 inch by 14 inch iron pipe set in the ground and marked by License No. 40344
- Denotes a Found Iron Monument
- ⊙ Denotes a Found Cast-Iron-Monument

DRAINAGE AND UTILITY EASEMENTS ARE AS SHOWN



General Notes:

- 1. REINFORCE FND. WALLS PER CODE
- 2. PROVIDE POLY UNDER ALL INTERIOR SLABS
- 3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND STRUCTURAL COMPONENTS PRIOR TO CONSTRUCTION TO MEET ALL APPLICABLE CODES.
- 4. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- 5. EXTERIOR WALLS ARE DIMENSIONED TO OUTSIDE OF SHEETING.
- 6. ALL EXTERIOR OPENINGS AND OPENINGS IN BEARING WALLS ARE TO HAVE A (2) 2X10 HEADER. (UNLESS NOTED OTHERWISE)
- 7. ALL BEAMS AND HEADERS ARE TO BE SPECIFIED BY LUMBER SUPPLIER.
- 8. WINDOWS AND DOORS ARE SPECIFIED A WINDOWS.
- 9. MIN. WINDOW SILL HEIGHT SHALL BE 18" OR HIGHER.

- 10. WINDOW WELLS WITH A VERTICAL DEPTH OF MORE THAN 44" MUST BE EQUIPPED WITH AN APPROVED LADDER
- 11. ALL OPENINGS LESS THAN 4" @ ALL GUARDRAILS
- 12. GUARDRAIL REQUIRED ON OPEN SIDE OF ANY STAIR MORE THAN 30" ABOVE FLOOR
- 13. PROVIDE SMOKE DETECTORS IN EVERY BEDROOM AND THE CORRIDOR GIVING ACCESS TO THE BEDROOM, ON EACH FLOOR INCLUDING THE BASEMENT, AND IN ANY ROOM THAT HAS A CEILING HEIGHT MORE THAN 24" HIGHER THAN A CORRIDOR GIVING ACCESS TO THE BEDROOMS
- 14. NOTE ON ALL PLANS
- A. DBL. STUDS @ ALL WINDOWS AND PATIO DOOR HDRS. & POINT LOADS UNLESS NOTED OTHERWISE
- B. PROVIDE SOLID BLOCKING @ ALL SUPPORT BEAMS, MICROLAMS, & GIRDER TRUSSES TO SUPPORT BELOW

Area Schedule

Finished Basement	1412 sf
Main Level	1609 sf
Upper Level	1789 sf
Garage	648 sf
Front Porch	138 sf



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15610 Holdridge Rd
Wayzata
Front Elevation

Project number	15022
Date	8/3/2016
Drawn by	Alexander Bocharnikov
Checked by	

A01

Scale	1/4" = 1'-0"
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1 Front Elevation
1/4" = 1'-0"



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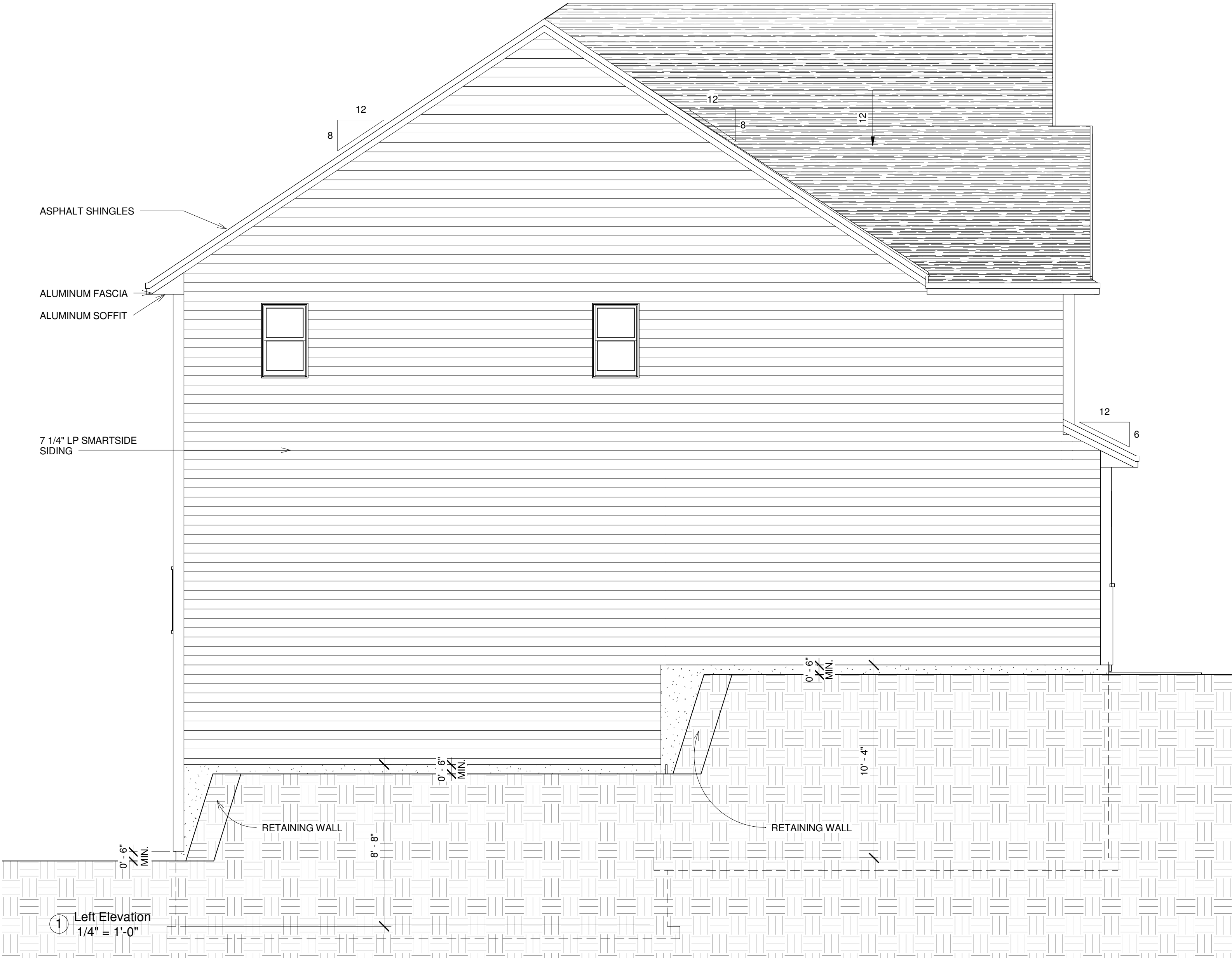
15610 Holdridge Rd
Wayzata
Left Elevation

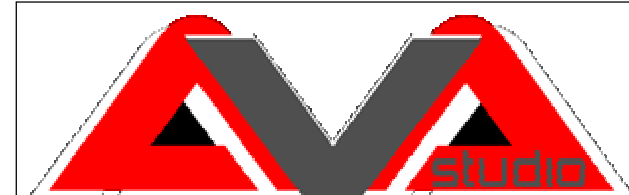
Project number	15022
Date	8/3/2016
Drawn by	Alexander Bocharnikov
Checked by	

A02

Scale	1/4" = 1'-0"
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8/16/2016 4:58:11 PM





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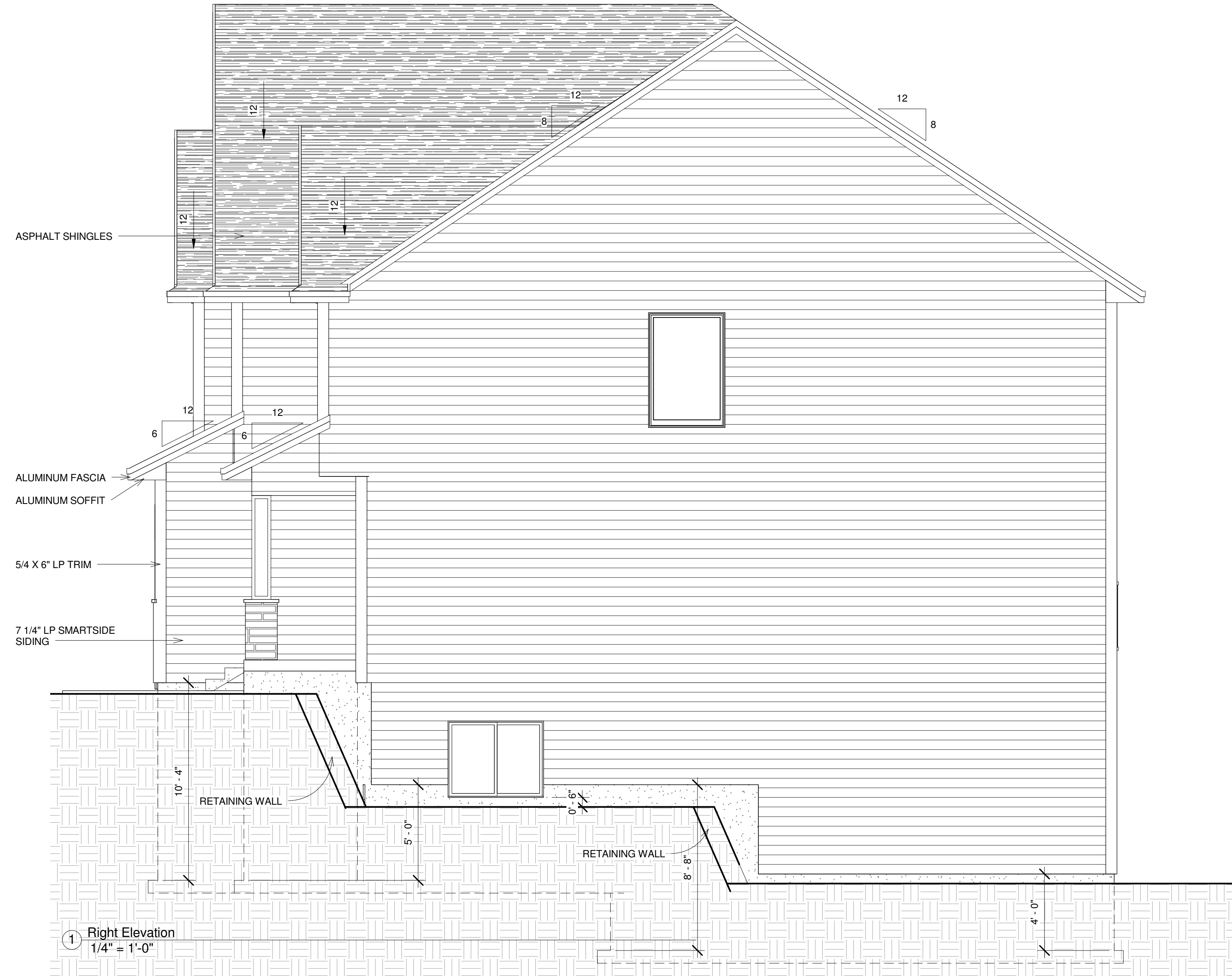
15610 Holdridge Rd
Wayzata
Right Elevation

Project number	15022
Date	8/3/2016
Drawn by	Alexander Bocharnikov
Checked by	

A03

Scale	1/4" = 1'-0"
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15610 Holdridge Rd
Wayzata
Rear Elevation

Project number	15022
Date	8/3/2016
Drawn by	Alexander Bocharnikov
Checked by	

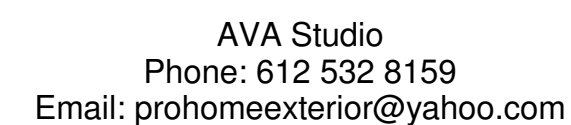
A04

Scale	1/4" = 1'-0"
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8/16/2016 4:58:11 PM



1 Rear Elevation
1/4" = 1'-0"



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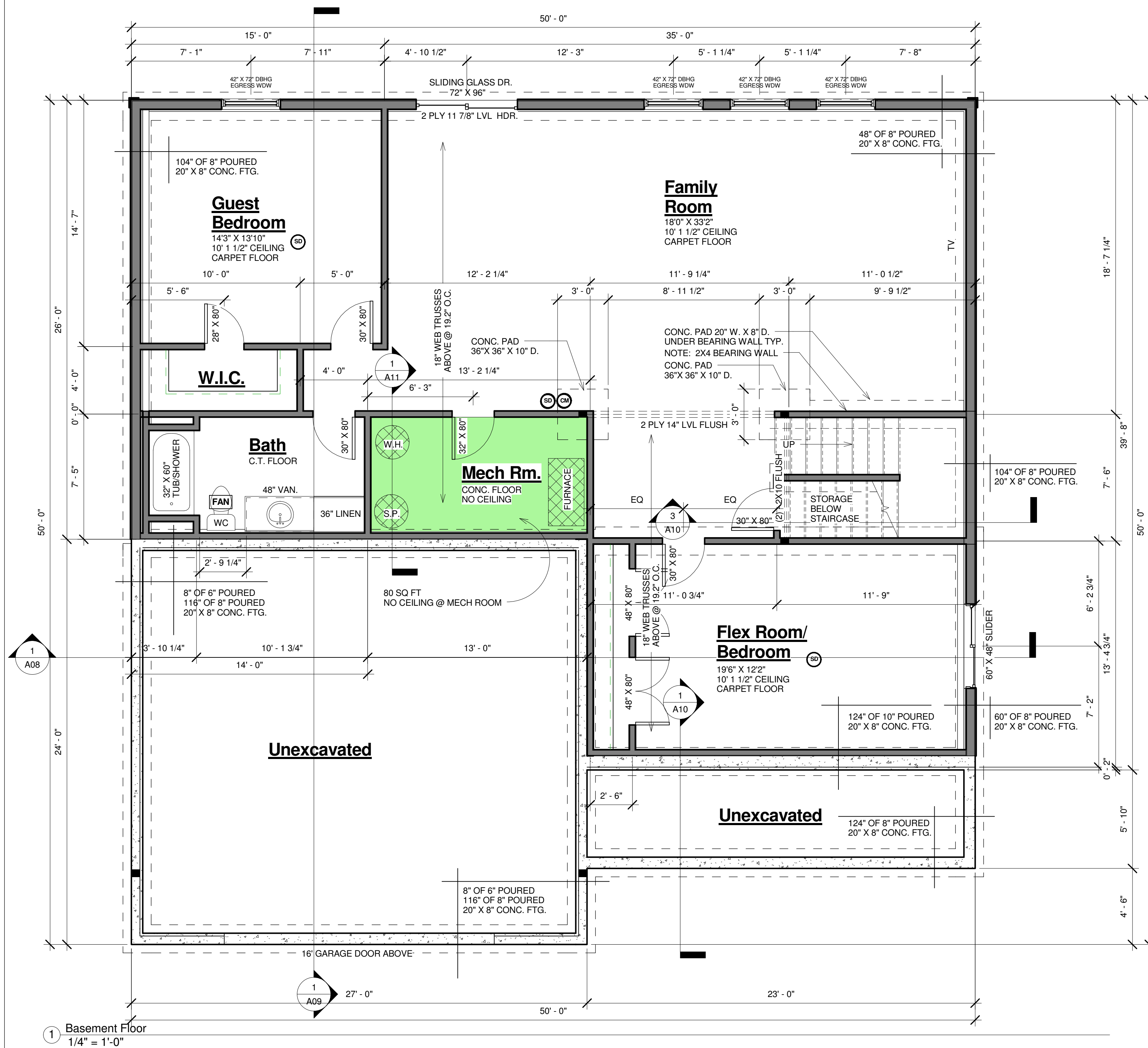
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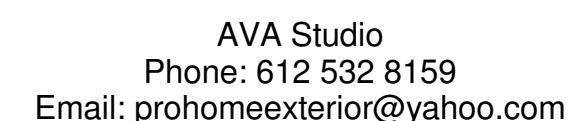
Project number	15022
Date	8/3/2016
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A05

Scale	1/4" = 1'-0"
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15610 Holdridge Rd
Wayzata
Main Level

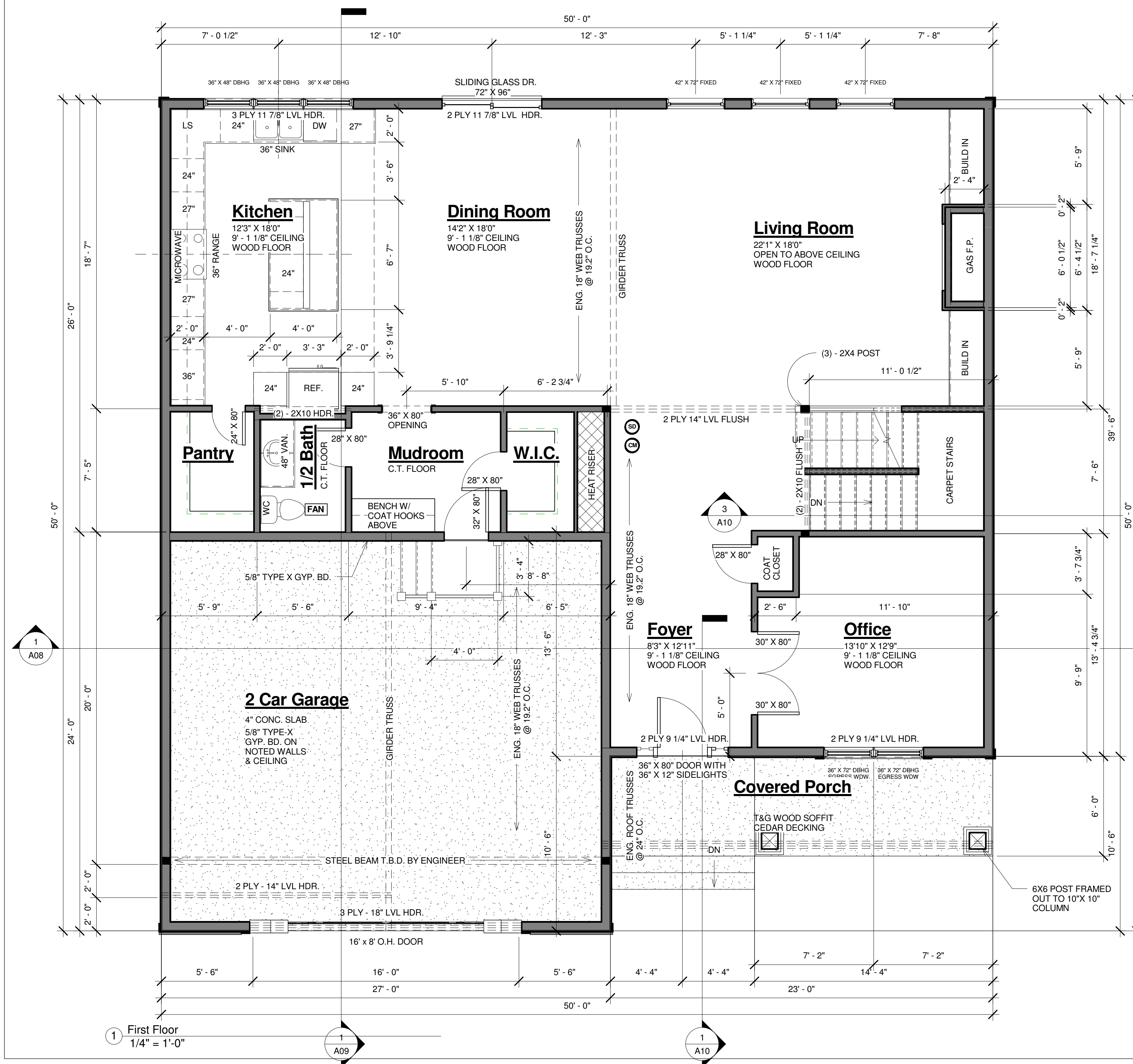
Project number	15022
Date	8/3/2016
Drawn by	Alexander Bocharnikov
Checked by	

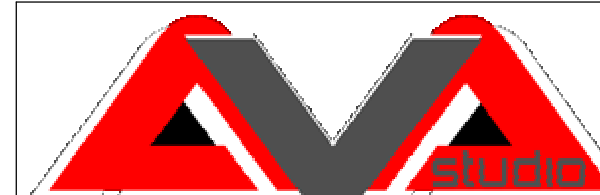
A06

Scale	1/4" = 1'-0"
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11/16/2016 4:58:12 PM

PC 11/4/2016
Page 16 of 103





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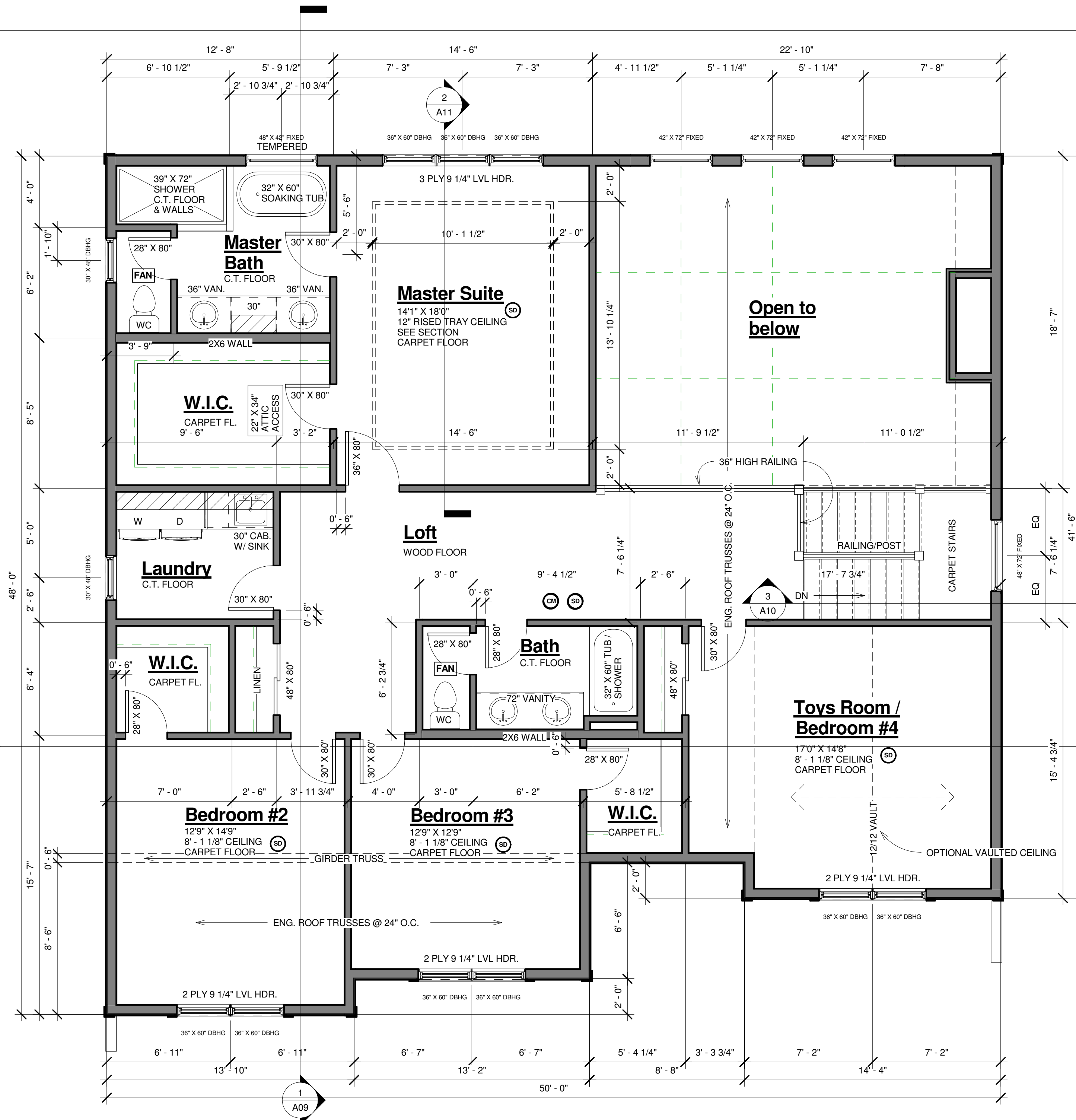
15610 Holdridge Rd
Wayzata
Upper Level

Project number 15022
Date 8/3/2016
Drawn by Alexander Bocharnikov
Checked by

A07

Scale 1/4" = 1'-0"

8/16/2016 4:58:12 PM



1 Second Floor
1/4" = 1'-0"

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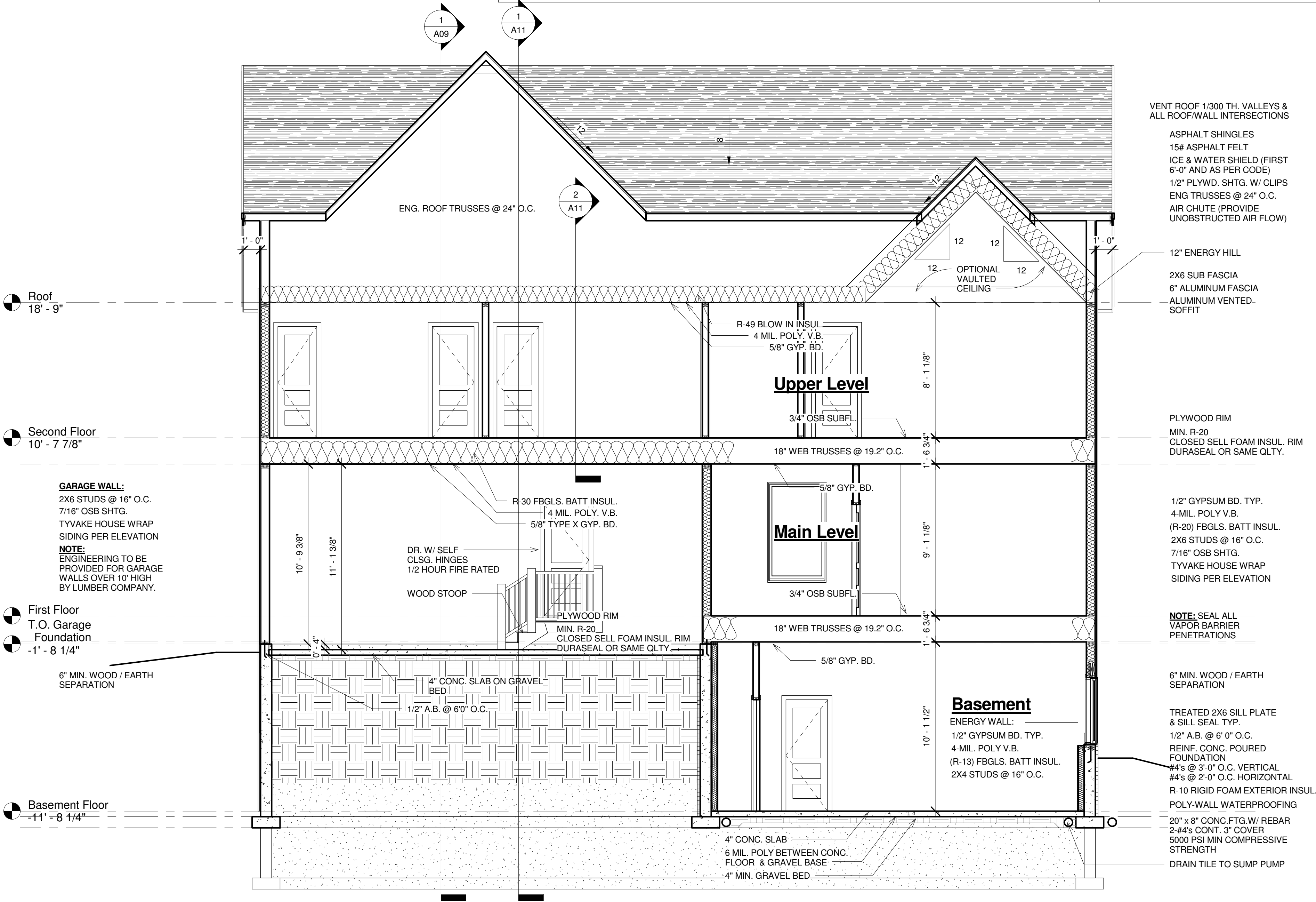
15610 Holdridge Rd
Wayzata
Cross Section 1



Ph: 612 532 8159
Web: avastudio.houzz.com
Address: 6641 w 18th Street St Louis Park Minnesota 55426

Project number	15022
Date	8/3/2016
Drawn by	Alexander Bocharnikov
A08	
Scale	1/4" = 1'-0"

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1 House Section
1/4" = 1'-0"



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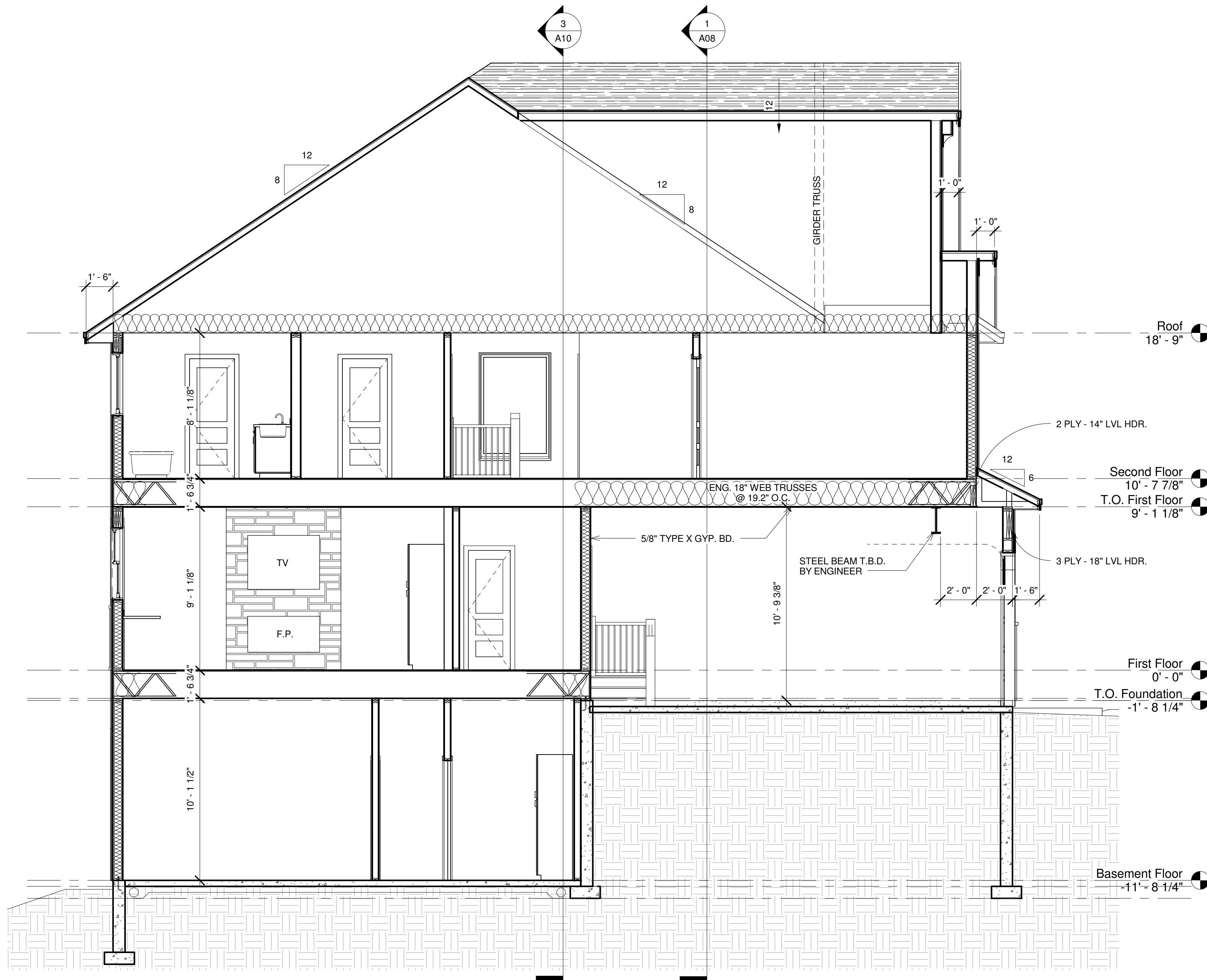
15610 Holdridge Rd Wayzata Cross Section 2

Project number	15022
Date	8/3/2016
Drawn by	Alexander Bocharnikov
Checked by	

A09

Scale	1/4" = 1'-0"
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① House Section 2
1/4" = 1'-0"



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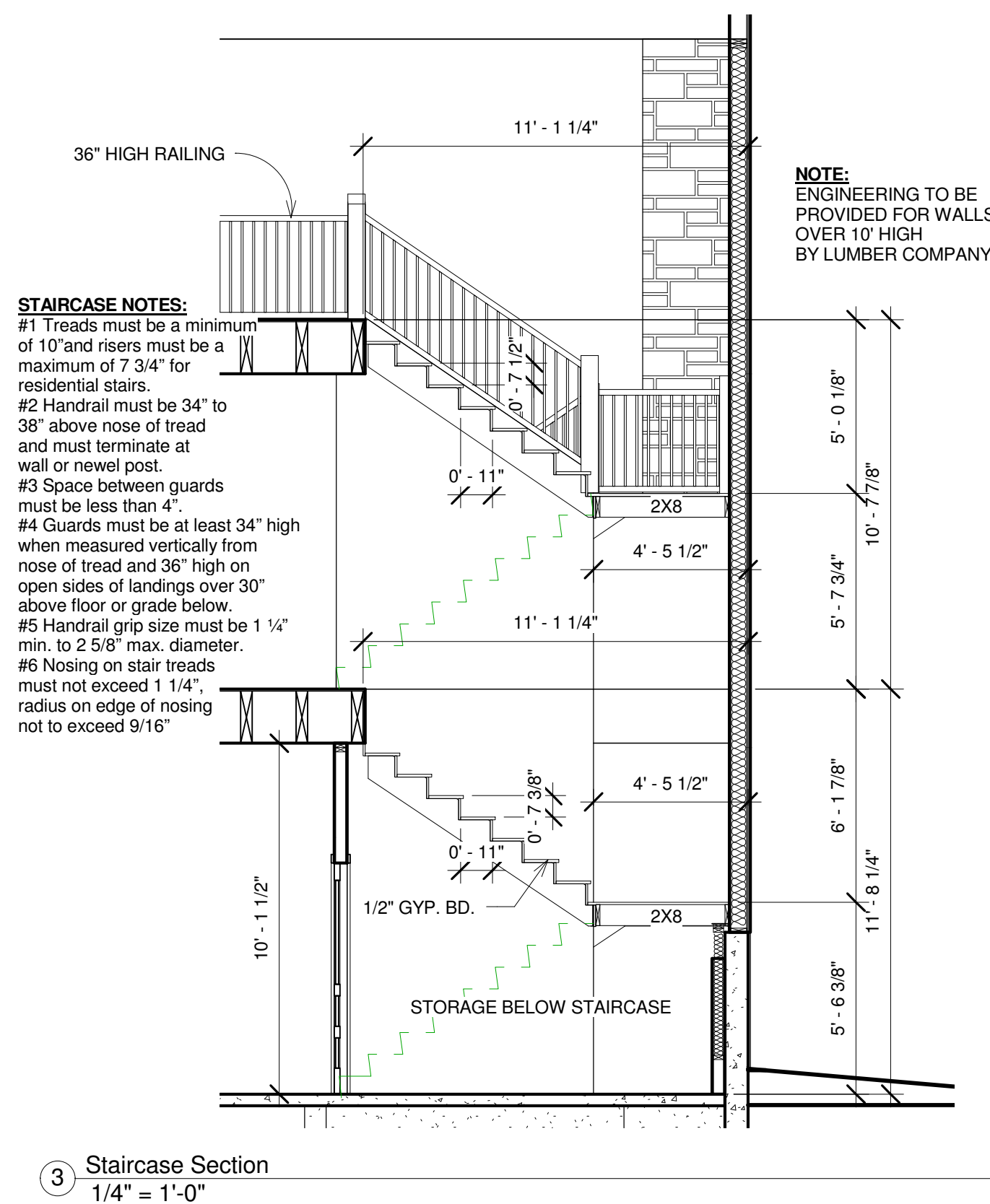
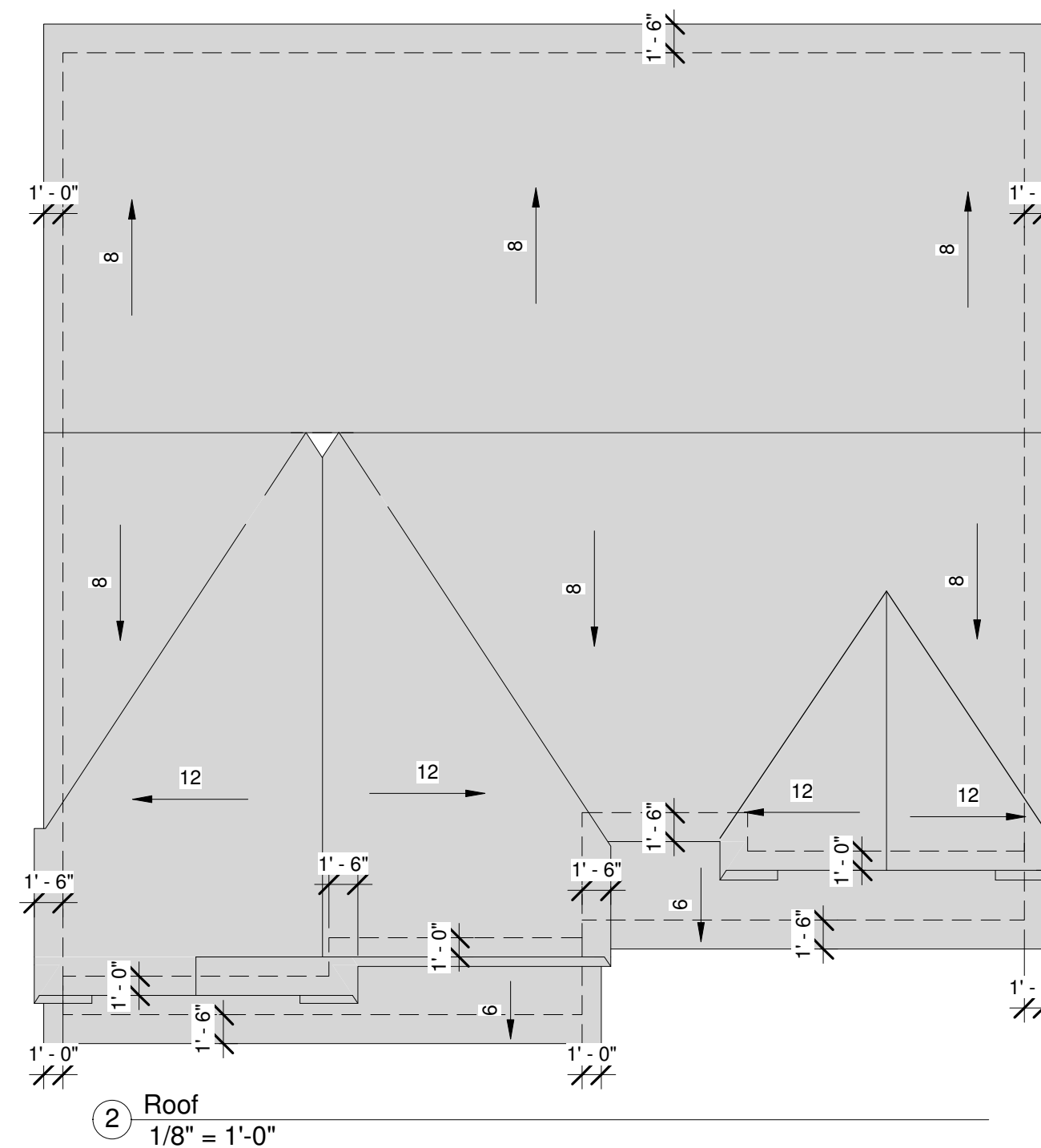
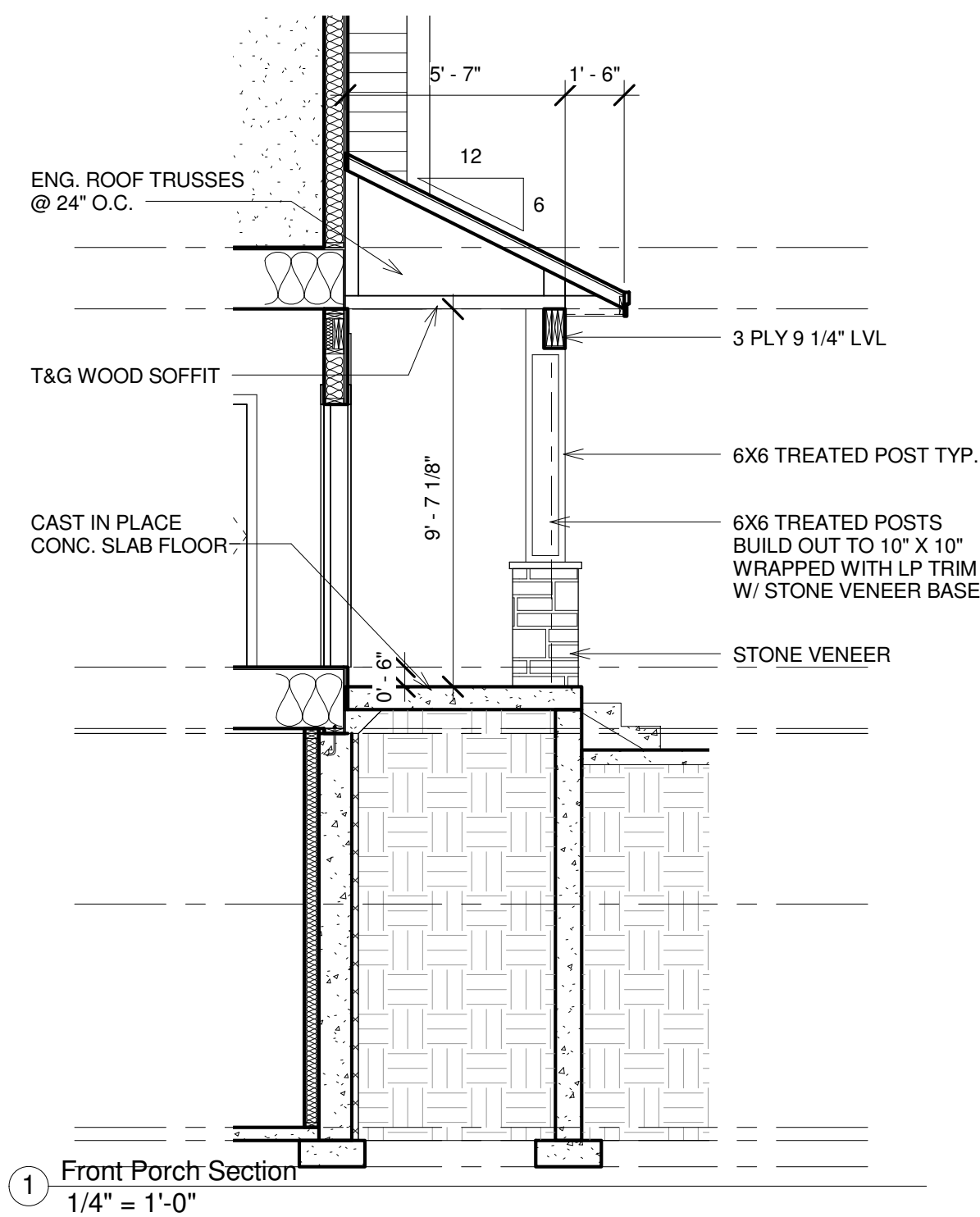
15610 Holdridge Rd Wayzata Detail Plan 1 of 2

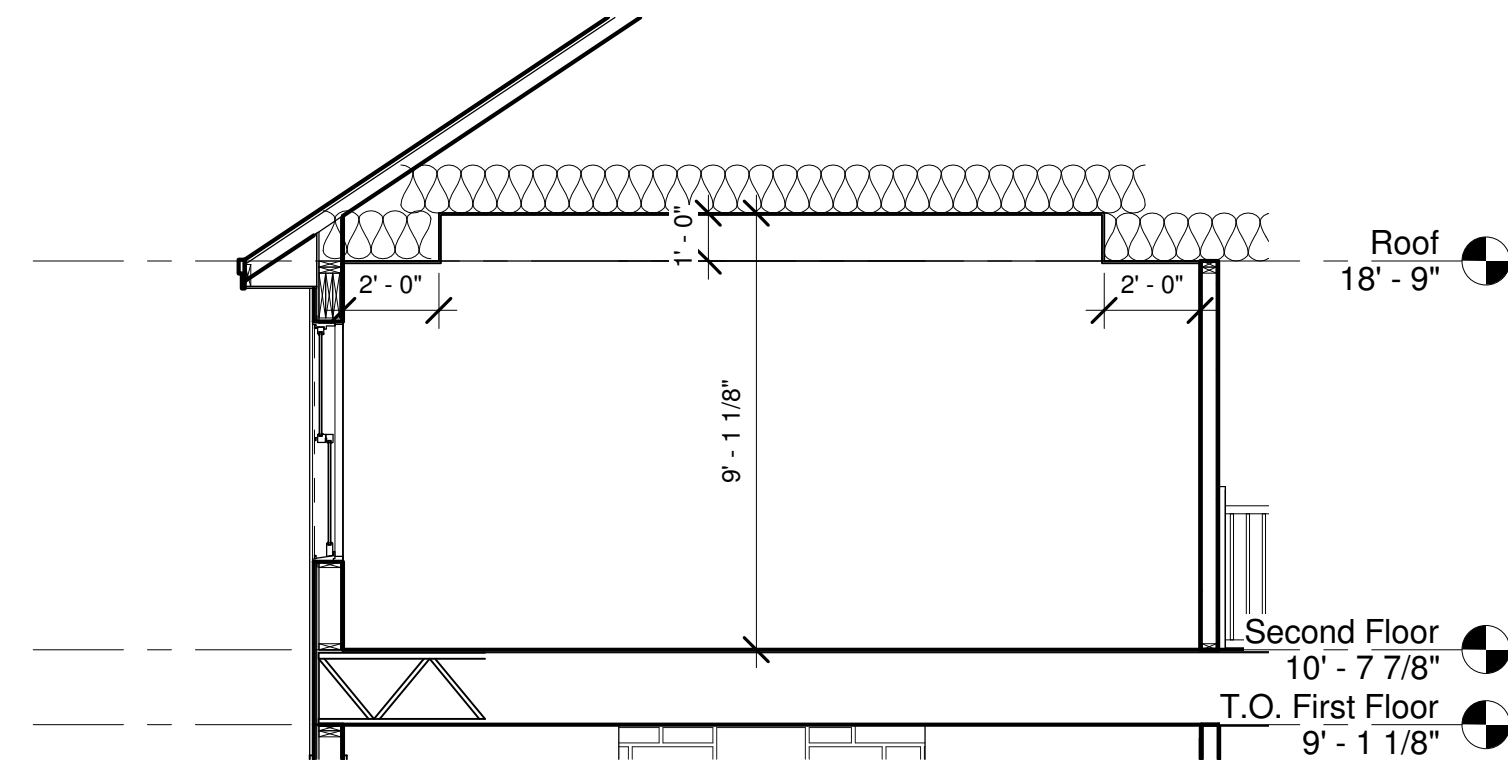
Project number 15022
Date 8/3/2016
Drawn by Alexander Bocharnikov
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A10

Scale As indicated

8/16/2016 4:58:13 PM





2 Master Suite
1/4" = 1'-0"

3" MIN. ABS OR PVC OR EQUIVALENT
GAS TIGHT PIPE

LIGHT FIXTURE IN ATTIC AREA

INSTALL LIVE OUTLET IN ATTIC WHERE
FUTURE FAN MAY BE INSTALLED

PROVIDE SPACE FOR FUTURE
INSTALLATION OF A FAN
*MIN. 24" DIAMETER CENTERED ON
THE AXIS OR THE VENT STACK
*MIN. VERTICAL DISTANCE 36"

INSTALL LABEL READING (RADON REDUCTION
SYSTEM) ON THE VENT PIPE AT EACH FLOOR
AND IN ACCESSIBLE ATTICS

SEAL ALL FLOOR OPENINGS

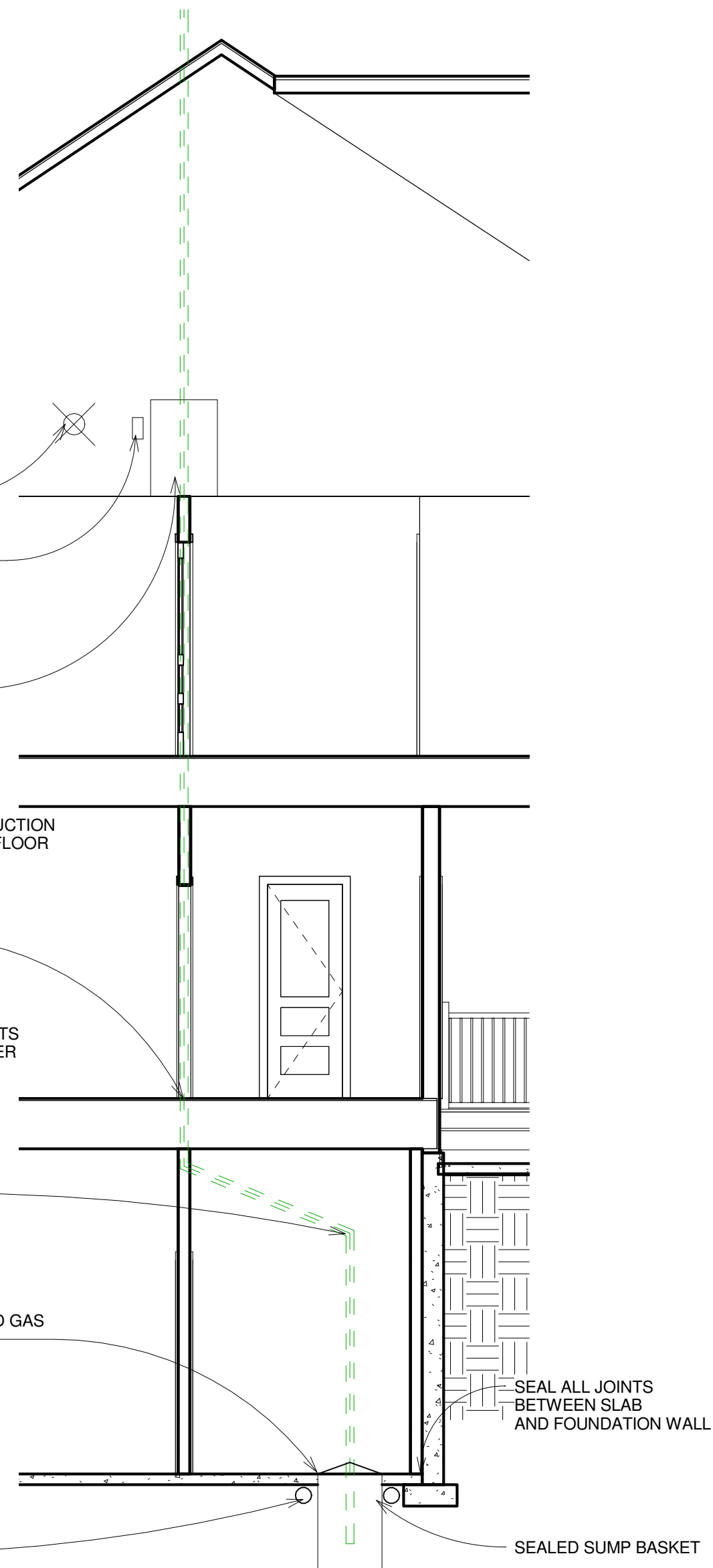
ALL CONTROL JOINTS, ISOLATION JOINTS
CONSTRUCTION JOINTS AND ANY OTHER
JOINTS IN CONCRETE SLABS SHALL BE
SEALED WITH CAULK OR SEALANT

ALL PIPE JOINTS AND FITTINGS
TO BE GLUED OR TRANSITION
COUPLINGS

MIN 6 MIL OR 3 MIL CROSS
LAMINATED POLY SHALL BE
LAPPED 12" AND PLACED BELOW
THE SLAB AND ON TOP OF 4" MIN. SAND GAS
PERMEABLE LAYER

4" PERFORATED DRAIN
TILE W/FILTER FABRIC
8"X16" ROCK TRENCH

1 Passive Radon Detail
1/4" = 1'-0"



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15610 Holdridge Rd Wayzata Detail Plan 2 of 2

Project number 15022
Date 8/3/2016
Drawn by Alexander Bocharnikov
Checked by

A11

Scale 1/4" = 1'-0"

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15610 Holdridge Rd Wayzata Simple Wall Bracing Plan

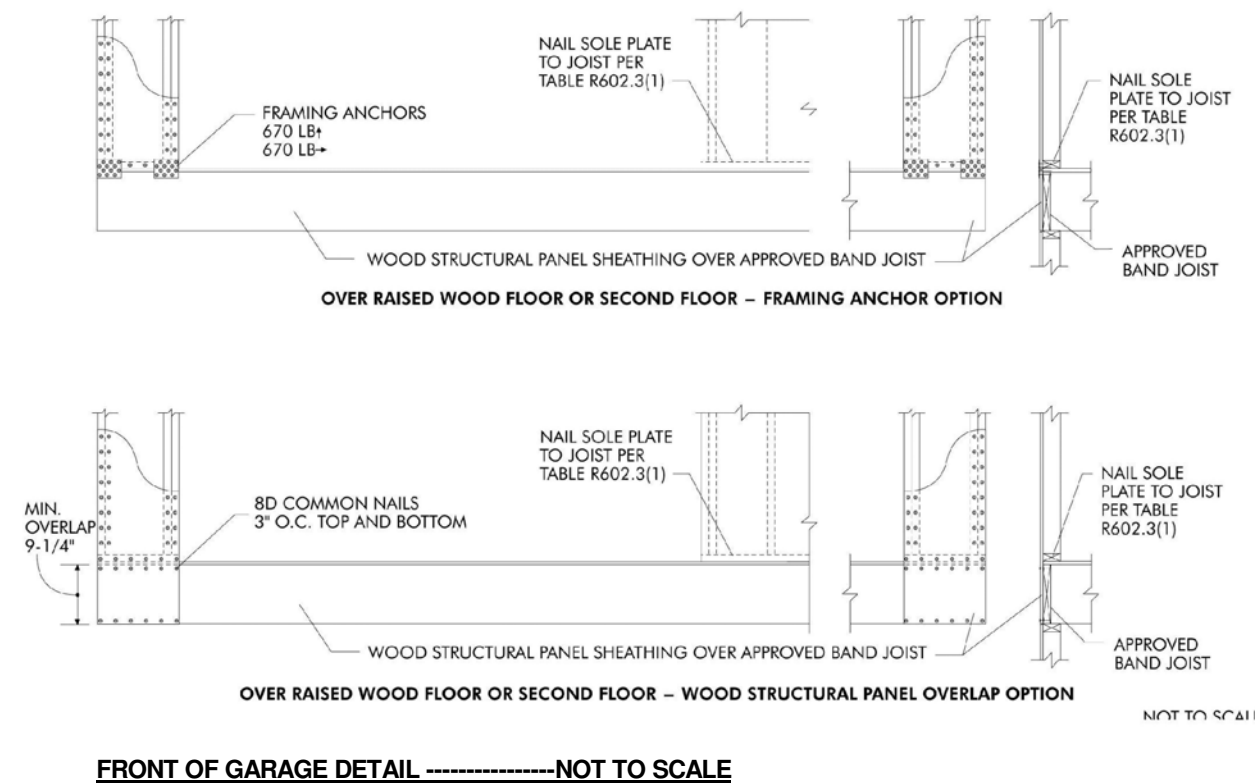
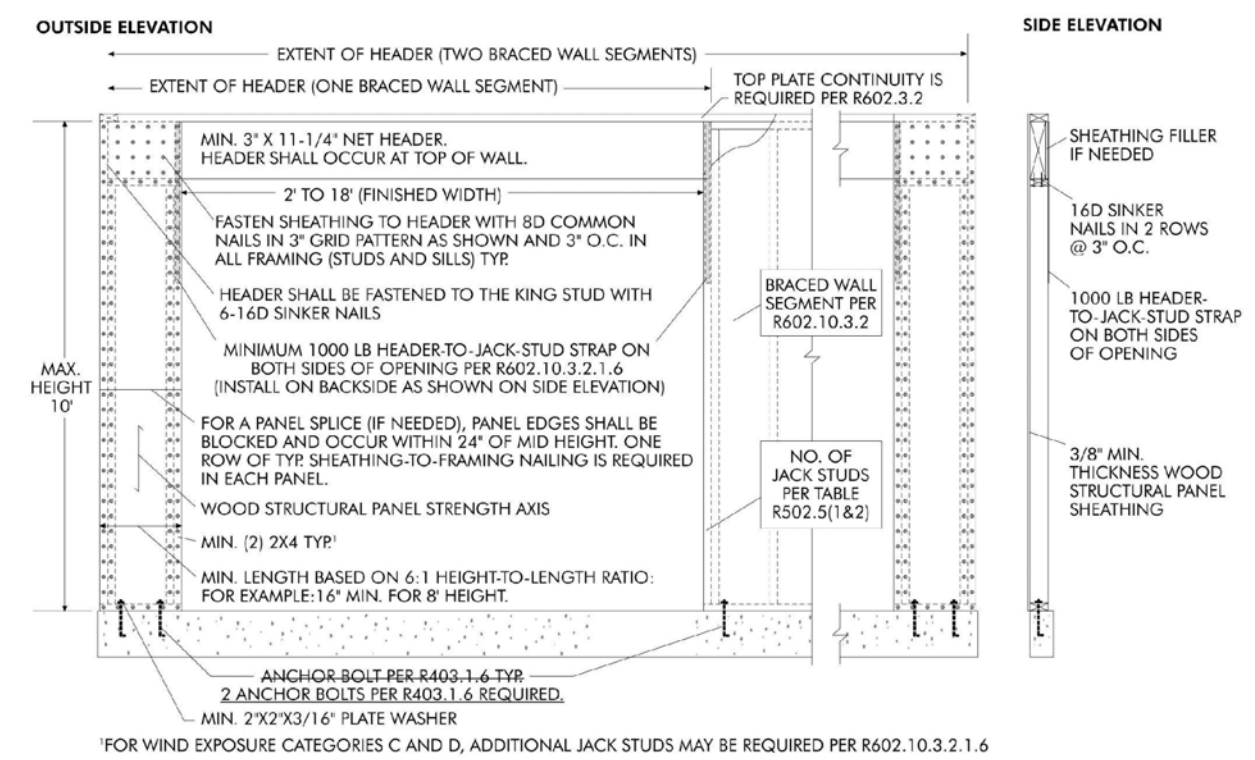
Project number 15022
Date 8/3/2016
Drawn by Alexander Bocharnikov
Checked by

A12

Scale 3/32" = 1'-0"

8/16/2016 4:58:14 PM

3. Figure R602.10.4.6



BRACED AT FLOOR TRUSSES PER R602.3(1) AND ROOF TRUSSES PER R802.10

REQUIRED BRACING UNITS= 3
CONTINUOUS SHEATHING = 3'-0"
LENGTHS=1 BRACING UNIT

REQUIRED BRACING UNITS =2
CONTINUOUS SHEATHING = 3'-0"
LENGTHS=1 BRACING UNIT

① Front Elevation Copy 1
3/32" = 1'-0"

BRACED AT FLOOR TRUSSES PER R602.3(1) AND ROOF TRUSSES PER R802.10

REQUIRED BRACING UNITS= 4
CONTINUOUS SHEATHING = 3'-0"
LENGTHS=1 BRACING UNIT

REQUIRED BRACING UNITS =5
CONTINUOUS SHEATHING = 3'-0"
LENGTHS=1 BRACING UNIT

REQUIRED BRACING UNITS =5
CONTINUOUS SHEATHING = 3'-0"
LENGTHS=1 BRACING UNIT

③ Rear Elevation Copy 1
3/32" = 1'-0"

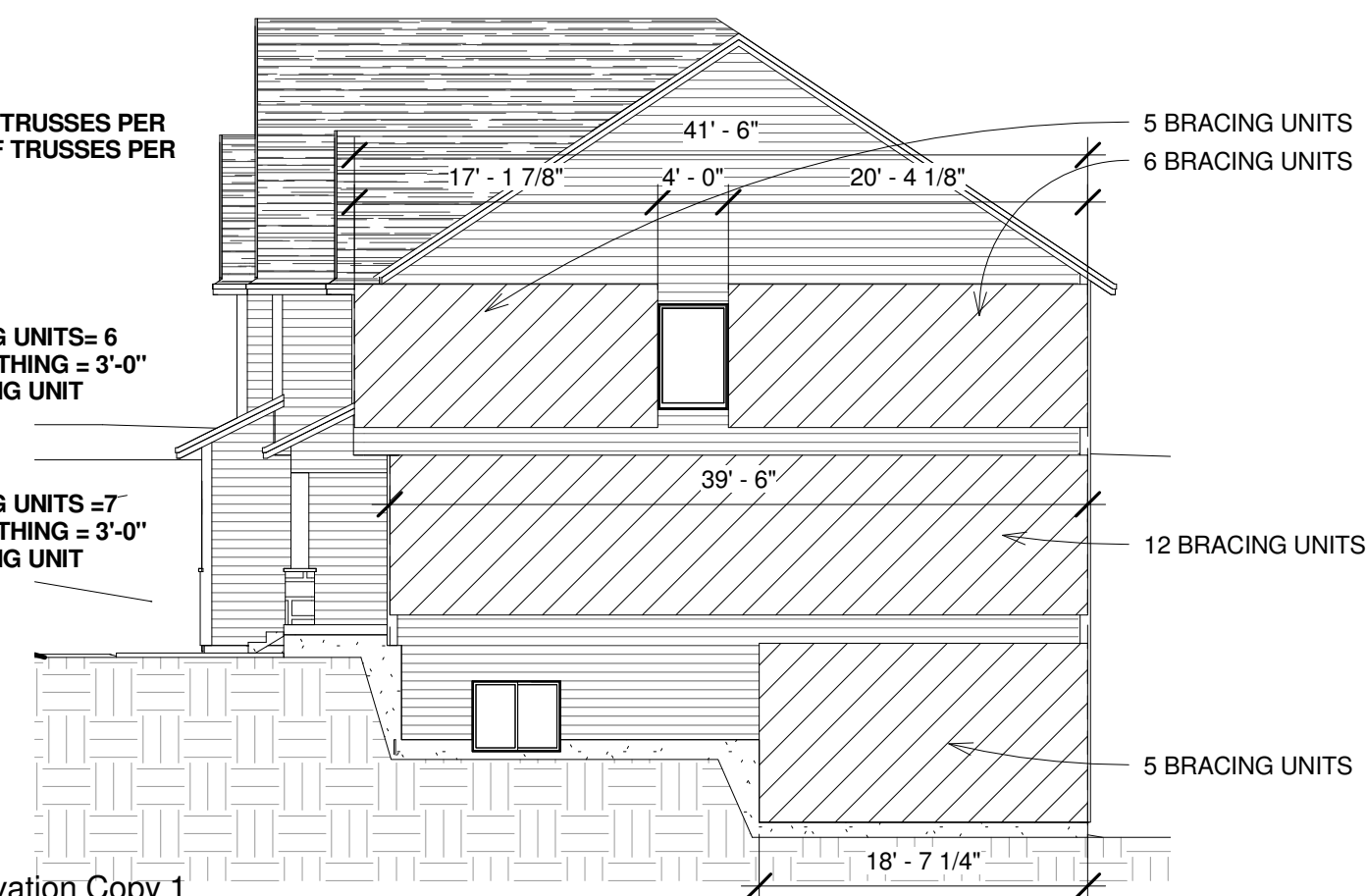


BRACED AT FLOOR TRUSSES PER R602.3(1) AND ROOF TRUSSES PER R802.10

REQUIRED BRACING UNITS= 6
CONTINUOUS SHEATHING = 3'-0"
LENGTHS=1 BRACING UNIT

REQUIRED BRACING UNITS =7
CONTINUOUS SHEATHING = 3'-0"
LENGTHS=1 BRACING UNIT

④ Right Elevation Copy 1
3/32" = 1'-0"

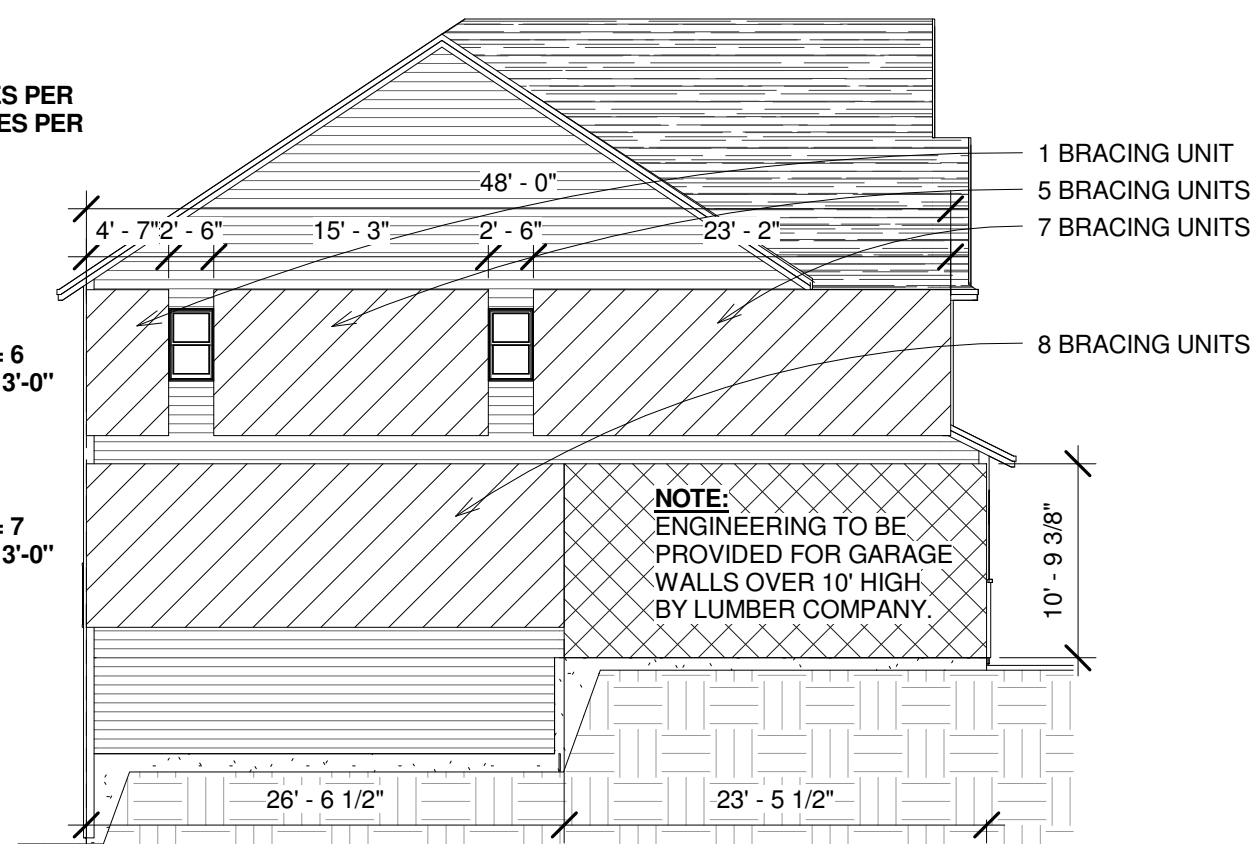


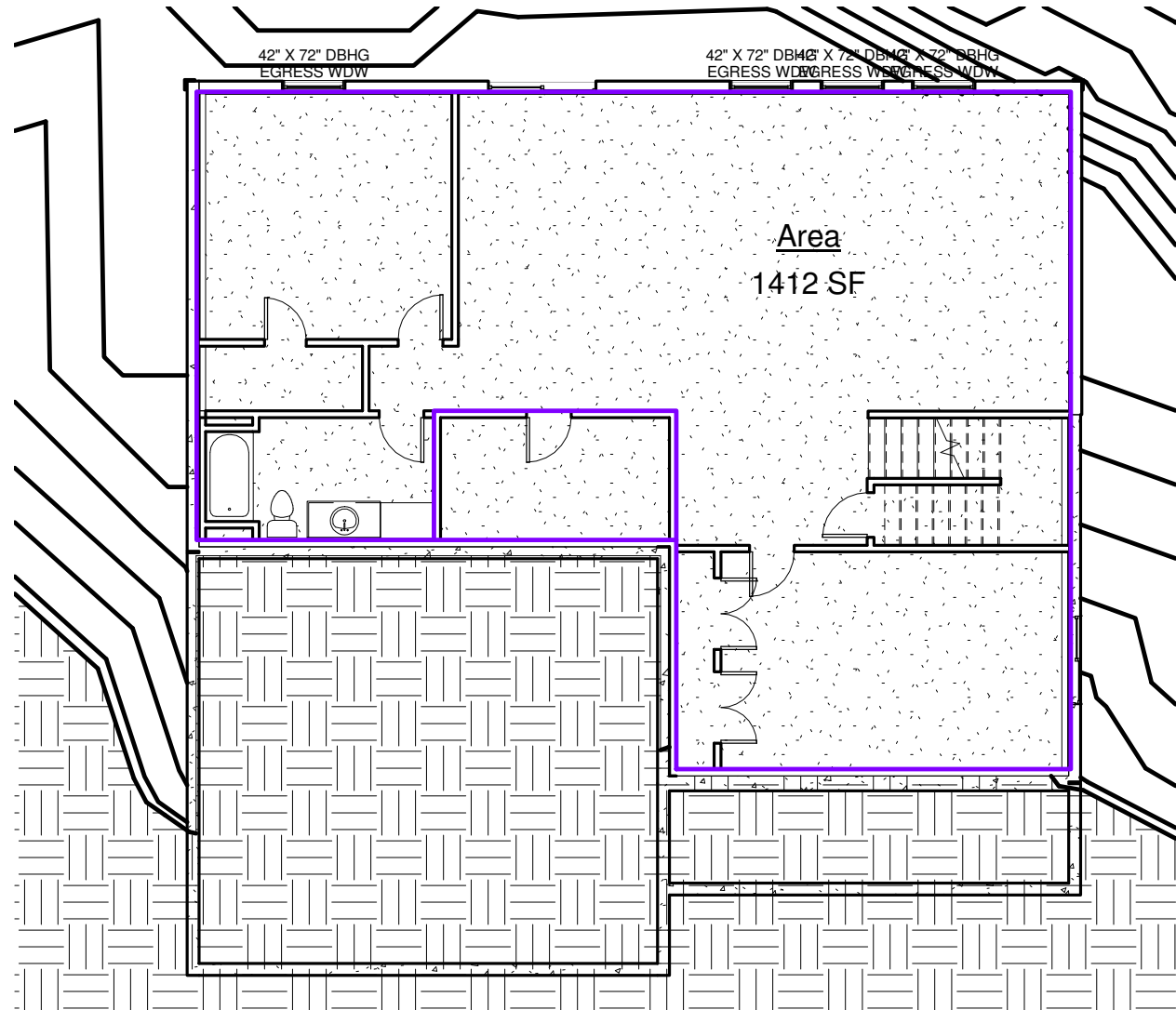
BRACED AT FLOOR TRUSSES PER R602.3(1) AND ROOF TRUSSES PER R802.10

REQUIRED BRACING UNITS= 6
CONTINUOUS SHEATHING = 3'-0"
LENGTHS=1 BRACING UNIT

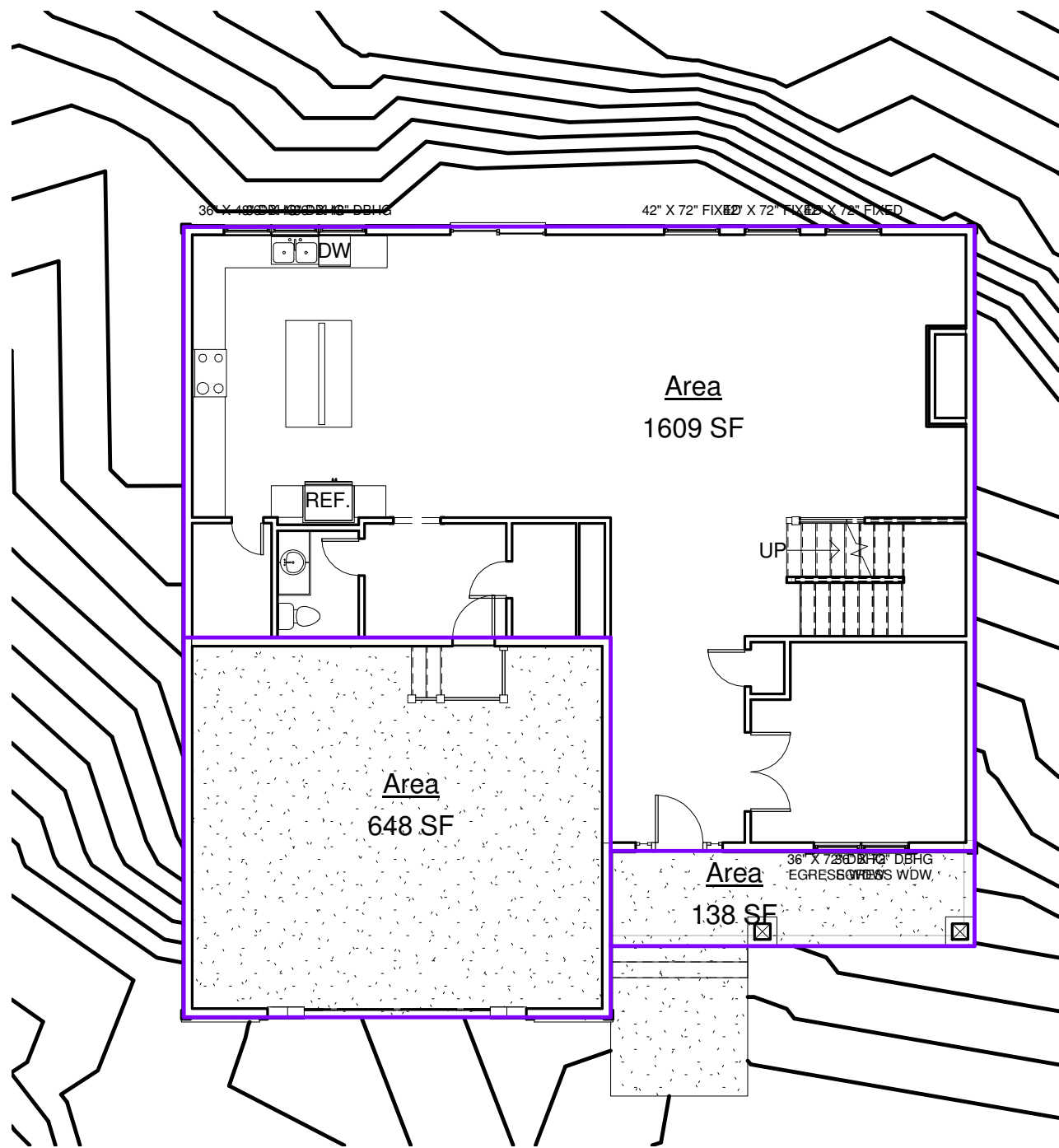
REQUIRED BRACING UNITS= 7
CONTINUOUS SHEATHING = 3'-0"
LENGTHS=1 BRACING UNIT

② Left Elevation Copy 1
3/32" = 1'-0"

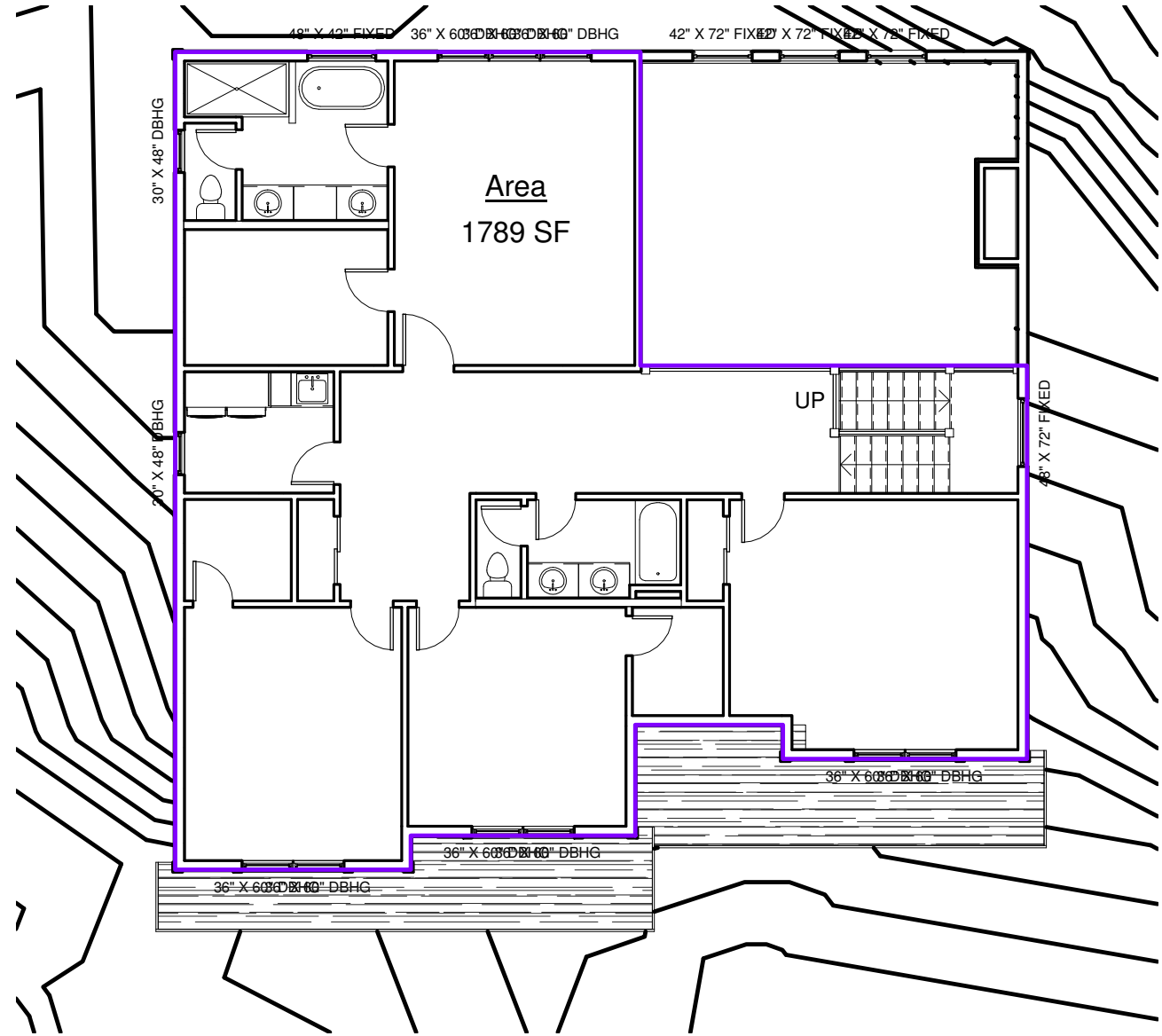




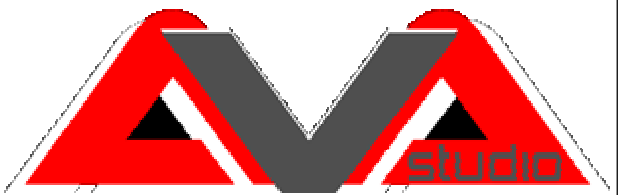
1 Basement Floor
1" = 10'-0"



2 First Floor
1" = 10'-0"



3 Second Floor
1" = 10'-0"



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15610 Holdridge Rd
Wayzata
Area Plans

Project number 15022
Date 8/3/2016
Drawn by Alexander Bocharnikov
Checked by

A13

Scale 1" = 10'-0"

8/16/2016 4:58:15 PM



WAYZATA PLANNING COMMISSION

November 7, 2016

REPORT AND RECOMMENDATION OF DENIAL OF PROPOSED SUBDIVISION / PRELIMINARY AND FINAL PLAT AT 15610 HOLDRIDGE RD E

DRAFT

SUMMARY OF RECOMMENDATION

1. **Denial** of Preliminary and Final Plat subdividing existing lot into two lots

REPORT AND RECOMMENDATION

Section 1. BACKGROUND

- 1.1 **Project.** Anna Ovsyannikova and Yengeny Ogranovich (the "Applicant") have submitted a development application (the "Application") to subdivide the property at 15610 Holdridge Rd E into two single-family residential lots. The existing house would remain and one new home would be constructed on the new lot. The Application requires preliminary and final plat review, and requests simultaneous preliminary and final plat review and approval.
- 1.2 **Application Requests.** As part of the Application, the Applicant is requesting approval of a Preliminary and Final Plat that would combine the two existing lots into a new single lot (the "Subdivision" and "Preliminary and Final Plats").
- 1.3 **Property.** The address, property identification number and owner of the parcel comprising the subject property (the "Property") are:

15610 Holdridge Rd E	04-117-22-33-0043	Anna Ovsyannikova and Yengeny Ogranovich
----------------------	-------------------	---

- 1.4 **Land Use Designations.** The Property falls within the following land use districts:

Current zoning:	R-2/Medium Density Single Family Residential
Comp plan designation:	Low Density Single Family

- 1.5 Notice and Public Hearing. Notice of a public hearing on the Application was published in the *Wayzata Sun Sailor* on October, 6, 2016. A copy of the notice was mailed to all property owners located with 350 feet of the Property on October 7, 2016. The required public hearing was held at the October 17, 2016 Planning Commission meeting.

Section 2. STANDARDS

2.1 Subdivision / Preliminary and Final Plat

Review and approval of lot combinations and subdivisions of property are governed by the City's Subdivision Ordinance, Ch. 805 of City Code. The City may agree to review the preliminary and final plat simultaneously. Sec. 805.15.A.

In reviewing such requests, the Planning Commission shall consider possible adverse effects of the preliminary plat. Its judgment shall be based upon, but not limited to, the following factors found in Section 805.14.E:

1. The proposed subdivision or lot combination shall be consistent with the Wayzata Comprehensive Plan.
2. Building pads that result from a subdivision or lot combination shall preserve sensitive areas such as lakes, streams, wetlands, wildlife habitat, trees and vegetation, scenic points, historical locations, or similar community assets.
3. Building pads that result from subdivision or lot combination shall be selected and located with respect to natural topography to minimize filing or grading.
4. Existing stands of significant trees shall be retained where possible. Building pads that result from a subdivision or lot combination shall be sensitively integrated into existing trees.
5. The creation of a lot or lots shall not adversely impact the scale, pattern or character of the City, its neighborhoods, or its commercial areas.
6. The design of a lot, the building pad, and the site layout shall respond to and be reflective of the surrounding lots and neighborhood character.
7. The lot size that results from a subdivision or lot combination shall

not be dissimilar from adjacent lots or lots found in the surrounding neighborhood or commercial area.

8. The architectural appearance, scale, mass, construction materials, proportion and scale of roof line and functional plan of a building proposed on a lot to be divided or combined shall be similar to the characteristics and quality of existing development in the City, a neighborhood or commercial area.
9. The design, scale and massing of buildings proposed on a subdivided or combined lot shall be subject to the architectural guidelines and criteria for the Downtown Architectural District, Commercial and Institutional Architectural Districts, and Residential Architectural Districts and the Design Review Board/City Council review process outline in Section 9 of the Wayzata Zoning Ordinance.
10. The proposed lot layout and building pads shall conform with all performance standards contained herein.
11. The proposed subdivision or lot combination shall not tend to or actually depreciate the values of neighboring properties in the area in which the subdivision or lot combination is proposed.
12. The proposed subdivision or lot combination shall be accommodated with existing public services, primarily related to transportation and utility systems, and will not overburden the City's service capacity.

Section 3. FINDINGS

Based on the Application materials, additional materials submitted by the Applicant, staff reports, public comment and information presented at the public hearing, and the standards of the Wayzata Subdivision Ordinance, the Planning Commission of the City of Wayzata makes the following findings of fact:

3.1 Preliminary / Final Plat. The adverse effects of the proposed Preliminary Plat include:

1. The Subdivision is consistent with the guidance of the Wayzata Comprehensive Plan for the area in which is proposed.
2. The building pad that results from the Subdivision would have negative impacts on sensitive areas of the Property and surrounding neighborhood, including wetlands, trees and vegetation, scenic points and a distinctive wooded area of the neighborhood.

3. The building pad that results from the Subdivision would require significant alteration of natural topography, and require significant filing and grading.
4. Existing stands of significant trees will be lost if the Subdivision is approved, and the building pad that would result from the Subdivision could be more sensitively integrated into existing trees.
5. The Subdivision would adversely impact the scale, pattern or character of the Holdridge neighborhood as noted in this Report.
6. The design of the lot, the building pad, and the site layout reflected in the Preliminary and Final Plat does not respond to and nor is it reflective of the surrounding lots and neighborhood character, which are significantly larger, wooded lots.
7. The lot sizes resulting from the Subdivision are dissimilar from adjacent lots and lots found in the surrounding neighborhood, which average 54,656 sq. ft. within the 350 feet of the Property.
8. The architectural appearance, scale, mass, construction materials, proportion and scale of roof line and functional plan of the building proposed is not similar to the characteristics and quality of existing development in the City and surrounding neighborhood, which are predominantly, lower profile ranch and rambler style homes.
9. The architectural guidelines and criteria in Section 9 of the Wayzata Zoning Ordinance are not applicable to this Application.
10. The proposed lot layout and building pad conforms with all performance standards contained in the Subdivision Ordinance.
11. The Subdivision would not tend to or actually depreciate the values of neighboring properties in the area in which it is proposed.
12. The Subdivision could be accommodated with existing public services, including those related to transportation and utility systems, and would not overburden the City's service capacity.

Section 4. RECOMMENDATION

- 4.1 Planning Commission Recommendation. Based on the findings in section 3 of this Report, the Planning Commission recommends **DENIAL** of the Subdivision and the Preliminary and Final Plat.

Adopted by the Wayzata Planning Commission this 7th day of November 2016.

Voting In Favor:
Voting Against:
Abstaining:



**Planning Report
Wayzata Planning Commission
November 7, 2016**

Project Name: Meyer Place at Ferndale
Applicant: Homestead Partners, LLC
Property Owner: Meyer Properties
Addresses of Request: 105 Lake Street E
Prepared by: Jeff Thomson, Director of Planning and Building
“60 Day” Deadline: December 6, 2016

Development Application

Introduction

The applicant, Homestead Partners, and the property owner, Meyer Properties, have submitted a development application to redevelop the Meyer Brothers Dairy site at 105 Lake Street E. The development application includes demolition of the existing vacant commercial building and construction of a three story building. The building would include up to 21 residential condominium units and 52 underground enclosed parking spaces.

Property Information

The property identification number and owner of the property are as follows:

Address	PID	Owner
105 Lake Street E	06-117-22-23-0034	Meyer Properties

The current zoning and comprehensive plan land use designation for the property are as follows:

Current zoning:	C-4A/Limited Central Business District
Comp plan designation:	Central Business District
Total site area:	45,254 square feet (1.04 acres)

Project Location

The property is located on the northeast corner of the Lake St E/Ferndale Rd S intersection.

Map 1: Project Location



Application Requests

As part of the submitted development application, the applicant is requesting approval of the following items:

- A. Rezoning from C-4A to PUD/Planned Unit Development: The property is currently zoned C-4A, and the applicant is requesting a rezoning to PUD.
- B. Concurrent PUD Concept and General Plan of Development Review: A rezoning to PUD requires both concept and general plan of development review. The applicant is requesting concurrent review of both the concept plan and general plan.
- C. Design Review: Construction of a new building requires design review by City Code Section 801.09.1.5.

Adjacent Land Uses.

The following table outlines the uses, zoning, and Comprehensive Plan land use designations for adjacent properties:

Direction	Adjacent Use	Zoning	Comp Plan Land Use Designation
North	Ferndale Ridge townhomes	PUD/Planned Unit Development	Medium Density Multiple Family
East	Wayzata Bay Car	C-4A/Limited	Central Business District

	Wash	Central Business District	
South	TCF office building	PUD/Planned Unit Development	Central Business District
West	Office building	PUD/Planned Unit Development	Central Business District

Public Hearing Notice

The public hearing notice was published in the *Wayzata Sun Sailor* on October 27, 2016. The public hearing notice was also mailed to all property owners located within 350 feet of the subject property on October 28, 2016.

Analysis of Application

Comprehensive Plan

The Comprehensive Plan land use designation for the subject property is Central Business District. The objective of the Central Business District land use category is to promote a diversity of retail, office, service, and residential land uses at a high level of development quality to enhance it as a regional destination. The Comprehensive Plan includes the follow “1st Tier” priorities for the Central Business District:

- Allow a mix of commercial, office, and residential uses that strengthen the CBD as the shopping, employment, and entertainment destination of Wayzata.
- Update development standards continually to assure the highest development quality possible for the Central Business District.
- Complement the CBD and its strong sense of place through land use choices, urban design principles, traffic, parking, and architectural style.
- Investigate strategies to increase retail vitality throughout the CBD.
- Define and evaluate on-street/off-street parking needs consistent with land use, and requirements within the CBD so as to emphasize circulation ease and access control.
- Continue to provide a safe, comfortable, and attractive pedestrian scale environment through the enhancement of the pedestrian circulation system by improving sidewalks, walkways and street furniture; mitigating conflicts with traffic and street intersections, and by providing proper demarcation and sign control.
- Enhance the image and identity of the CBD by emphasizing street trees and landscaping elements.

- Plan for an orderly transition between the CBD development and adjacent residential neighborhoods.
- Accommodate traffic without negatively compromising the integrity of the downtown and its adjacent neighborhoods.
- Consider complementing abutting edges, both residential and retail/commercial.
- Consider public financial support that is fiscally responsible and provides value to the City's infrastructure and community systems.
- Consider ways to assist with redevelopment when properties become a liability to the community.
- Commercial buildings on Lake Street, west of Barry Avenue, should not be required to have a first floor retail use, although it is allowed and encouraged. Transparency requirements under the Lake Street District of the Design Standards remain in effect.
- Identify ecological and water quality impacts on the lake and other water bodies caused by proposed land use developments, for example stormwater runoff, and work to mitigate these impacts.

In addition, the Comprehensive Plan includes the following “2nd Tier” priorities:

- Plan development of parking so that it is not a focal point but rather placed behind buildings with appropriate buffers and landscaping.
- Adjust City's Zoning Ordinance to address concerns of sun-orientation on southern side of Lake Street by requiring upper story setbacks for all new construction to avoid shading the north side of Lake Street.
- Continue to evaluate ways to encourage a variety of housing options for upper-story housing.
- Consider 3rd story' uses with appropriate considerations for design and scale. Commercial and residential uses are allowed as a third story, but the third story must be set back significantly more from the front facade of the floor below.

Zoning

The Property is currently zoned C-4A/Limited Central Business District, and is located within the Shoreland Overlay district. The following table outlines the zoning standards for the C-4A, PUD, and Shoreland Overlay districts:

	C-4A Zoning	PUD Zoning	Shoreland Overlay	Proposed PUD
--	-------------	------------	-------------------	--------------

			District	
Height	2 stories and 30 feet, whichever is less	3 stories and 35 feet, whichever is less	35 feet	35 feet
Floor Area Ratio	2.0	No maximum	N/A	1.4
Impervious Surface	No maximum	No maximum	25% 75% with stormwater management 100% with shoreland impact plan/CUP	70.4%
Setbacks	North: 20 ft. East: 0 ft. South: 0 ft. West: 0 ft.	Same as imposed by zoning district	N/A	North: 20 ft. East: 10 ft. South: 5 ft. West: 5 ft.

The proposed project deviates from two of the requirements of the C-4A zoning district. Specifically, the C-4A district has a maximum building height requirement of 30 feet or 2 stories, whichever is less. In addition, the C-4A district requires that at least 50 percent of the building frontage on the Lake Street ground level must be used for retail or service commercial uses, and new buildings on Lake Street must be developed with more than one of the following uses: retail, service, residential, and office. The applicant has requested a rezoning to PUD for two reasons. The first reason is to allow for a taller building than is permitted in the C-4A zoning district. The second reason is that the proposed building would be 100 percent residential use, and would not meet the retail, service, and mixed use requirements of the C-4A zoning district.

The PUD zoning district is an ordinance that can be used to allow for greater flexibility in development by incorporating design modifications from the strict application of the standard zoning district requirements. The PUD zoning district allows modifications of the strict standards for projects that meet a specific purpose, as outlined in “Applicable Code Provisions” section of this report. In addition, the PUD zoning district establishes general standards for a PUD, which are also outlined below.

Design Review

The project is subject to the design standards for the Lake Street design district. A design review critique of the proposed plans is included as [Attachment B](#). The proposed project does not meet several of the design standards. The following summarizes the items that do not meet the design standards. The detailed information is included in the design review critique:

- Building recession: The third level of the proposed building is fully recessed from the lower levels of the building. The third floor would be stepped back between 10 and 18 feet along both Ferndale Rd and Lake St, as required by the design standards. However, the design standards require that the second story be

recessed for 25 percent of the façade length, and the proposed second story is not recessed from the first level.

- Façade Transparency: The proposed building is comprised of 47% glass on the ground level along Lake Street, which is slightly less than the 50% requirement of the design standards.
- Ferndale sidewalk: The proposed site plan includes a 12-foot wide sidewalk along Lake Street that would meet the design standards and the City's Lake Street sidewalk specifications. However, the Ferndale Road streetscape includes a 6-foot wide concrete sidewalk. The design standards require a sidewalk of at least 12 feet in width of exposes aggregate surface along all street frontages. There is not currently a sidewalk along either side of Ferndale Road that the proposed sidewalk could connect to. However, the Ferndale Road sidewalk would still require a deviation from the design standard.
- Building Materials: The non-glass surfaces of the building are primarily comprised of brick, stone, wood, and cast stone. The south and north elevations would be comprised of more than 90% of these materials. The accent materials include cement fiber board. However, the amount of cement fiber board on the east and west elevations exceed 10%, which is a requirement of the design standards. The applicant is proposing using cement fiber board around some of the windows in lieu of stucco, which is a permitted primary building material.
- Roof color: The proposed building would have a flat roof which would be comprised of a tan colored membrane. The tan color would not meet the design standards which require a dark colored flat roof.

Parking

The City's parking ordinance establishes the minimum number of parking stalls that must be provided in a development. For a multiple family development, the parking ordinance requires a minimum of two fee-free spaces for each dwelling unit, of which one must be enclosed. The proposed building consists of up to 21 dwelling units and 52 enclosed parking spaces within an underground parking garage. The proposed project provides 2.5 stalls per dwelling unit, which meets the requirements of the City's parking ordinance.

Site Access and Circulation

The proposed site plan includes one driveway access on the east side of the site from Lake Street. The driveway would provide access to the underground parking garage entrance, which would be located along the front of the building.

Public Comments

City staff sent public hearing notices to 210 surrounding property owners, and we received several email correspondence on the project, which are included in the attachments.

Applicable Code Provisions for Review

Amendments to Zoning Ordinance (Section 801.03.2.F): City Council has the discretion and authority under state law and City Code to amend the City's Zoning Ordinance. Minn. Stat. Section 462.357; Wayzata City Code Section 801.03. A zoning ordinance amendment may be initiated by the governing body, the planning agency or by petition of affected property owners. Minn. Stat. Section 462.357, Subd. 4. In considering a proposed amendment to the Zoning Ordinance, the Planning Commission and City Council shall consider the possible adverse effects of the proposed amendment. Its judgment shall be based upon (but not limited to) the following factors:

- A. The proposed action in relation to the specific policies and provisions of the official City Comprehensive Plan.
- B. The proposed use's conformity with present and future land uses of the area.
- C. The proposed use's conformity with all performance standards contained herein (i.e., parking, loading, noise, etc.).
- D. The proposed use's effect on the area in which it is proposed.
- E. The proposed use's impact upon property value in the area in which it is proposed.
- F. Traffic generation by the proposed use in relation to capabilities of streets serving the property.
- G. The proposed use's impact upon existing public services and facilities including parks, schools, streets, and utilities, and the City's service capacity.

Purpose of PUDs: Section 801.33 of the Zoning Ordinance provides for the establishment of Planned Unit Developments to allow greater flexibility in the development of neighborhoods and/or non-residential areas by incorporating design modifications as part of a PUD conditional use permit or a mixture of uses when applied to a PUD District. The PUD process, by allowing deviation from the strict provisions of the Zoning Ordinance related to setbacks, lot area, width and depth, yards, etc., is intended to encourage:

- A. Innovations in development to the end that the growing demands for all styles of economic expansion may be met by greater variety in type, design, and placement of structures and by the conservation and more efficient use of land in such developments.

- B. Higher standards of site and building design through the use of trained and experienced land planners, architects, landscape architects, and engineers.
- C. More convenience in location and design of development and service facilities.
- D. The preservation and enhancement of desirable site characteristics such as natural topography and geologic features and the prevention of soil erosion.
- E. A creative use of land and related physical development which allows a phased and orderly development and use pattern.
- F. An efficient use of land resulting in smaller networks of utilities and streets thereby lower development costs and public investments.
- G. A development pattern in harmony with the objectives of the Wayzata Comprehensive Plan. (PUD is not intended as a means to vary applicable planning and zoning principles.)
- H. A more desirable and creative environment than might be possible through the strict application on zoning and subdivision regulations of the City.

PUD General Standards. Section 801.33.2.A sets forth the general standards for review of a PUD application. These are:

- A. Health Safety and Welfare. In reviewing the PUD application, the Council shall evaluate the effects of the proposed project upon the health, safety and welfare of residents of the community and the surrounding area.
- B. Intent and Purpose of PUDs. In reviewing the PUD application, the Council shall evaluate the project's conformance with the overall intent and purpose of Section 33 of the Zoning Ordinance.
- C. Ownership. Applicant/s must own all of the property to be included in the PUD.
- D. Comprehensive Plan. The PUD project must be consistent with the City's Comprehensive Plan.
- E. Sanitary Sewer Plan. The PUD project must be consistent with the City's Sanitary Sewer Plan.
- F. Common Space. The PUD project must provide common private or public open space and facilities at least sufficient enough to meet the minimum

- requirements established in the Comprehensive Plan, and contain provisions to assure the continued operation and maintenance of such.
- G. Density. The PUD project must meet the density standards agreed upon by the applicant and City, which must be consistent with the Comprehensive Plan.
 - H. Utilities. All utilities associated with the PUD must be installed underground and meet the utility connection requirements of Section 801.33.2.A.10.
 - I. Roadways. All roadways associated with the PUD must conform to the Design Standards and Wayzata Subdivision Regulations, unless otherwise approved by City Council.
 - J. Landscaping. All landscaping associated with the PUD must be according to a detailed plan approved by the City Council. In assessing the plan, the City Council shall consider the natural features of the particular site, the architectural characteristics of the proposed structure and the overall scheme of the PUD plan.
 - K. Setbacks. The front, rear and side yard restrictions on the periphery of the PUD shall be the same as imposed in the respective districts.

Concurrent PUD Plan – 801.33.5. In cases of single stage PUDs or for projects of limited size and scope, the applicant may, at the discretion of the Zoning Administrator, submit the General Plan of Development for the proposed PUD simultaneously with the submission of a Concept Plan. The applicant shall comply with all provisions of this section applicable to submission of General Plan of Development. The Planning Commission and City Council shall consider such plans simultaneously and shall grant or deny a General Plan of Development in accordance with the provisions of Section 801.33.6 hereof.

Design Standards City Code §801.09: The design standards set forth in Section 9 of the Wayzata City Zoning Ordinance are referred to collectively as the “Design Standards” or the “Standards”. The purpose of the Design Standards is to shape the City’s physical form and to promote the quality, character and compatibility of new development in the City. The Standards function to:

- A. To guide the expansion and renovation of existing structures and the construction of new buildings and parking, within the commercial districts of the City;
- B. To assist the City in reviewing development proposals;

- C. To improve the City's public spaces including its streets, sidewalks, walkways, streetscape, and landscape treatments.

Deviations from the Design Standards (City Code 801.09.21): A deviation from any section of the Design Standards shall require a finding by the City Council (after considering the Planning Commission's recommendation) that the negative impact of such deviation is outweighed by one or more of the following factors:

- A. The extent to which the project advances specific policies and provisions of the City's Comprehensive Plan.
- B. The extent to which the deviation permits greater conformity with other Standards, policies behind the Standards, or with other Zoning Ordinance standards.
- C. The positive effect of the project on the area in which the project is proposed.
- D. The alleviation of an undue burden, taking into account current leasing, housing and commercial conditions.
- E. The accommodation of future possible uses contemplated by the Design Standards, the Zoning Ordinance or the Comprehensive Plan.
- F. A national, state or local historic designation.
- G. The project is the remodeling of an existing building which largely otherwise conforms to the Design Standards.

Action Steps

After considering the items outlined in this report, the Planning Commission should hold the public hearing, and direct staff to prepare a *Planning Commission Report and Recommendation*, with appropriate findings, reflecting a recommendation on the application for review and adoption at the next Planning Commission meeting.

Attachments

- Attachment A: Narrative and Plans
- Attachment B: Design Review Critique
- Attachment C: Public Comments

WHITTEN ASSOCIATES, INC.

Monday, October 10, 2016

Jeff Thomson
City of Wayzata
600 Rice Street East
Wayzata, MN 55391

RE: Meyer Place on Ferndale

Subject: Application Submittal for PUD General Plan of Development.

Dear Jeff,

Attached is our application for the proposed Meyer Place on Ferndale Condo Building. Whitten Associates is the project Architect and along with Tom Bakritges Director of Land Development for Homestead Partners will be advancing the application through the City Meeting Process.

The site is located at 105 Lake Street East and owned by Meyer Properties.

This application requests a Rezoning to Planned Unit Development: General Plan of Development.

Since Meyer Place was last presented to the City Council the overall proposal has been scaled down with a new Architectural style. Our goal is create a positive response to the input we received from the City Leadership and neighbors:

Key differences from the previous application include:

- Reduction of the building mass by more than 20%.

- Reduction of the Condo units from 23 to a range of 18-21.

- Remove the roof top patio to reduce the height of the stair towers and elevator.

- Introduction of 'garden areas' separating building elements to visually break up the elevation along Lake Street.

- A 'Prairie Style' Architecture that has a historical connection with Wayzata and Meyer Dairy for a more residential look with 'four sided' Architecture.

- A 'step back' the third level on all elevations.

- No guest parking on the north side.

- Space at the corner of Lake Street and Ferndale dedicated for 'public benefit' TBD.

WHITTEN ASSOCIATES, INC.

In compliance with the City procedures for "General Plan of Development submitted for a PUD" we have included the below listed information for your review and approval:

1) General Information

a. Landowner:

Meyer Properties, 823 Copeland Road, Maple Plain MN 55359

b. Applicant Name:

Homestead Partners; 525 15th Ave S, Hopkins, MN 55343

c. Land Planner/Project Architect:

Whitten Associates, Inc. 4159 Heatherton Place Minnetonka, MN 55435

d. Engineer & Surveyor:

Sathre-Bergquist, Inc.; 150 South Broadway Avenue, Wayzata, MN 55391

e. Evidence of property ownership

See attached copy of Title Insurance for Property

2) Present Status

a. Address & Legal Description of Property:

105 Lake Street East

b. Existing Zoning Classification:

The existing zoning is C-4A, Limited Central Business District.. This application requests a rezoning to Planned Unit Development General Plan of Development.

c. Map of Adjacent Properties:

See attached documents from Whitten Associates exhibits.

3) A written statement generally describing the proposed PUD

a. See the introduction of this letter.

4) Site Conditions

a. See attached Survey from Sathre-Bergquist Engineering.

b. Soil Conditions Reports on file at the City.

5) Schematic Drawings

a. See attached documents from Whitten Associates

6) A Statement of the total estimated number of dwelling units or Square Footage

a. Site Area is identified on Survey from Sathre-Bergquist Engineering.

b. Building Areas & SF are identified on Whitten Associates Plans

7) Schedule for Development

a. 10/07/16 City Application Submittal (PUD-General)

b. 11/07/16/16 Planning Commission Meeting #1 (General-PUD) Public Hearing

c. 11/21/16 Planning Commission Meeting #2 (General-PUD)

d. 12/06/16 City Council Meeting (General-PUD)

e. 12/20/16 Final City Approvals & Construction Documents

f. Building Permit Issuance: Feb. / March 2017

g. Estimated Building Completion and Occupancy: December 2017

WHITTEN ASSOCIATES, INC.

8) Public or Common Space

- a. Public Space is included at the corner of Lake Street and Ferndale.

9) Project Restrictive Covenants

- a. The Condo living units will be part of a homeowners association which will be developed as part of our project documents and recorded prior to first occupancy.

10) Schematic Utility Plans

- a. See attached Site Plan from Sathre-Bergquist Engineering.

11) Additional information:

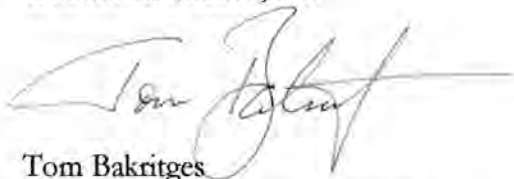
- a. Civil plans including: Existing Conditions, Site Plan, Grading & Erosion Control, Utility Plan and Construction Details; see Sathre-Bergquist Engineering documents.
- b. Landscape Plan; see Sathre-Bergquist Engineering documents.
- d. Stormwater Management; see Sathre-Bergquist Engineering documents.

Thank you for your consideration and please let us know if there is anything else you need to accompany this application.

Sincerely,



Timothy Whitten
Whitten Associates, Inc.



Tom Bakritges
Director of Land Development
Homestead Partners, LLC

MEYER PLACE, WAYZATA, MN

A-00	Cover Sheet
A-01	Site Plan
A-02	Lower Level Floor Plan
A-03	First Level Floor Plan
A-04	Second Level Floor Plan
A-05	Third Level Floor Plan
A-06	Roof Level
A-10	A Unit Enlarged Plan
A-11	B Unit Enlarged Plan
A-12	C Unit Enlarged Plan
A-13	D Unit Enlarged Plan
A-14	E & F Unit Enlarged Plans
A-15	G Unit Enlarged Plan
A-16	H & I Unit Enlarged Plan
A-17	Common Area Enlarged Plan
A-20	Section
A-21	South & North Elevations
A-22	West & East Elevations
A-30	3D View from Lake St and Ferndale
A-31	3D View from the Northwest
A-32	3D View from the Northeast
A-33	3D View from the Southeast
A-34	3D View from the South
A-35	Garden View
A-36	Public Feature View
A-40	Neighborhood Study
A-41	Neighborhood Study
A-42	Shadow Study
A-43	Setback Exhibit



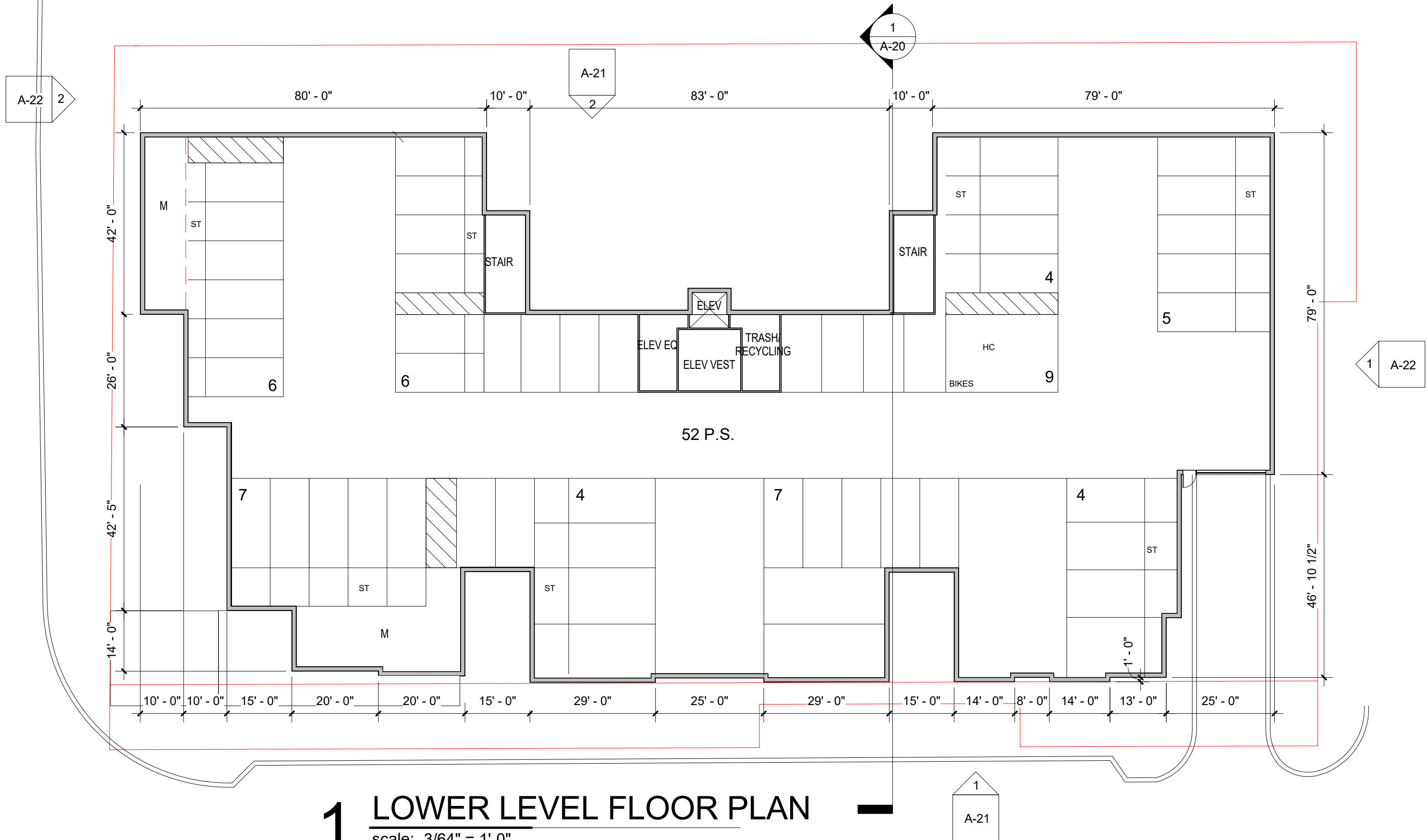
3 NOV 2016



1 Site Plan

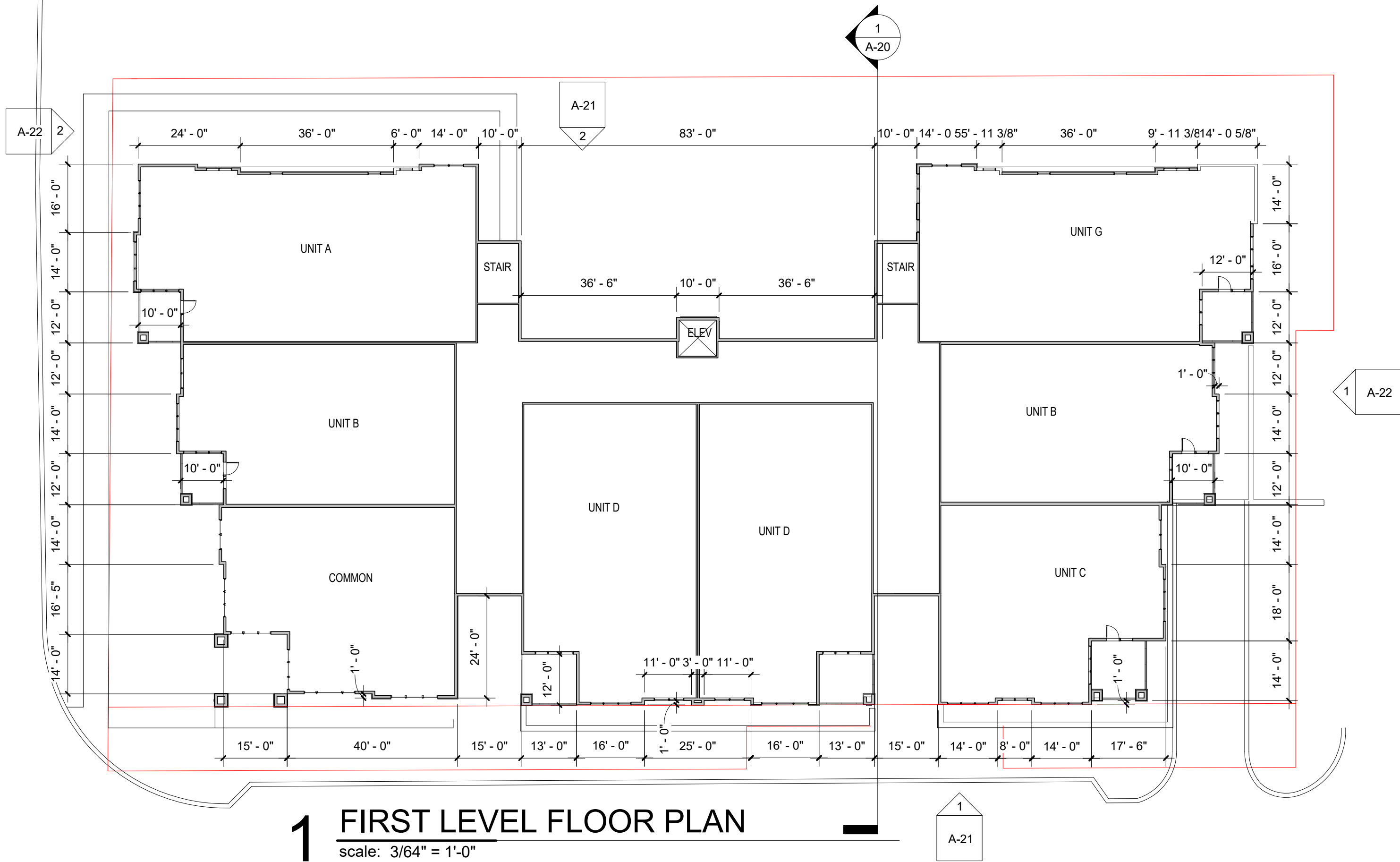
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1 LOWER LEVEL FLOOR PLAN
scale: 3/64" = 1'-0"

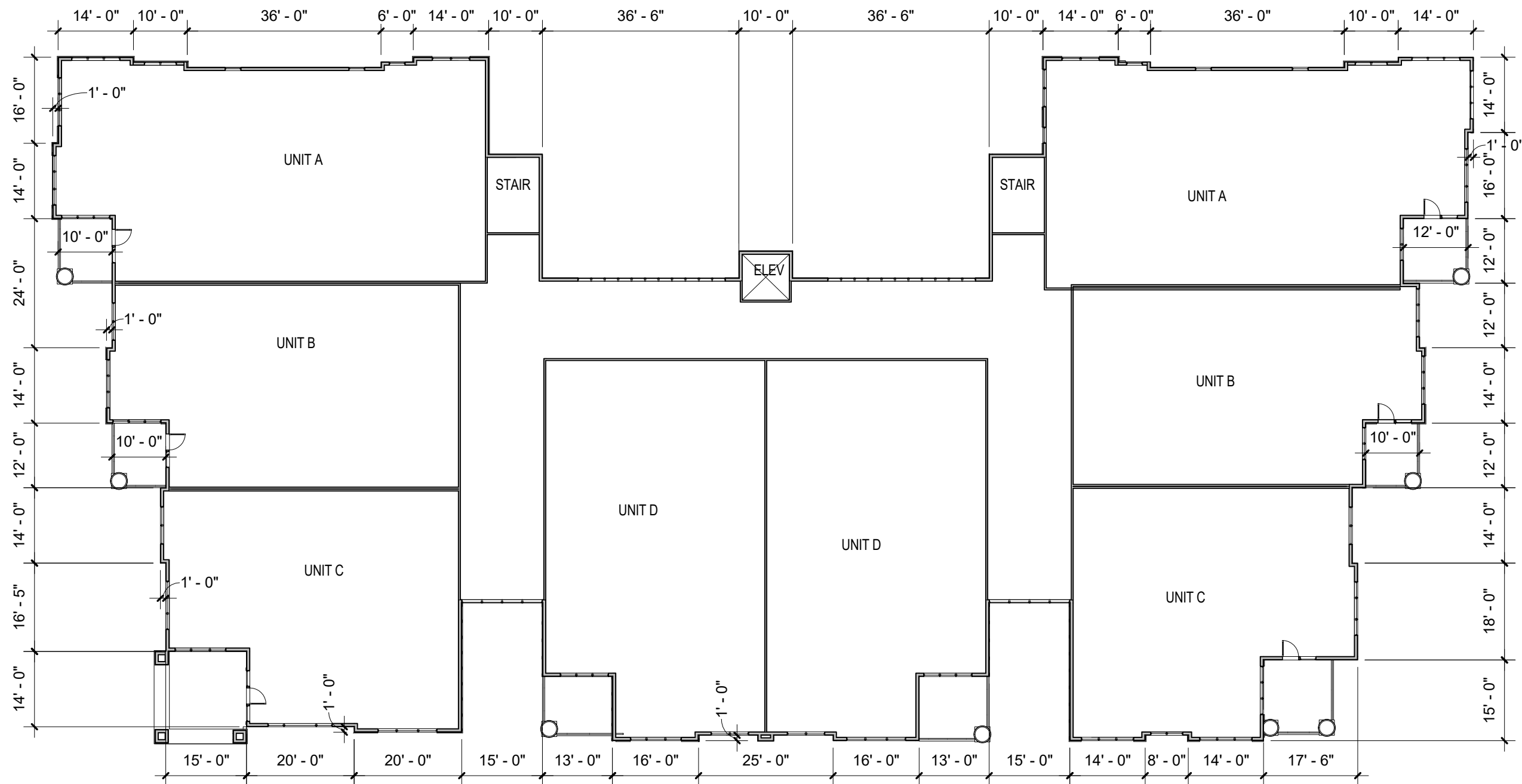
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SECOND LEVEL FLOOR PLAN

scale: 3/64" = 1'-0"

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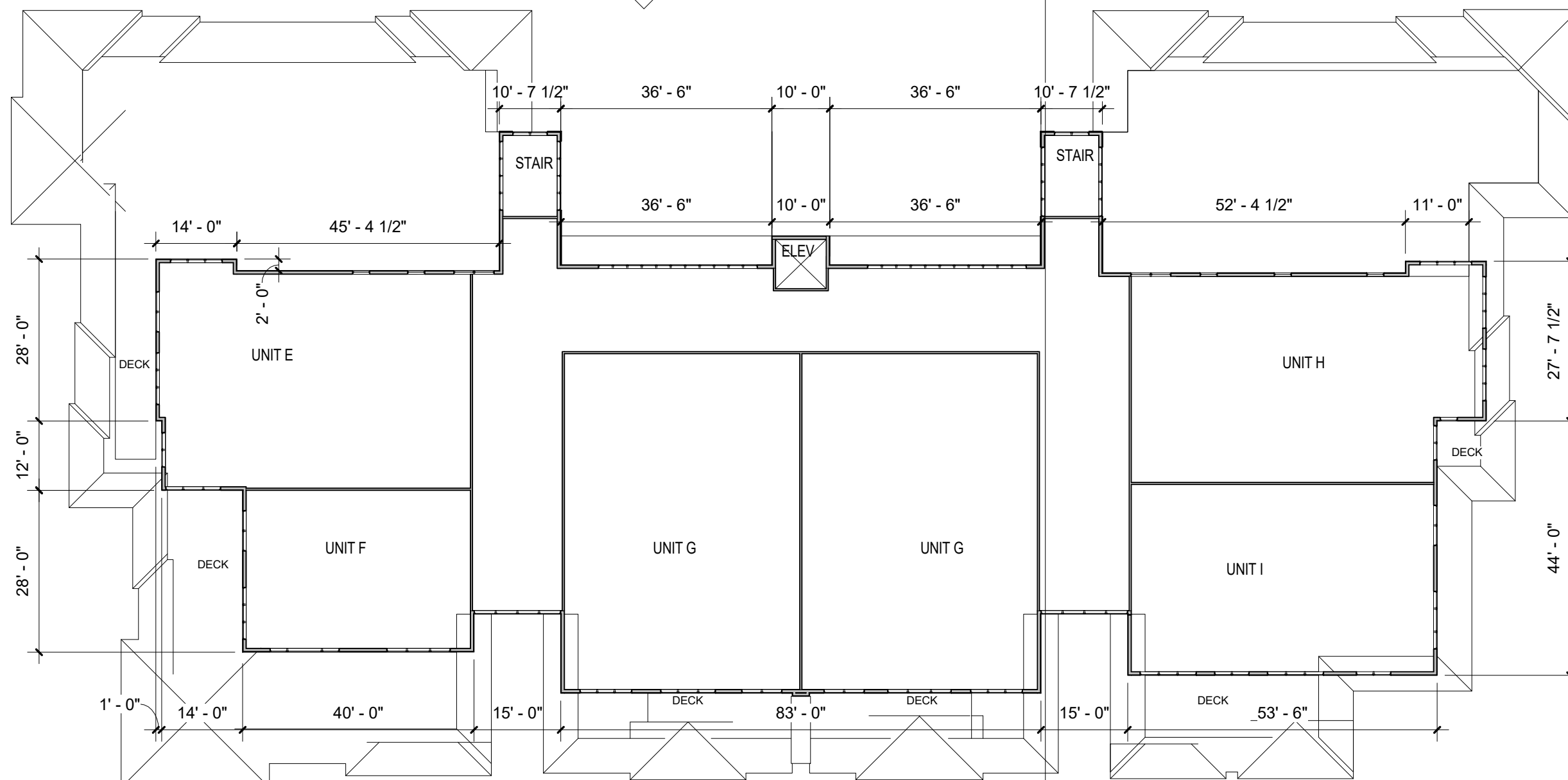
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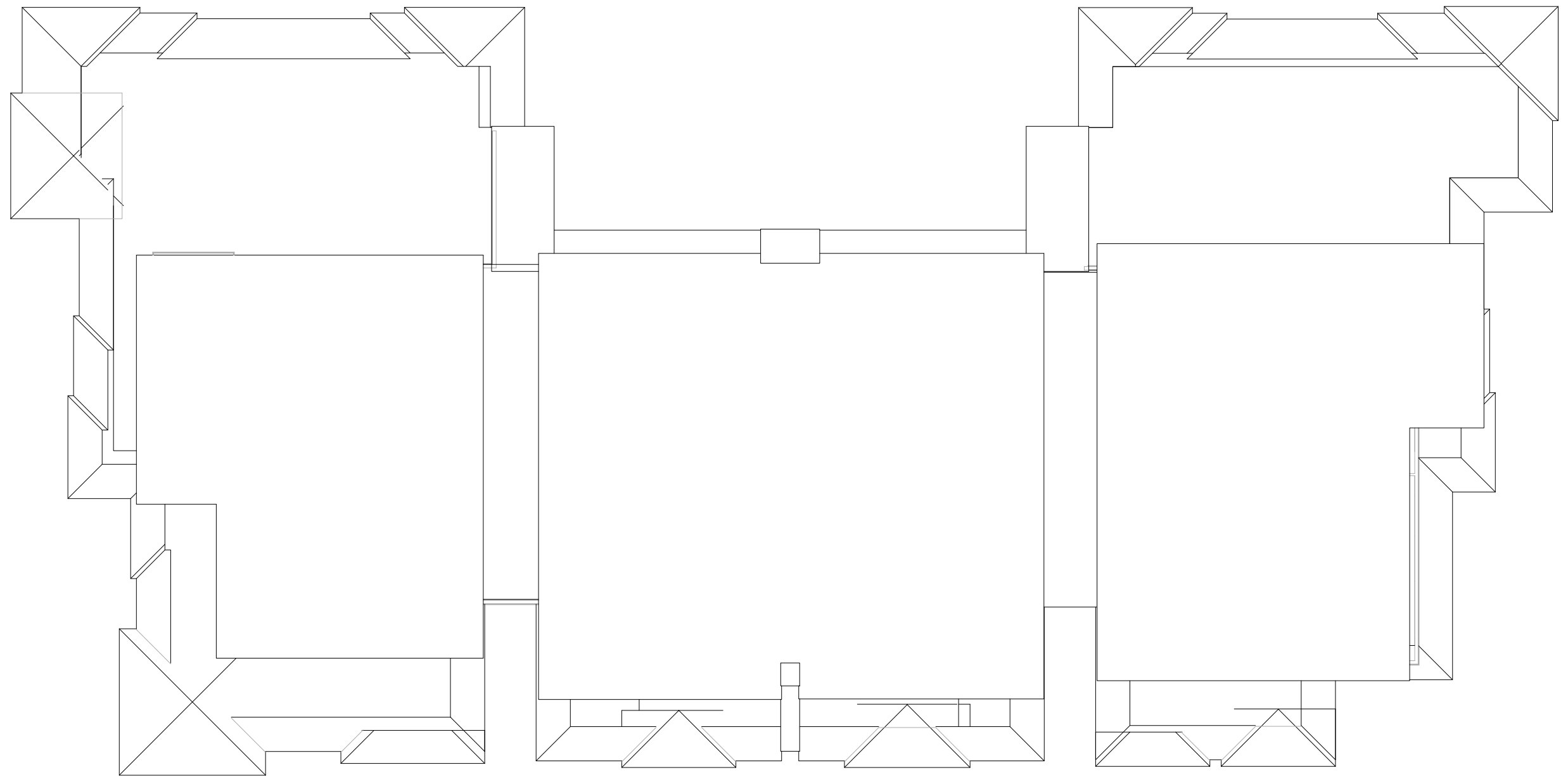
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1 THIRD LEVEL FLOOR PLAN

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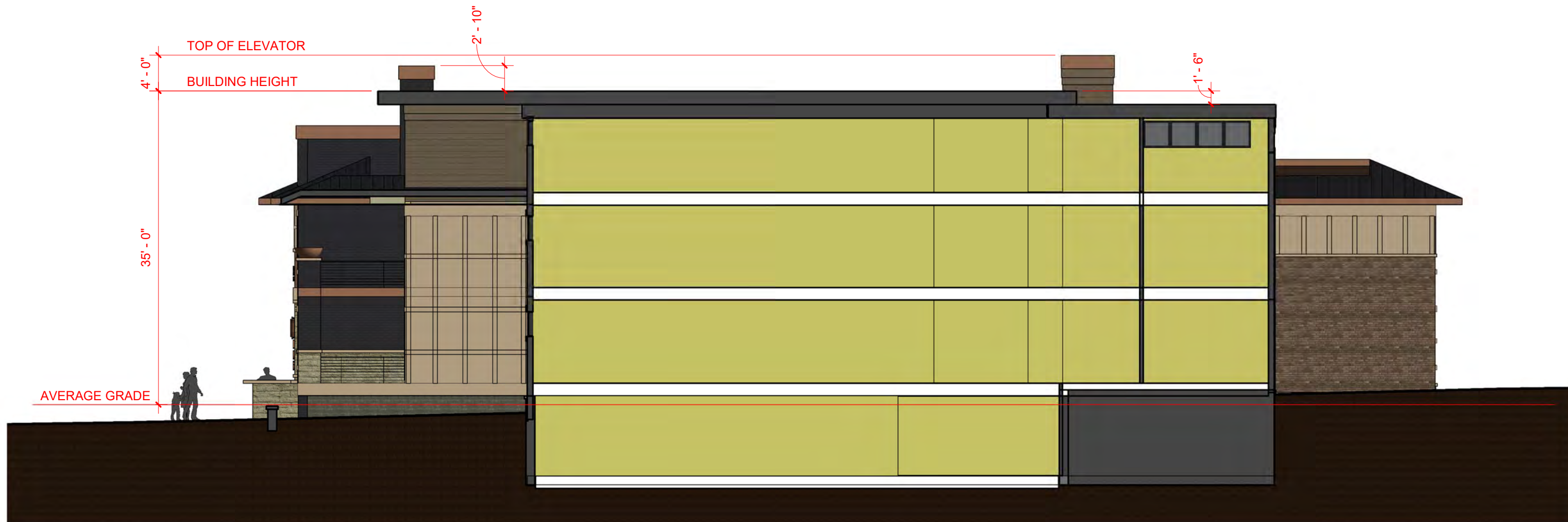
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1 **ROOF LEVEL**
scale: 3/64" = 1'-0"

3 NOV 2016



1 Building Section

scale: 3/32" = 1'-0"

3 NOV 2016

JMS CUSTOM HOMES

MEYER PLACE ON FERNDALE

WHITTEN ASSOCIATES, INC.

MATERIAL CALCULATIONS

STONE	18%
PRECAST	9%
BRICK	35%
CEMENT BD	9%
WOOD	30%

MAIN LEVEL

WINDOWS/DOORS	43%
W/D NO RECESSES	47%

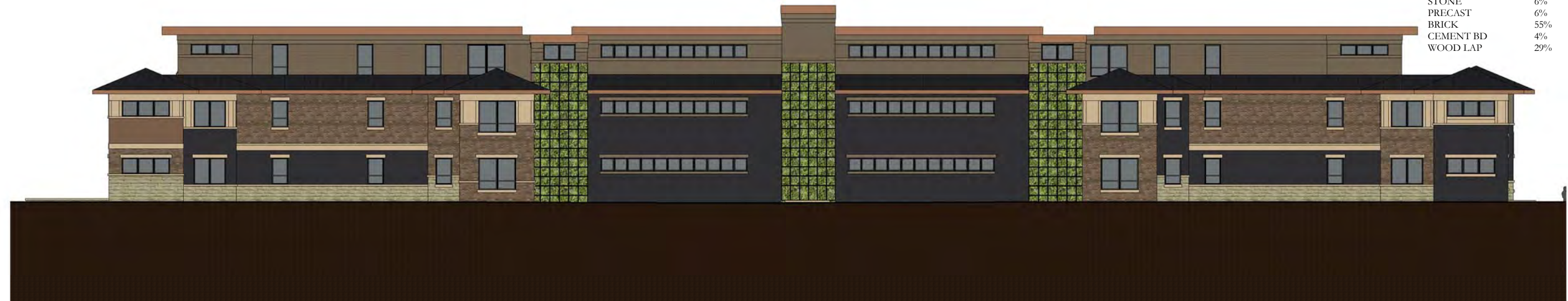


1 SOUTH ELEVATION

scale: 1" = 20'-0"

MATERIAL CALCULATIONS

STONE	6%
PRECAST	6%
BRICK	55%
CEMENT BD	4%
WOOD LAP	29%



2 NORTH ELEVATION

scale: 1" = 20'-0"

3 NOV 2016

MATERIAL CALCULATIONS

STONE	18%
PRECAST	9%
BRICK	35%
CEMENT BD	9%
WOOD	30%

MAIN LEVEL

WINDOWS/DOORS	43%
W/D NO RECESSES	47%



1 SOUTH ELEVATION

scale: 1" = 20'-0"



MATERIAL CALCULATIONS

STONE	6%
PRECAST	6%
BRICK	55%
CEMENT BD	4%
WOOD LAP	29%

2 NORTH ELEVATION

scale: 1" = 20'-0"

3 NOV 2016

MAIN LEVEL INCLUDES A MINIMUM OF 35% GLASS. THE GLASS WILL NOT BE MIRRORED, REFLECTIVE OR DARKENED BUT WILL HAVE A SLIGHT GREY TINT.

A MINIMUM OF 80% OF ALL EXTERIOR ELEVATIONS WILL BE BRICK, STONE, WOOD.

THE BRICK IS TO BE DARK CHARCOAL OR TAN WITH CONCAVE MORTAR NO LARGER THAN 1/4".

CORNICES AND DECK COLUMNS ARE TO BE FIBER CEMENT BOARD BUT NO GREATER THAN 20% OF THE NON-GLASS SURFACES.

LINTELS AND SILLS ARE TO BE PRECAST STONE.

FLASHING AT PARAPETS AND ROOF EDGES ARE TO BE .032" PAINTED ALUMINUM WITH A MAXIMUM EXPOSED EDGE OF 5".

TRELLISES ARE TO BE BLACK METAL.

DECK RAILINGS ARE TO BE BLACK METAL WITH CABLE RAILING.

ROOF MEMBRANE COLOR TO BE TAN.



1 EAST ELEVATION

scale: 1/16" = 1'-0"



3 SIGNAGE DETAIL

scale: 1/4" = 1'-0"



2 WEST ELEVATION

scale: 1/16" = 1'-0"

3 NOV 2016

MAIN LEVEL INCLUDES A MINIMUM OF 35% GLASS. THE GLASS WILL NOT BE MIRRORED, REFLECTIVE OR DARKENED BUT WILL HAVE A SLIGHT GREY TINT.

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ROOF MEMBRANE COLOR TO BE TAN.



1 EAST ELEVATION

scale: 1/16" = 1'-0"



3 SIGNAGE DETAIL

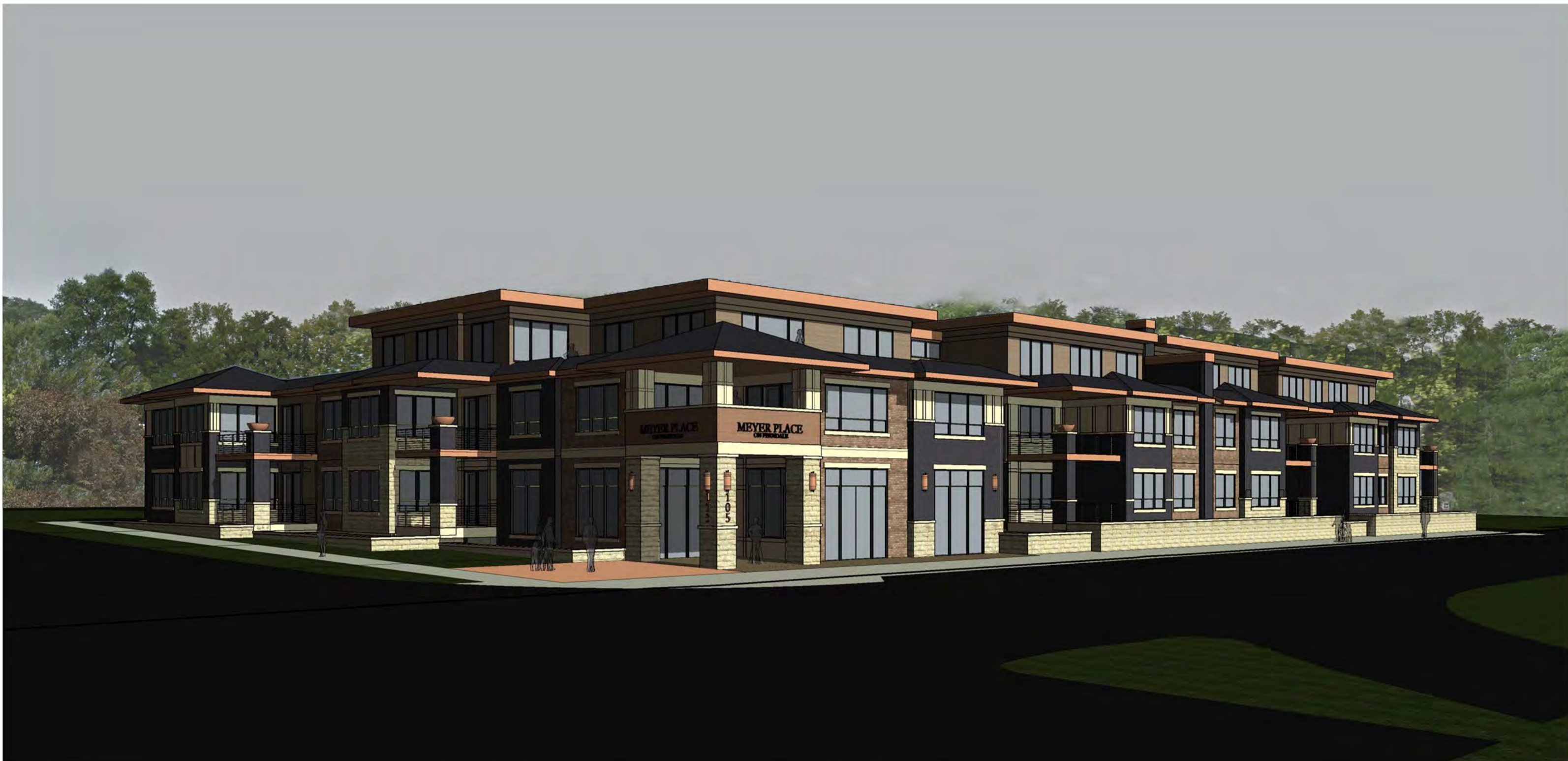
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2 WEST ELEVATION

scale: 1/16" = 1'-0"

3 NOV 2016



1 3D View from Lake St and Ferndale
scale:

20 OCT 2016

JMS CUSTOM HOMES

MEYER PLACE ON FERNDAL

WHITTEN ASSOCIATES, INC.



1 3D View from Lake St and Ferndale
scale:

20 OCT 2016

JMS CUSTOM HOMES

MEYER PLACE ON FERNDALE

WHITTEN ASSOCIATES, INC.



1 3D View from the Northwest
scale:

20 OCT 2016



1 3D View from the Northwest
scale:

20 OCT 2016



1 3D View from the Northeast
scale:

20 OCT 2016

JMS CUSTOM HOMES

MEYER PLACE ON FERNDALE

WHITTEN ASSOCIATES, INC.



1 3D View from the Northeast
scale:

20 OCT 2016

JMS CUSTOM HOMES

MEYER PLACE ON FERNDALE

WHITTEN ASSOCIATES, INC.



1 View from the Southeast
scale:

20 OCT 2016

JMS CUSTOM HOMES

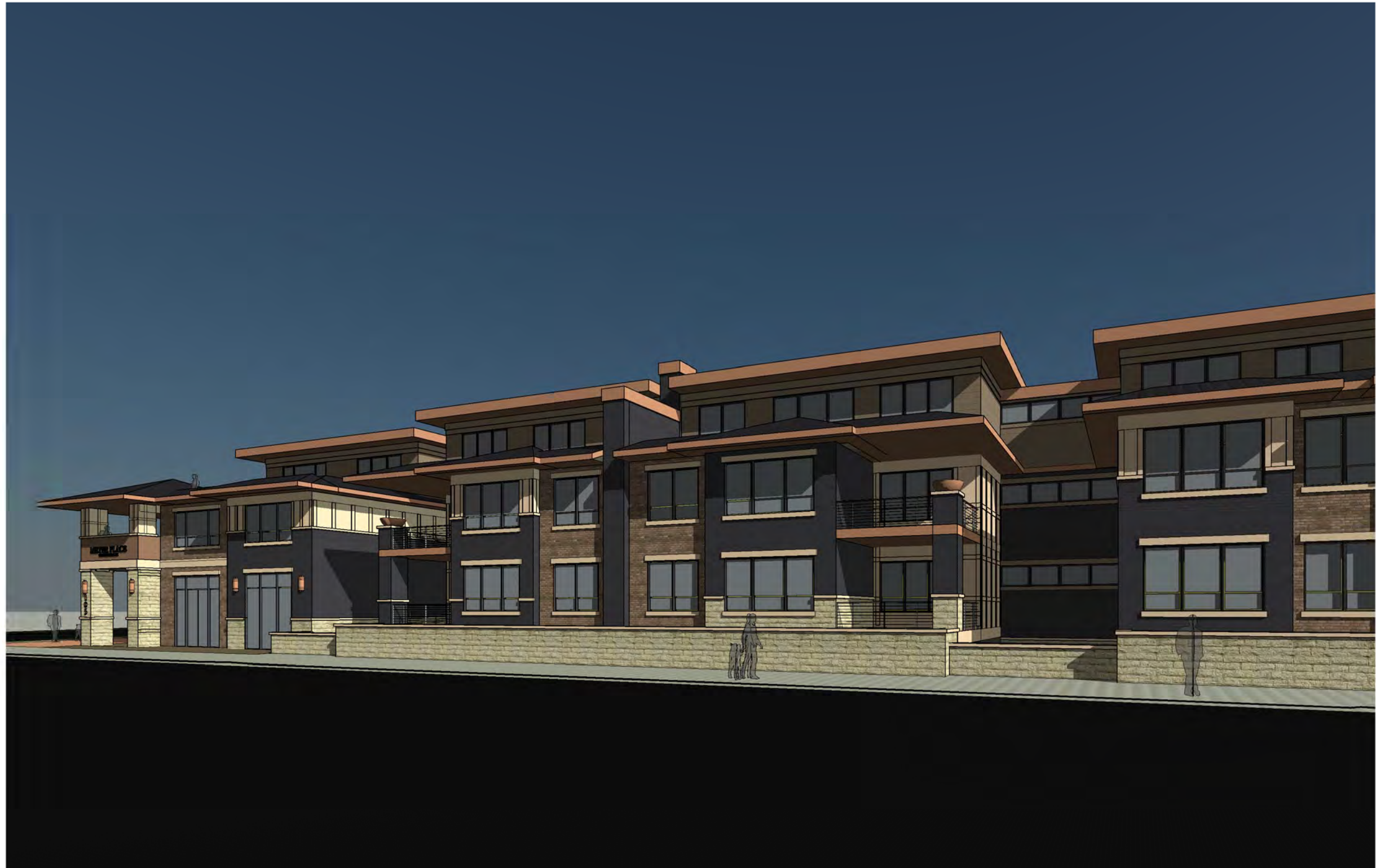
MEYER PLACE ON FERNDALE

WHITTEN ASSOCIATES, INC.



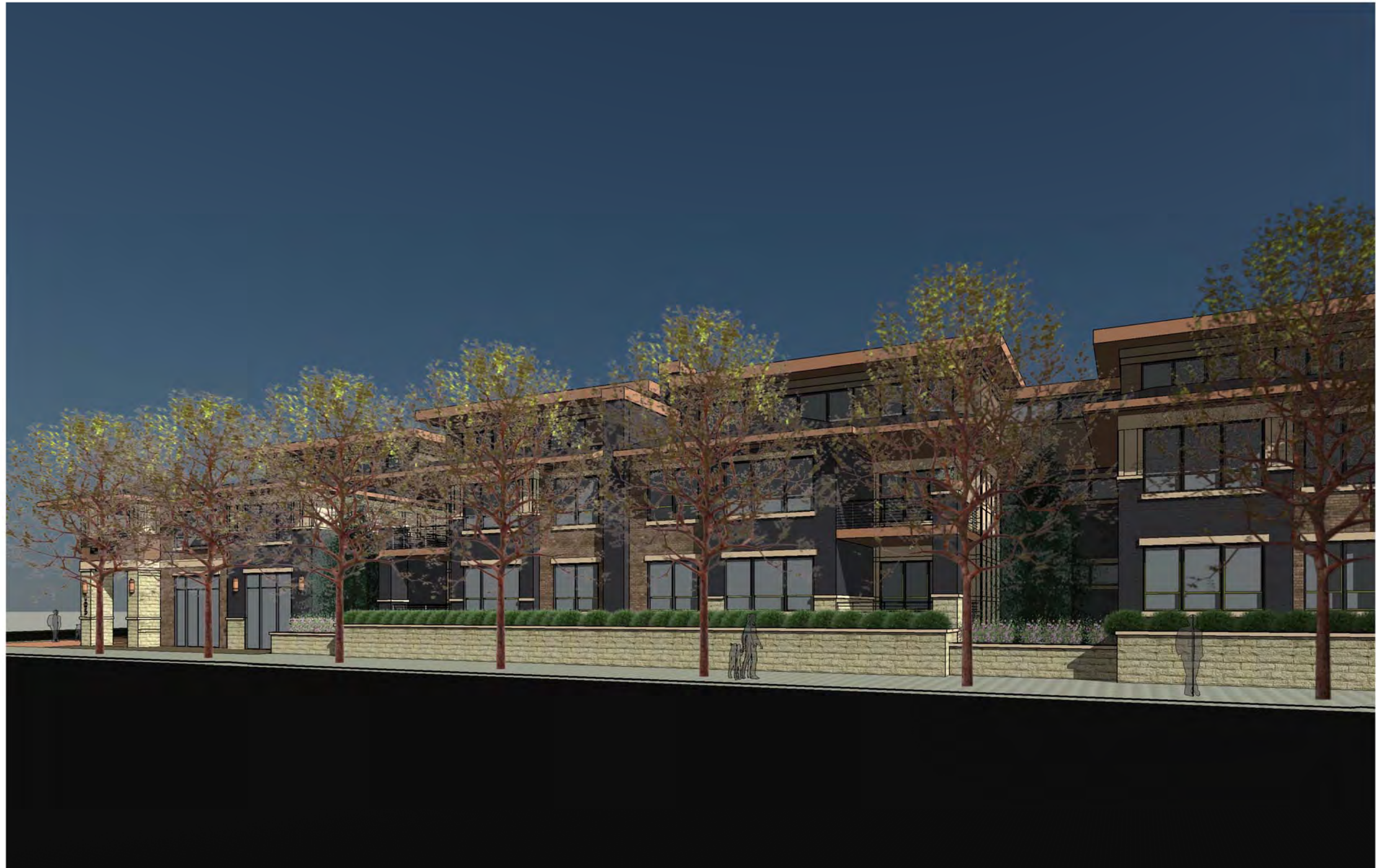
1 View from the Southeast
scale:

20 OCT 2016



1 3D View from the South
scale:

20 OCT 2016



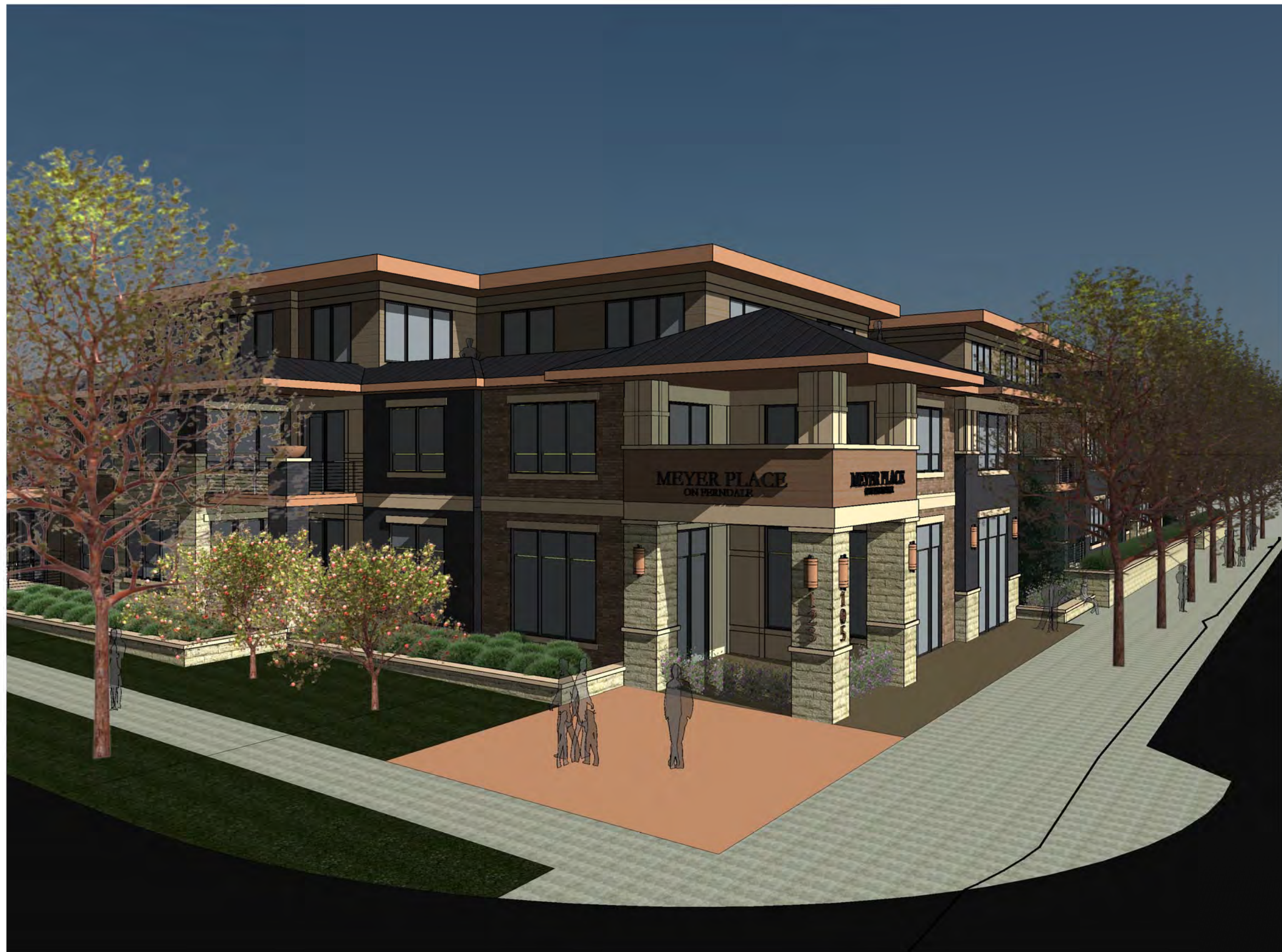
1 3D View from the South
scale:

20 OCT 2016



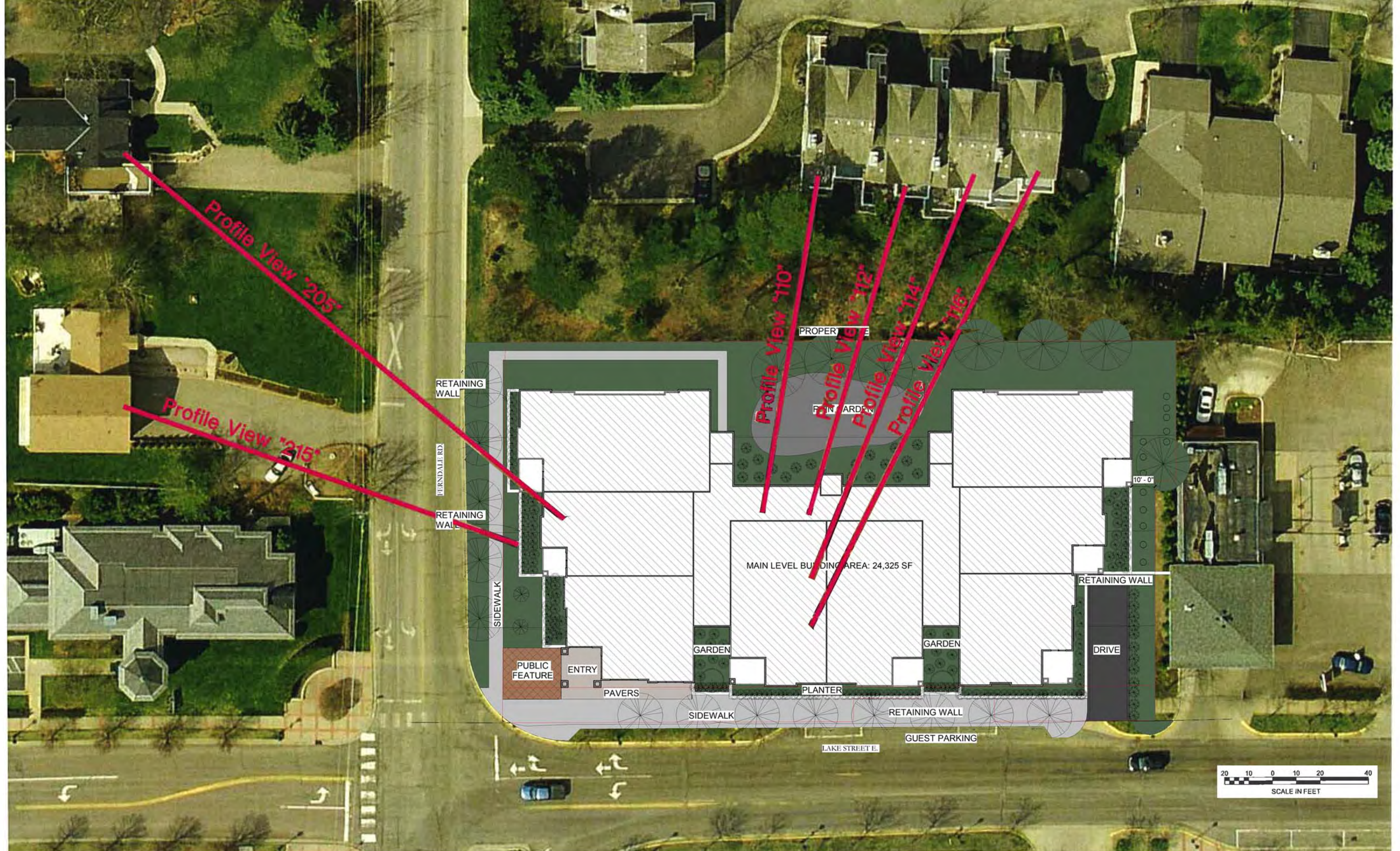
1 Garden View
scale:

3 NOV 2016



1 Public Feature View
scale:

3 NOV 2016



20 OCT 2016

JMS CUSTOM HOMES

MEYER PLACE ON FERNDAL

WHITTEN ASSOCIATES, INC.



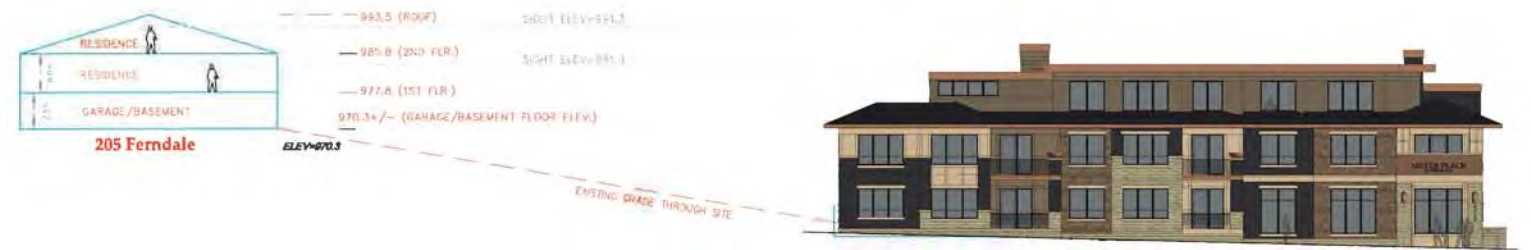
Profile View "110"



Profile View "215"



Profile View "112"



Profile View "205"

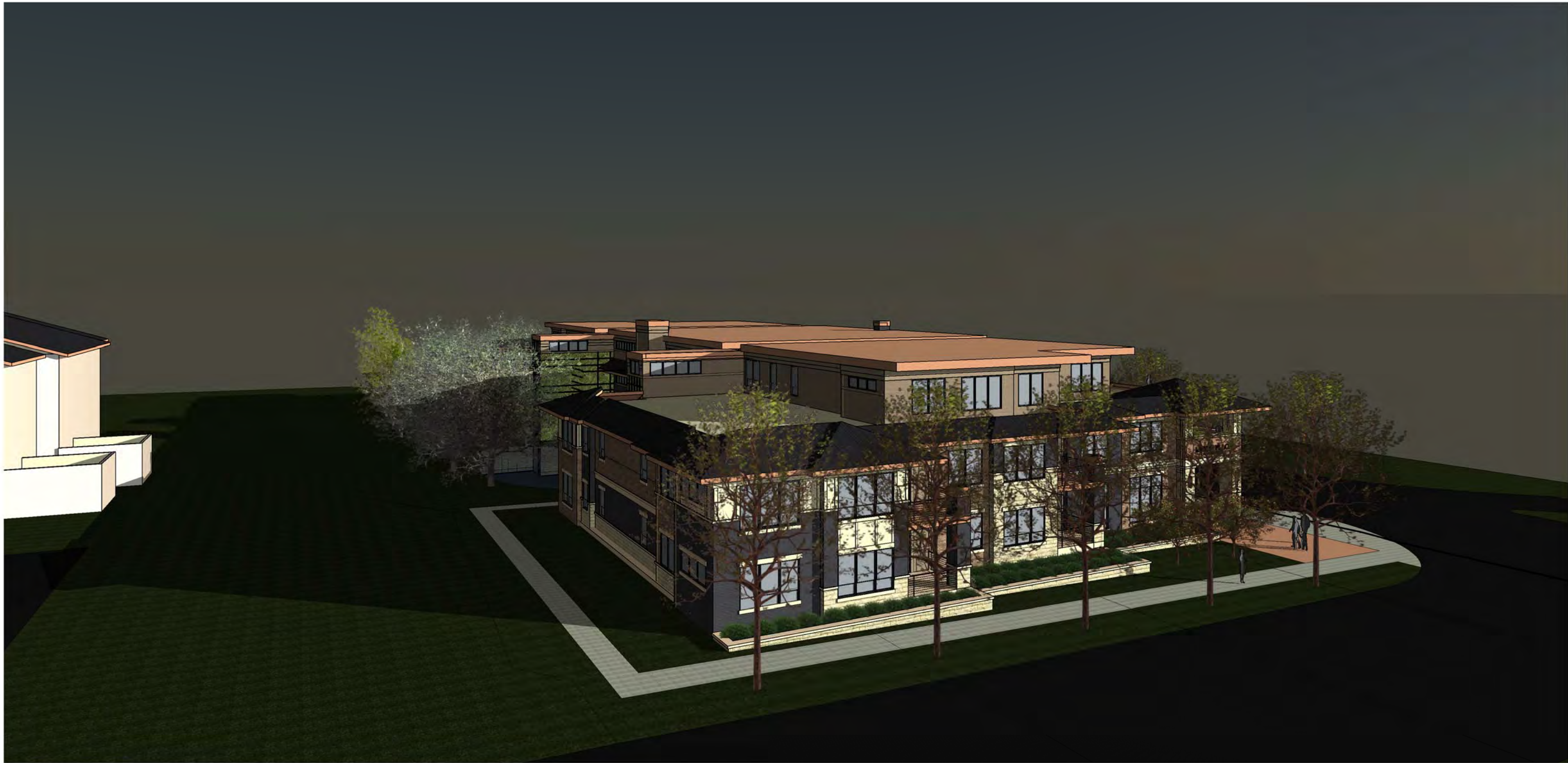


Profile View "114"



116 Edgewood Court

20 OCT 2016



1 Shadow Study

scale:

3 NOV 2016

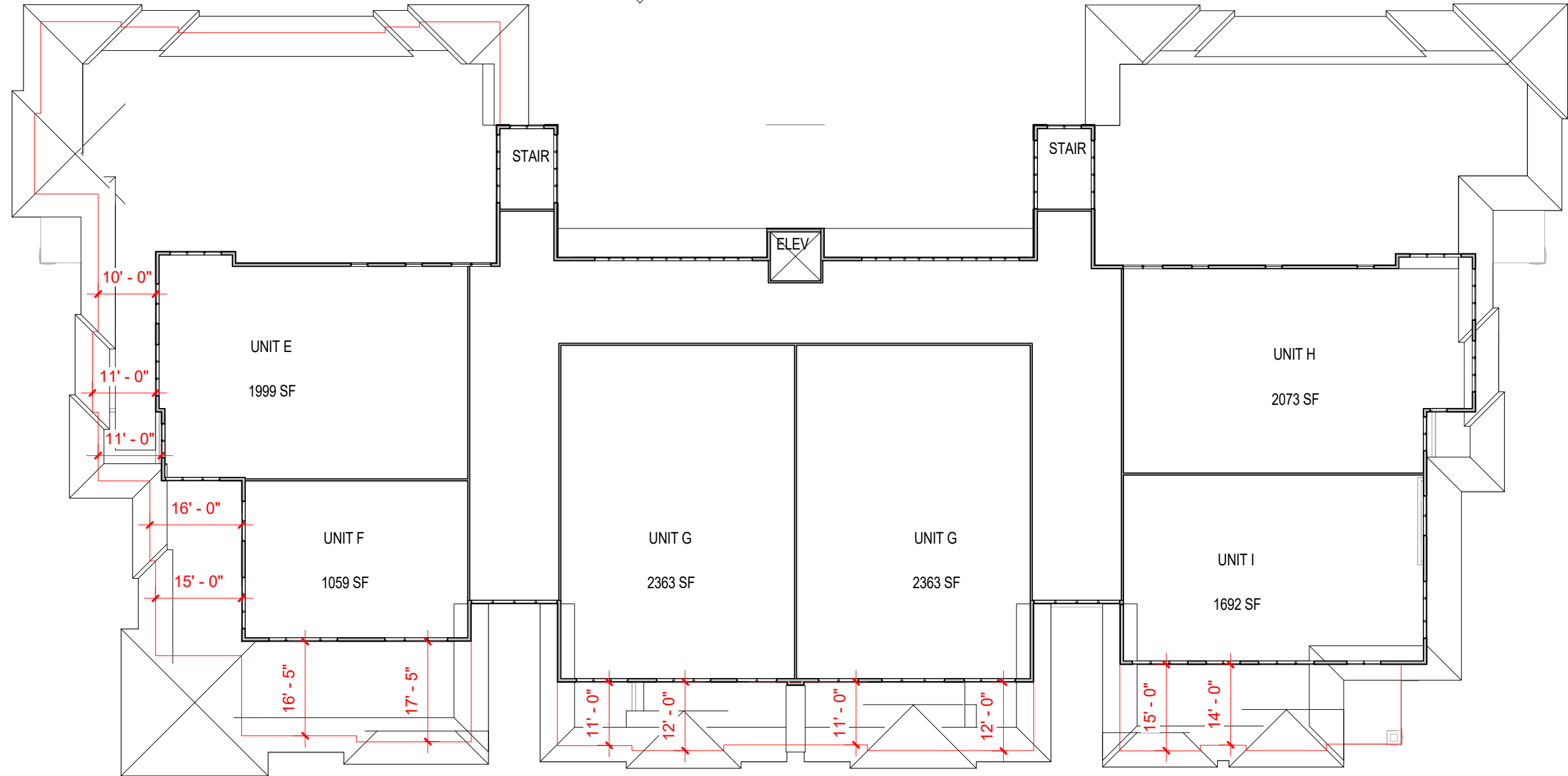
JMS CUSTOM HOMES

MEYER PLACE ON FERNDALE

WHITTEN ASSOCIATES, INC.

A-22 2

A-21
2



1 A-22

1 THIRD LEVEL FLOOR PLAN SETBACKS

scale: 3/64" = 1'-0"

1
A-21

3 NOV 2016

MEYER PLACE MATERIAL CALCULATIONS 11/3/16

SOUTH

stone	precast	brick	cement bd	wood	total
1030.17	505.35	2016.41	527.22	1709.2	5788.35
18%	9%	35%	9%	30%	100%

first level

glass	total	
990.27	2285.88	43%

first level at face vv

glass	total	
907.11	1914.3	47%

EAST

stone	precast	brick	cement bd	wood	total
473.42	268.26	860.98	432.97	866.12	2901.75
16%	9%	30%	15%	30%	100%

NORTH

stone	precast	brick	cement bd	wood	total
389.2	382.35	3574.97	257.78	1893.31	6497.61
6%	6%	55%	4%	29%	100%

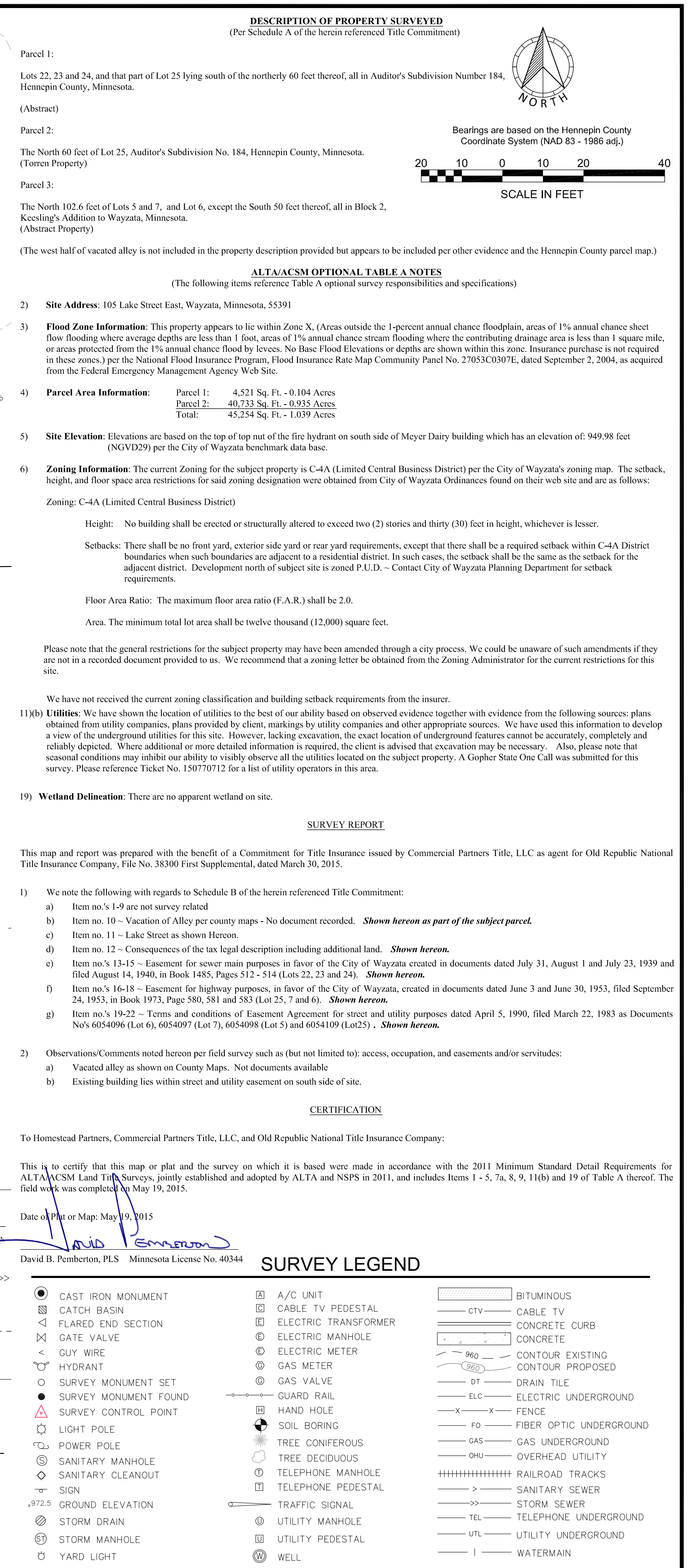
WEST

stone	precast	brick	cement bd	wood	total
309.03	203.19	776.88	481.89	789.23	2560.22
12%	8%	30%	19%	31%	100%

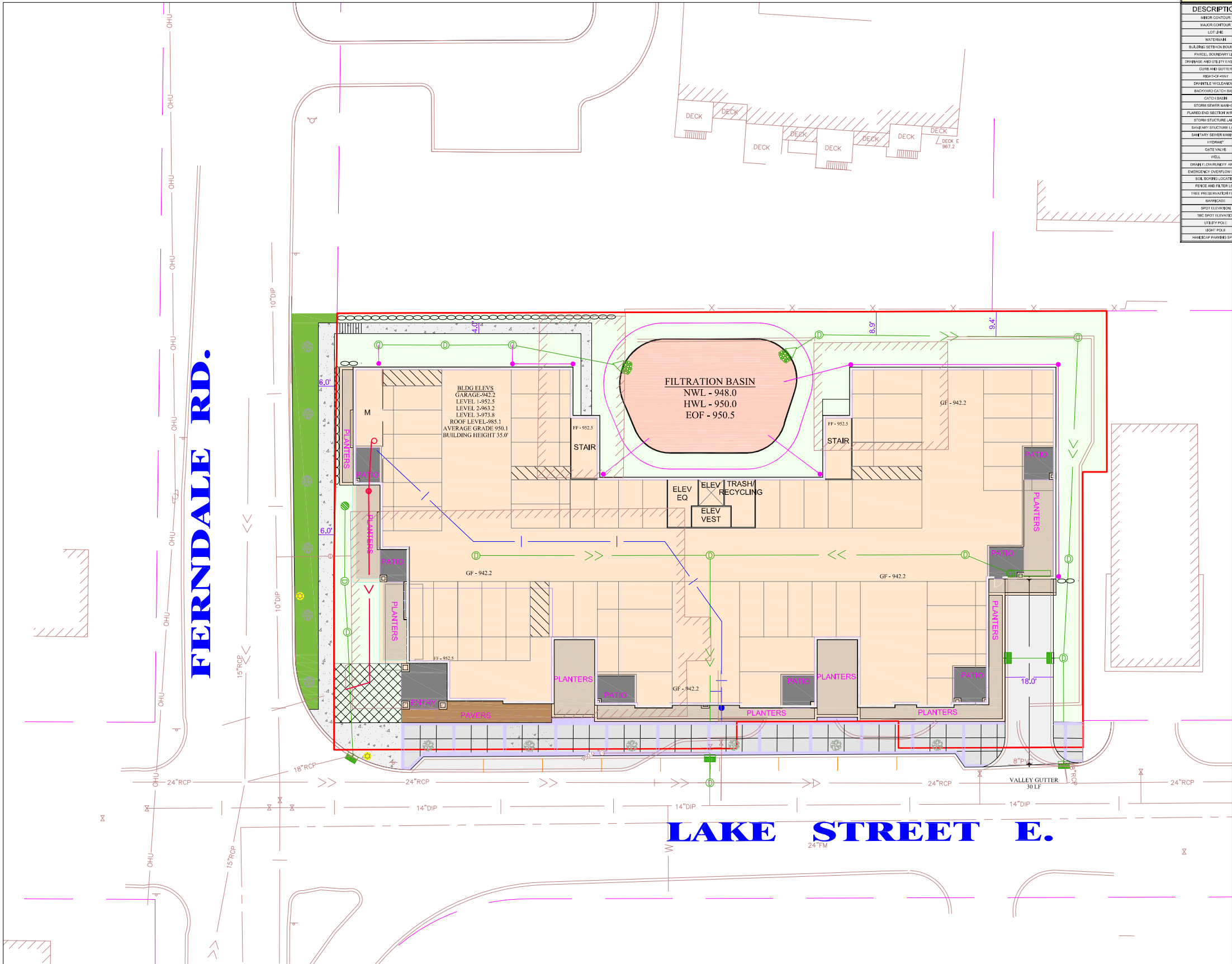
first level

glass	total	
534.32	1485	36%

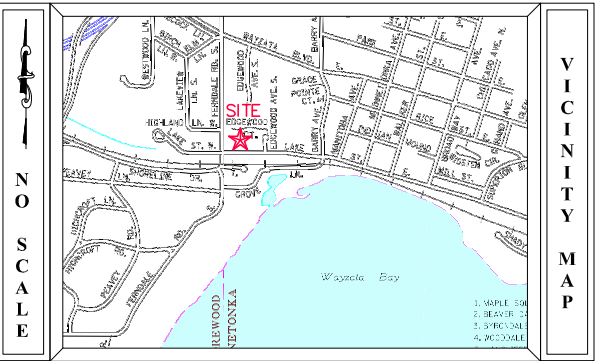
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DRAWN BY	1	TW	5-27-16	Revise plan per new building layout						
TW	2	TW	6-23-16	Revise plan per new building layout						
CHECKED BY	3	TW	10-7-16	Revise plan per new building layout						
TW	4	TW	11-4-16	Revise plan per new site plan & city comments						
DATE			12-16-15							



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LAKE										1 PC 11/4/2016
DRAWN										
DBP										
CHECKED										
GRG										
DATE										
04/18/2015										



SYMBOL LEGEND		
DESCRIPTION	PROPOSED	EXISTING
MINOR CONTOUR		
MAJOR CONTOUR		
LOT LINE		
WATERMAIN		
BUILDING SETBACK BOUNDARY		
PAVEMENT BOUNDARY LINE		
DRIVEWAY AND UTILITY EASEMENTS		
CURB AND GUTTER		
RIGHT-OF-WAY		
DRIVETILE WHEELNOPTS		
BACKWARD GATEWAY MARKER		
CATCH BASIN		
STORM SEWER MANHOLE		
PLANNED END SECTION WITHIN ROW		
STORM STRUCTURE LABEL		
STORMWATER STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
HYDRANT		
GATE VALVE		
WELL		
DRINKING WATER MAIN		
EMERGENCY OVERFLOW MAIN		
SOIL BORING LOCATION		
FENCE AND FILTER LOG		
FREE PRESSURIZATION PIPE		
SEWERAGE		
SPOT ELEVATION		
TRE SPOT ELEVATION		
UTILITY POLE		
UTILITY POLE		
HANDICAP PARKING SPACE		



PROFESSIONAL CONSULTANTS				
	Company	NAME	ADDRESS	
Developer	Homestead Partners	Tom Bakritges	525 15th Ave S, Hopkins, MN 55343	
Architect	Whitten Associates	Tim Whitten	4159 Heatherston Pl, Minnetonka, MN 55345	
Attorney	Fabyanske, Westra, Hart & Thomson, P.A.	Gary Eidson	333 S 7th St, Suite 2600, Minneapolis, MN 55402	
Land Planner	Whitten Associates	Whitten Associates	4159 Heatherston Pl, Minnetonka, MN 55345	
Engineer	Sathre-Bergquist, Inc	Robert Molstad	150 South Broadway, Wayzata, MN 55391	
Surveyor	Sathre-Bergquist, Inc	Dave Pemberton	150 South Broadway, Wayzata, MN 55391	

SHEET INDEX TABLE	
SHEET	Description
SP	Site Plan
AA	ALTA
FP	Final Plat
DP	Demolition Plan
GP / EC	Grading & Erosion Control Plan
UP	Utility Plan

LANDSCAPE LEGEND	
	PROPOSED ROW TREE
	PROPOSED BOULEVARD SOD
	PROPOSED SITE POST CONSTRUCTION SOD

PREPARED BY	PREPARED FOR
ENGINEER SATHRE-BERGQUIST, INC. 150 SOUTH BROADWAY WAYZATA, MINNESOTA 55391 PHONE: (952) 476-6000 FAX: (952) 476-0104 CONTACT: ROBERT MOLSTAD, P.E. EMAIL: MOLSTAD@SATHRE.COM CONTACT: THOMAS WELSHINGER EMAIL: TWELSHINGER@SATHRE.COM	DEVELOPER HOMESTEAD PARTNERS, LLC 525 15th AVENUE SOUTH HOPKINS, MN 55343 CONTACT: TOM BAKRITGES PHONE: (612) 272-9701 EMAIL: TOMB@HOMESTEAD-PARTNERS.COM

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DRAWING NAME	NO.	BY	DATE	REVISIONS
BASE-MEYERS				
DRAWN BY				
TOW				
CHECKED BY				
RSM				
DATE				
10/04/16				

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I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Robert S. Molstad
ROBERT S. MOLSTAD, P.E.
Date: 10/04/16 Lic. No. 26428

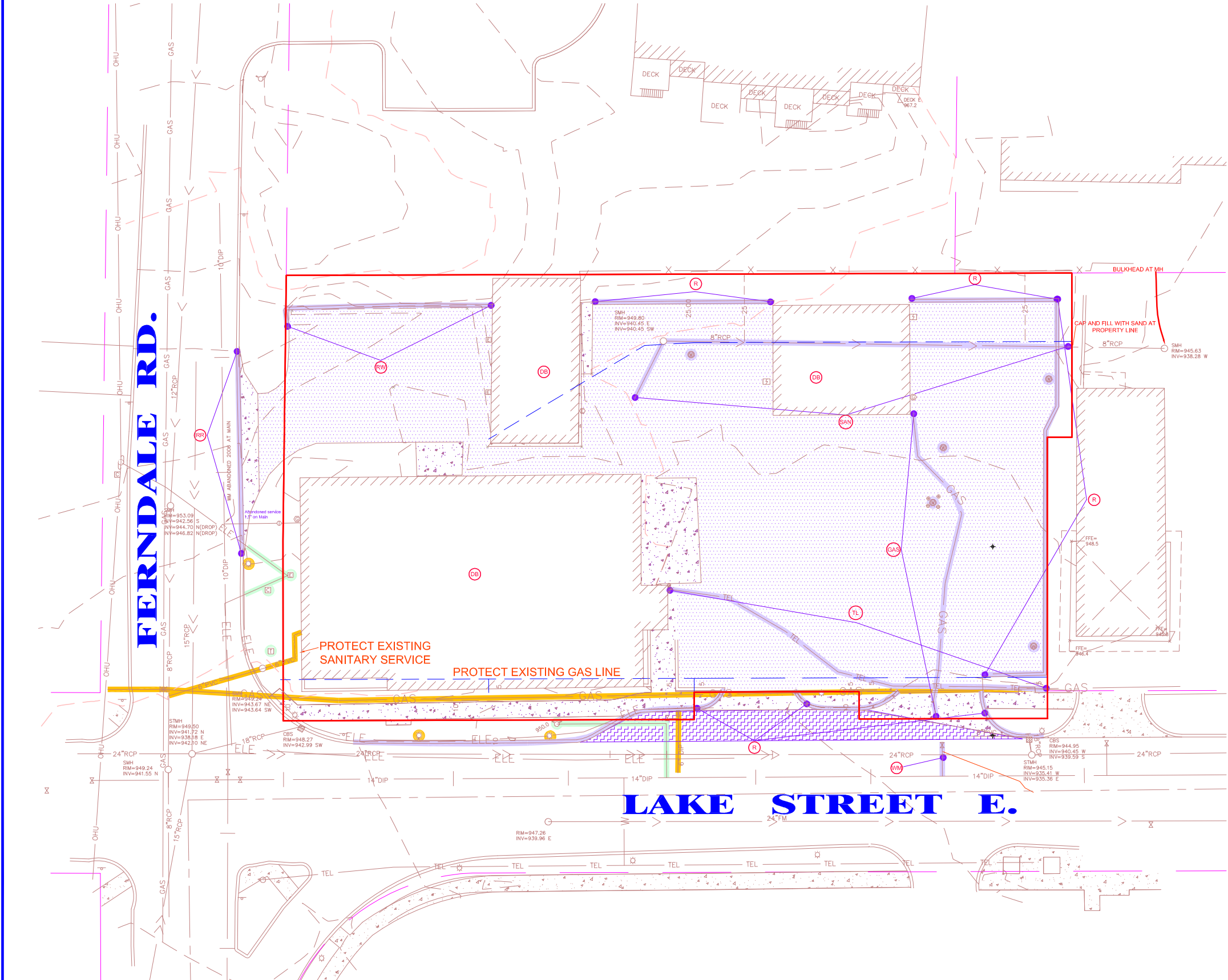


SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO.
--
WAYZATA,
MINNESOTA

SITE AND LANDSCAPE PLAN
MEYER PLACE AT FERNDALE
HOMESTEAD PARTNERS
PC 1174/2016
Page 19 of 103

FILE NO.
37865-003
SP
SP



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BASE-MEYERS				
DRAWN BY				
TCW				
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RSM				
DATE				
10/04/16				

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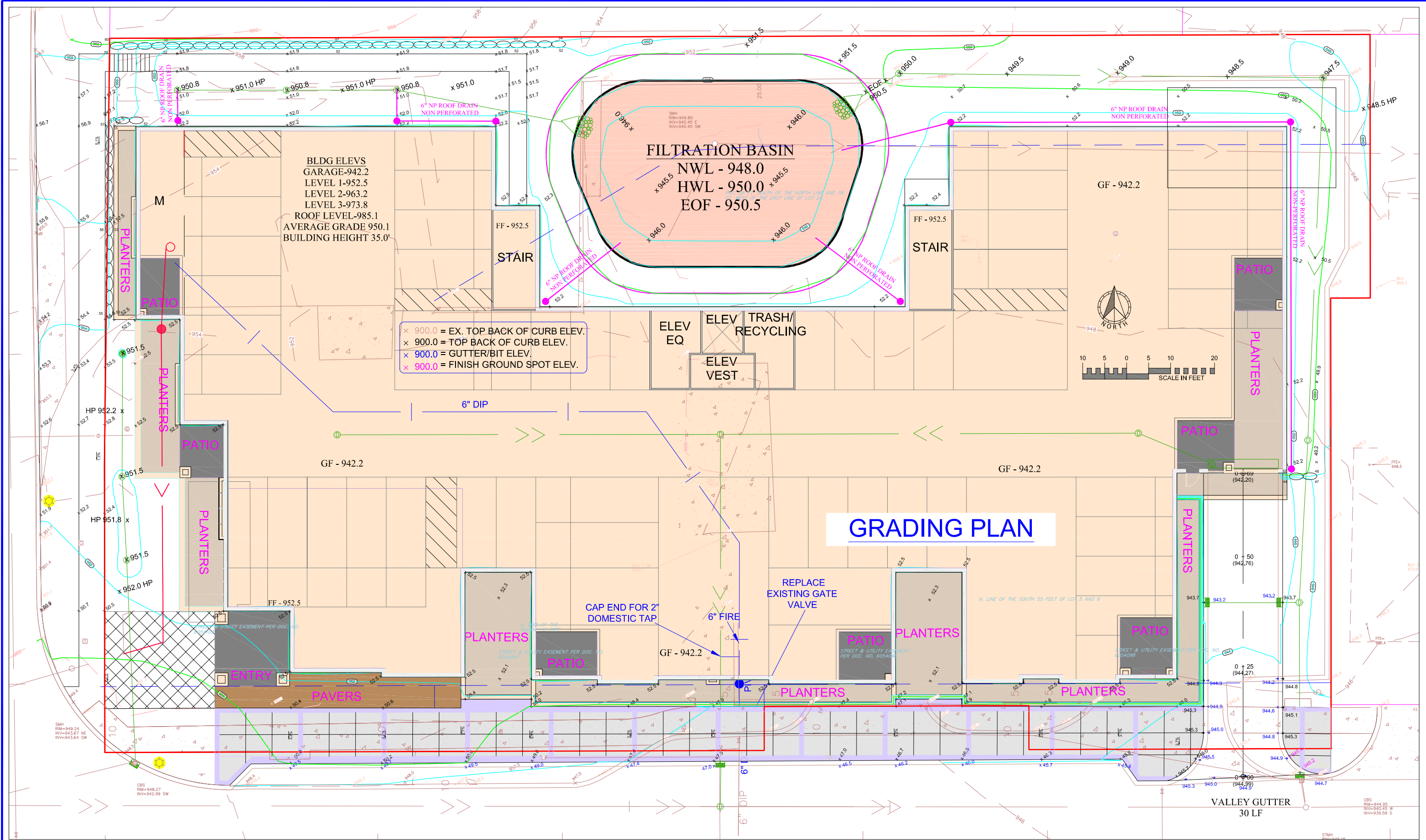
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ROBERT S. MOLSTAD, P.E.
Date: 10/04/16 Lic. No. 26428

ENGINEERS
DESIGNERS
SURVEYORS
PLANNERS

SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO.	DEMOLITION PLAN	FILE NO.
---	MEYER PLACE AT FERNDAL RD.	37865-003
WAYZATA, MINNESOTA	HOMESTEAD PARTNERSHIP	DP
	PC 1174/2016	DP
	Page 14 of 103	



DRAWING NAME	NO.	BY	DATE	REVISIONS
BASE-MEYERS				
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TOW				
CHECKED BY				
RSM				
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Date: 10/04/16 Lic. No. 26428

ENGINEERS
SURVEYORS
DESIGNERS
PLANNERS

SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO.
--
**WAYZATA,
MINNESOTA**

GRADING PLAN
MEYER PLACE AT FERNDALE
HOMESTEAD PARTNERSHIP
PC 1174/2016
Page 15 of 103

FILE NO.
37865-003
GP
GP

CONSTRUCTION NOTES

1. INSTALL SILT FENCE AS SHOWN ON PLAN, AS REQUIRED BY THE CITY OR DIRECTED BY THE ENGINEER.

2. THE INLET PROTECTION SHALL BE INSTALLED INTO EXISTING CATCH BASINS AT THE BEGINNING OF GRADING OPERATIONS TO PROVIDE TEMPORARY STORM WATER TREATMENT DURING CONSTRUCTION. SAND AND SILT MUST BE REMOVED FROM THE INLET PROTECTION AS NECESSARY DURING CONSTRUCTION AND AT THE COMPLETION OF THE PROJECT.

3. BEGIN GRADING. INSTALL INLET PROTECTION. TEMPORARY DRAINAGE PIPE SHALL BE USED FOR INTERMEDIATE DRAINAGE DURING THE CONSTRUCTION PERIOD AS NECESSARY AND DIRECTED BY THE ENGINEER. INSTALL SILT FENCE AROUND EXCAVATED BASINS.

4. NATIVE TOPSOIL MUST BE RETAINED ON-SITE TO THE GREATEST EXTENT POSSIBLE.

5. INSPECT BASINS, SILT FENCE, AND ROCK ENTRANCE BERM AFTER ALL RAINFALL EVENTS AS REQUIRED BY THE NPDES PERMIT.

6. ALL SLOPES 3:1 MAX (UNLESS NOTED)

7. RESTORATION - (1.04 ACRES)

A. RESTORE ALL DISTURBED AREAS WITH A MINIMUM 6" OF TOPSOIL, OR EXISTING ON-SITE ORGANIC MATERIAL.

B. SEED ALL PERVIOUS DISTURBED AREAS WITH MNDOT 250 AT A RATE OF 100 LBS/ACRE AND FERTILIZE WITH 20-0-10 AT 100 LBS/ACRE. (UNLESS OTHERWISE NOTED)

C. ONLY PHOSPHOROUS FREE FERTILIZER IS TO BE USED ON SITE.

D. MULCH WITH TYPE 1 AT A RATE OF 2 TONS/ACRE AND DISC ANCHOR IMMEDIATELY AFTER PLACEMENT. USE EROSION BLANKET ON ALL SLOPES 3:1 (FT) OR GREATER.

E. PLACE APPROVED STORM SEWER INLET PROTECTION IN OR AROUND ALL STORM SEWER INLETS AND MAINTAIN UNTIL STREET CONSTRUCTION IS COMPLETED. REFER TO CITY DETAILS FOR APPROVED DEVICES. INLET PROTECTION MUST BE INSTALLED IN THE RECEIVING CATCHBASINS WEST OF THE SITE.

F. MAINTAIN ALL SILT FENCE UNTIL TURF HAS BEEN ESTABLISHED.

G. RESTORATION WORK WILL BE COMPLETED WITHIN 72 HOURS OF GRADING COMPLETION.

8. CHAIN LINK FENCE AND FILTER LOG - 620 LF

9. ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMPs MUST BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION AND VEGETATION IS ESTABLISHED SUFFICIENTLY TO ENSURE STABILITY OF THE SITE, AS DETERMINED BY THE RILEY PURGATORY BLUFF CREEK WATERSHED DISTRICT.

10. ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMPs MUST BE REMOVED UPON FINAL STABILIZATION.

11. THE PERMITTEE MUST, AT A MINIMUM, INSPECT, MAINTAIN AND REPAIR ALL DISTURBED SURFACES AND ALL EROSION AND SEDIMENT CONTROL FACILITIES AND SOIL STABILIZATION MEASURES EVERY DAY WORK IS PERFORMED ON THE SITE AND AT LEAST WEEKLY UNTIL LAND-DISTURBING ACTIVITY HAS CEASED, THEREAFTER, THE PERMITTEE MUST PERFORM THESE RESPONSIBILITIES AT LEAST WEEKLY UNTIL VEGETATIVE COVER IS ESTABLISHED.

GENERAL NOTES:

1. THE GRADING CONTRACTOR IS RESPONSIBLE FOR ALL STORM WATER INSPECTIONS ACCORDING TO THE MPCA STORM WATER PERMIT. THIS INCLUDES BOTH WEEKLY INSPECTIONS AND INSPECTIONS DONE AFTER A 0.5" RAIN EVENT. A COPY OF THE INSPECTION REPORT MUST BE EMAILED TO THE ENGINEER AND DEVELOPER ON A WEEKLY BASIS.

2. THE CONTRACTOR SHALL PLACE INLET PROTECTION DEVICES IN ACCORDANCE WITH THE CITY FOR ALL STORM SEWER INLETS AND MAINTAIN THEM AS AN EFFECTIVE SILT CONTROL DEVICE. INLET PROTECTION SHALL BE REMOVED WHEN RESTORATION HAS BEEN ESTABLISHED.

3. ALL RETAINING WALLS OVER FOUR FEET HIGH MUST BE STRUCTURALLY DESIGNED BY A PROFESSIONAL ENGINEER AND A PERMIT MUST BE OBTAINED PRIOR TO CONSTRUCTION.

4. A 1'-2" CRUSHED ROCK ENTRANCE BERM SHALL BE PLACED AT THE SITE ENTRANCE, TO REPLACE SILT FENCE, AND MINIMIZE EROSION ON TO THE STREETS. THE ROCK BERMS SHALL BE THE WIDTH OF THE ENTRANCE AND 2 FEET HIGH WITH 4:1 SLOPES. (SEE DETAIL)

5. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM THE BUILDING PAD AND STREET AREAS THROUGHOUT CONSTRUCTION.

6. THE CONTRACTOR SHALL ATTEMPT TO PREVENT SOIL MATERIALS FROM LEAVING THE SITE BY EROSION AND VEHICLE WHEEL TRACKING. HE SHALL BE RESPONSIBLE FOR CLEANING OF STREET, BOULEVARD AND UTILITY FACILITIES THAT RECEIVE ANY ERODED OR TRACKED SOIL MATERIAL OR OTHER CONSTRUCTION DEBRIS OR MATERIAL.

7. EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

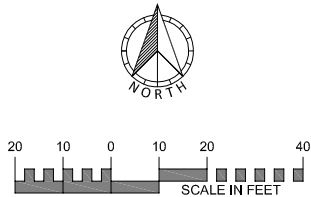
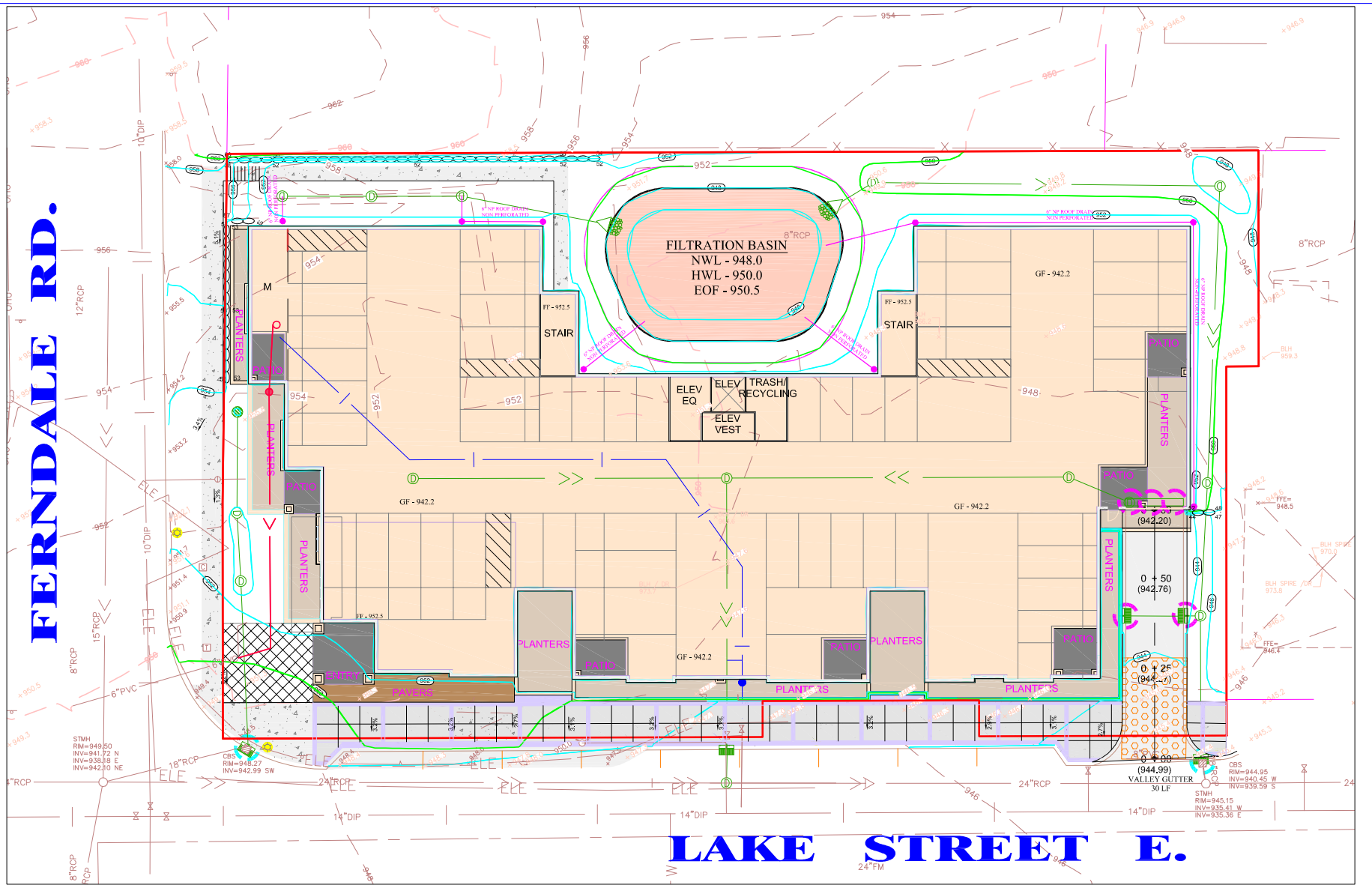
8. PROPER MANAGEMENT OF ALL SITE WASTE, INCLUDING TO BUT NOT LIMITED TO DISCARDED BUILDING MATERIALS, CONCRETE WASHOUT, CHEMICALS, LITTER AND SANITARY WASTE, MUST DISCARDED IN ACCORDANCE TO THE SWPPP.

EROSION CONTROL PLAN

	ROCK ENTRANCE BERM		CHAIN LINK FENCE AND FILTER LOG
	INLET PROTECTION		EXISTING INLET PROTECTION

SYMBOL LEGEND		
DESCRIPTION	PROPOSED	EXISTING
MINOR CONTOUR		
MAJOR CONTOUR		
LOT LINE		
WATERMAIN		
BUILDING SETBACK BOUNDARY		
PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
RIGHT-OF-WAY		
DRAIN TILE W/CLEANOUTS		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION WHIP-RAP		
STORM STRUCTURE LABEL		
SANITARY STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
HYDRANT		
GATE VALVE		
WELL		
DRAIN FLOW/RUNOFF ARROW		
EMERGENCY OVERFLOW SWALE		
SOIL BORING LOCATION		
FENCE AND FILTER LOG		
TREE PRESERVATION FENCE		
BARRICADE		
SPOT ELEVATION		
TBC SPOT ELEVATION		
UTILITY POLE		
LIGHT POLE		
HANDICAP PARKING SPACE		

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DRAWING NAME	NO.	BY	DATE	REVISIONS
BASE-MEYERS				
DRAWN BY				
TCW				
CHECKED BY				
RSM				
DATE				
10/04/16				

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Robert S. Molstad
ROBERT S. MOLSTAD, P.E.
Date: 10/04/16 Lic. No. 26428



SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO.

--

WAYZATA,
MINNESOTA

EROSION CONTROL PLAN

MEYER PLACE AT FERNDAL

HOMESTEAD PARTNERSHIP

PC 1174/2016

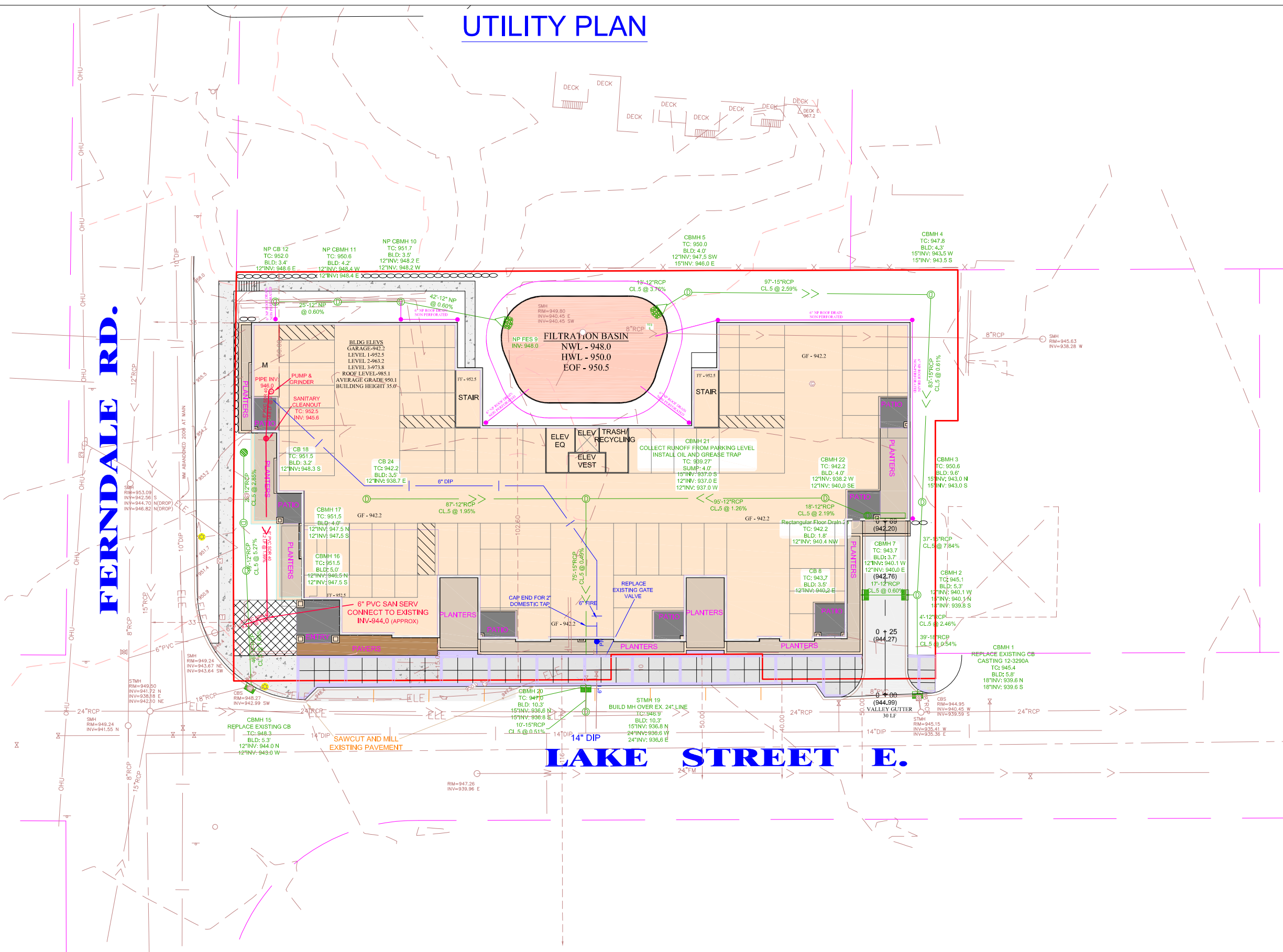
Page 16 of 103

FILE NO.

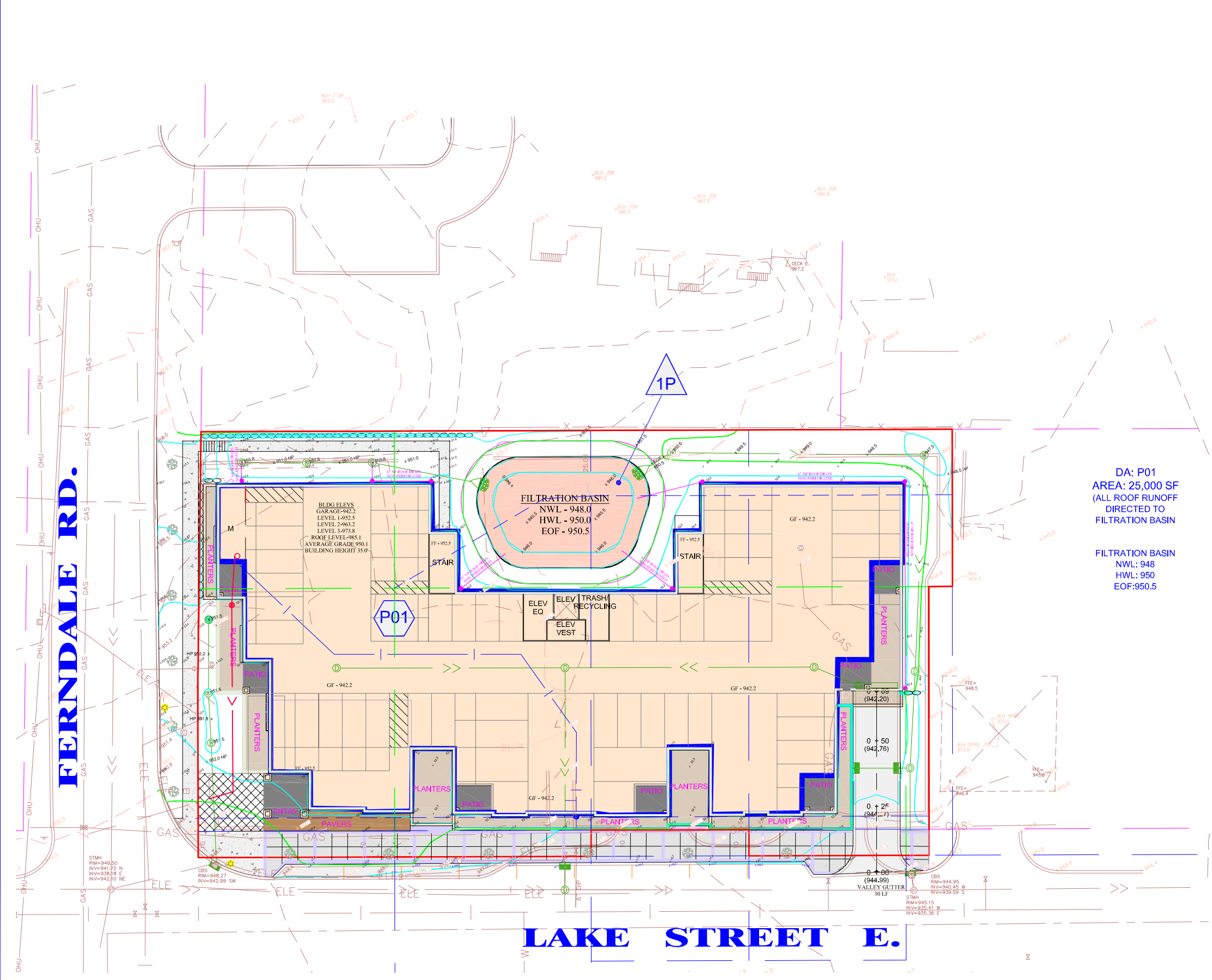
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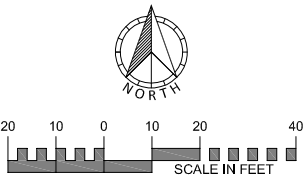
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DRAWN BY								WAYZATA, MINNESOTA				UP



SYMBOL LEGEND		
DESCRIPTION	PROPOSED	EXISTING
MINOR CONTOUR		
MAJOR CONTOUR		
LOT LINE		
WATERMAIN		
BUILDING SETBACK BOUNDARY		
PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
RIGHT-OF-WAY		
DRAINTILE W/CLEANOUTS		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION WRIP-RAP		
STORM STRUCTURE LABEL		
SANITARY STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
HYDRANT		
GATE VALVE		
WELL		
DRAIN FLOW/RUNOFF ARROW		
EMERGENCY OVERFLOW SWALE		
SOIL BORING LOCATION		
FENCE AND FILTER LOG		
TREE PRESERVATION FENCE		
BARRICADE		
SPOT ELEVATION		
TBC SPOT ELEVATION		
UTILITY POLE		
LIGHT POLE		
HANDICAP PARKING SPACE		

DA: P01
AREA: 25,000 SF
(ALL ROOF RUNOFF
DIRECTED TO
FILTRATION BASIN)

FILTRATION BASIN
NWL: 948
HWL: 950
EOF:950.5



SEE STORMWATER MANAGEMENT REPORT
FOR DETAILED CALCULATIONS

DRAWING NAME	NO.	BY	DATE	REVISIONS	USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.	I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA. Robert S. Molstad Date: 10/04/16 Lic. No. 26428	ENGINEERS SURVEYORS DESIGNERS PLANNERS	SATHRE-BERGQUIST, INC. 150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000	CITY PROJECT NO. ---	WAYZATA, MINNESOTA	DRAINAGE AREA MEYER PLACE AT FERNDALE HOMESTEAD PARTNERSHIP	FILE NO. 37865-003 DA
BASE-MEYERS												
DRAWN BY												
TCW												
CHECKED BY												
RSM												
DATE												
10/04/16												

DRAWING NAME	NO.	BY	DATE	REVISIONS	USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'s EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.	I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  ROBERT S. MOLSTAD, P.E. Date: <u>10/04/16</u> Lic. No. <u>26428</u>	 SATHRE-BERGQUIST, INC. 150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000	CITY PROJECT NO.	HARDCOVER EXHIBIT MEYER PLACE AT FERNDALE HOMESTEAD PARTNERSHIP	FILE NO.			
BASE-MEYERS								--		37865-003			
DRAWN BY													
TCW													
CHECKED BY													
RSM													
DATE													
10/04/16								WAYZATA, MINNESOTA	PC 1174/2016 Page 179 of 103	HC HC			

Meyer Place on Ferndale – 105 Lake St E

Design Critique (Based on Architectural Plans dated 11/3/2016, Civil Plans dated 10/4/2016, and Landscape Plan dated 11/4/2016)

November 4, 2016

	Comments	Compliance
Building Uses		
<u>801.09.2.1 – Lake Street District</u> All new buildings east of Barry Avenue on Lake Street shall have retail usage at least eighty percent (80%) of the ground floor facing Lake Street. The remaining twenty percent (20%) of the ground floor frontage may only be used for walkways, public access, or public facilities. Retail activities shall comprise a total of at least fifty percent (50%) of the usage of the total building footprint.	The site is located west of Barry Avenue.	Not Applicable
Building Recesses		
<u>801.09.3.1.A – All Districts</u> Building facades shall be articulated through the use of pilasters and/or recesses that create visible shadow lines and dimensions especially on the street level	The proposed building utilizes pilasters and recesses to provide articulation of the façades.	Yes
<u>801.09.3.1.B</u> Street level landscaped courtyards, outdoor seating areas and gathering areas shall be incorporated into building and site plan design.	The project includes planters along the Lake Street and Ferndale road frontages and a potential public feature at the intersection adjacent to the main entrance to the building. The plans also include two benches incorporated into the planter walls along Lake Street.	Yes

	Comments	Compliance
Building Width		
<u>801.09.4.1 All Districts – New Buildings</u> In order to reduce the scale of longer façades and to eliminate the long horizontal expressions of buildings, divisions or breaks in materials shall be included and at least three of the following design strategies shall be incorporated into the design: 1. Window bays 2. Special treatment at entrances 3. Variations in roof lines or parapet detailing 4. Awnings 5. Building setbacks or articulation of the facade 6. Rhythm of elements	The proposed building includes special treatment at the building entrance, variations in roof lines, articulation of the façade with varying building lines and recessions, and a rhythm of elements along each building elevation.	Yes

Upper Story Setbacks		
<u>801.09.5.1.A – All Districts – New Buildings</u> Building height shall conform to the height of the applicable zoning district. Where three (3) story buildings are permitted, the third (3 rd) story must be recessed from all façades fronting public right of ways at least a distance equal to the vertical distance of the 3 rd story height from the second (2 nd) floor footprint, or an average of ten (10) feet across the facade, but no portion of the 3 rd story structure shall be closer than six (6) feet to the 2 nd story façade. The 3 rd story façade shall be designed with railings, pillars, dimensional windows, building recesses or other similar design techniques to break up the 3 rd story façade.	The third level is fully recessed from the lower levels of the building. The third floor is stepped back between 10 and 18 feet along both Ferndale Rd and Lake Street.	Yes
<u>801.09.5.1.B – All Districts – New Buildings</u> The façades fronting public right-of-ways of every two and three story building, longer than sixty (60) feet, must have a recessed second story of approximately twenty-five percent (25%) of the façade's length, setting back a minimum of six (6) feet from the face of the first floor façade. The required third floor setback must follow the frontal plane of the second story setback.	The second story is not recessed from the first level of the building.	Deviation Required
<u>801.09.5.1.C – All Districts – New Buildings</u> Wintertime sun orientation, solar access, and views of Lake Minnetonka are significant issues within the Design Districts. Building height should not negatively and significantly impact neighboring properties.	The proposed plans include a shadow study which shows the building would create minimal shading onto adjacent buildings. The plans also include a profile views of the proposed building as viewed from surrounding properties.	Yes

Roof Design			
<u>801.09.6.1 – All Districts</u> “Green” roofs, roof garden terraces, arbors and other similar structures are encouraged on roofs of building.	The proposed building does not include any green roofs.		Not Applicable
<u>801.09.6.2.A – All Districts – Roof Materials</u> The roof material for all sloped roofs in all districts shall be slate, untreated copper, pre-finished metal, cedar shake or asphalt shingle in dark colors. <u>801.09.6.2.B – All Districts – Roof Materials</u> The roof material for all flat roofs in all districts shall be treated synthetic membrane or other similar material in dark colors.	The proposed building has a flat roof which would consist of a tan membrane material.		Deviation Required
Screening of Rooftop Equipment			
<u>801.09.7.1 – Lake Street and Bluff Districts</u> No mechanical equipment for a building may be located on the roof deck. All such mechanical equipment must be located within the interior of the structure.	The proposed plans do not include any mechanical equipment on the roof of the building.		Yes

	Comments	Compliance
Facade Transparency		
801.09.8.2 – Lake Street District No less than fifty percent (50%) of the ground level façade of any building fronting Lake Street shall be transparent glass. No less than twenty-five percent (25%) of the ground level side and rear façade facing a public right of way, parking area or open space shall be transparent glass.	The proposed building is comprised of 47% glass on the ground level along Lake Street, and 36% glass along Ferndale Road.	Deviation Required
Ground Level Expression		
801.09.9.1 – All Districts In multi-story buildings, the ground floor shall be distinguished from the floors above by the use of at least three of the following elements: 1. An intermediate cornice line 2. A difference in building materials or detailing 3. An offset in the façade 4. An awning, trellis, or loggia 5. Arcade 6. Special window lintels 7. Brick/stone corbels	The proposed building includes an intermediate cornice line, a difference in building materials between the first and second floor, and special window lintels on the first floor elevations.	Yes
Entries		
801.09.10.1 – All Districts The front facade of all buildings shall be landscaped with window boxes or planters with seasonally appropriate plantings. The main entries shall face the primary street at sidewalk grade.	The proposed plans include landscaped planters along both Lake Street and Ferndale Rd.	Yes

Building Materials and Quality		
<u>801.09.11.1.A – Primary Opaque Surfaces – All Districts</u> Other than the accent materials listed in 801.09.11.G, ninety percent (90%) of the non-glass surfaces of each elevation of the exterior building façade shall be composed of one or more of the following materials: 1. Brick 2. Stone 3. Cast stone 4. Factory finished and certified wood, including, but not limited to: a. Wood shingles (cedar shingles six (6) inch maximum exposure) b. Lap-siding (six (6) inch maximum width) 5. Stucco	The non-glass surfaces of the building are primarily comprised of brick, stone, wood, and cast stone. The south and north elevations would be comprised of more than 90% of these materials. However, the east and west elevations would be comprised of 85% and 81% of these materials, respectively.	Deviation Required
<u>801.09.11.1.B – Façade Coverage – All Districts</u> The primary opaque surface materials of all free standing buildings must be the same on all facades of the building.	The proposed building includes the same materials, brick, stone, wood and cast stone, on all four sides of the building.	Yes
<u>801.09.11.1.C – Type of Brick – All Districts</u> On all facades of a free-standing building where brick is used, full course modular, Roman, Norman or other standard size brick must be used.	The plans indicated that a standard size brick would be used.	Yes

<u>801.09.11.1.D – Façade Detail – All Districts</u> 1. Brick and/or stone façades shall be well detailed and dimensionally designed in order to avoid fractional cuts and odd pieces. All outside brick corners must be full bricks (custom if necessary), with no mitering, forming continuous vertical joints. 2. The narrow face of an exposed stone butt joint, at corners, must be a minimum dimension of two (2) inches. Mitered and quirked stone corners are also acceptable.	The brick detail would be reviewed with the final building design.	Yes
<u>801.09.11.1.E – Brick Joints – All Districts</u> 1. The mortar for brick must be dark grey or in the color range of the brick. All joints must be concave or 'v' joint. No mortar may be used beyond the face of the brick. 2. All brick walls must be built to avoid efflorescence	The brick will include a charcoal concave mortar no larger than ¼ inch.	Yes
<u>801.09.11.1.F – Stone Joints – All Districts</u> Stone joints shall be no larger than one-fourth (1/4) inch.	The stone detail would be reviewed with the final building design.	Yes

<u>801.09.11.1.G – Accent Materials – All Districts</u> Only the following materials may be used for lintels, sills, cornices, bases, and decorative accent trims, and must be no more than 10 percent (10%) of the non-glass surfaces of each elevation of the exterior building façade: 1. Stone 2. Cast stone 3. Copper (untreated) 4. Rock faced stone 5. Aluminum or painted steel structural shapes 6. Fiber cement board 7. Premium grade wood trim with mitered outside corners. Examples of premium grade wood are cedar, redwood, and fir. 8. EIFS	The accent materials for the lintels, sills, cornices, bases and decorative accent trims would be cast stone, stone, wood, and fiber cement board. The amount of fiber cement board would exceed 10% on the east and west building elevations.	Deviation Required
<u>801.09.11.1.H - Parapets, Flashing, Coping – All Districts</u> 1. Only the following materials may be used for parapets, flashing and coping: a. copper (untreated) b. brick c. stone d. cast stone e. premium grade wood. 2. Pre-finished, painted .032 aluminum may only be used as a standard parapet coping with a maximum exposed edge of five (5) inches.	The proposed flashing would be painted aluminum that complies with these requirements.	Yes

<u>801.09.11.1.I – Awnings – All Districts</u> 1. Only the following types of awnings may be used: a. Fabric awnings of a heavy canvas in dark solid colors or other colors that are approved as part of the design review process b. Highly detailed, ornate metal in dark colors c. Glass awnings 2. Backlit awnings are prohibited. 3. Awnings with text or graphic material may be permitted but require approval via the sign permit process of the Zoning Ordinance.	The proposed building plans do not include any awnings.	Not Applicable
<u>801.09.11.1.J – Balconies – All Districts</u> Balconies shall be accessible and useable by persons. Fake or unusable balconies are prohibited. All balconies shall remain within the property line. Metal railings with members painted dark, or glass panels are permitted.	The proposed building includes balconies that would be accessible and usable by persons living in the building.	Yes
<u>801.09.11.1.K – Glass – All Districts</u> Glass shall not be mirrored, reflective or darkened. Slight green, bronze and grey tints are acceptable. Spandrel glass shall not be counted as transparent glass for the purposes of calculations under the transparency requirements of Section 801.09.8 of the Standards, but may be used for detailing purposes. Environmentally appropriate glass, such as Low-emissivity glass, shall be used in all projects	The proposed glass would not be mirrored, reflective, or darkened.	Yes
<u>801.09.11.1.L – Door Systems – All Districts</u> Unless there are building security concerns, main entry doors shall be primarily glass. If, for security reasons, a main entry door is not possible or practical, a main entry door must be well detailed. Appropriately designed wood doors may be utilized for retail and office buildings.	The proposed entry doors would be glass.	Yes

	Comments	Compliance
Franchise Architecture		
<u>801.09.12.1 – All Districts</u>		
A. Typical or standardized franchise architecture (including building design that is the trade dress of, or identified with a particular chain, franchise or business and is repetitive in nature) is prohibited. B. Large, bold or bright signage, trade dress or logos must be altered and scaled down to meet the purpose of these standards as articulated herein, and must not be repeated on the facades of the principal structure more than once. All new, altered and/or proposed signage for buildings must be submitted for review under Section 801.09.18 by the Planning Commission at the time of Design Standards Review application	The proposed building would not be franchise architecture.	Not Applicable.

	Comments	Compliance
Walkways		
<u>801.09.13.1 – Lake Street District</u> A. Continuous sidewalks at least twelve (12) feet in width shall be provided along all public street frontages. B. Lighted sidewalks shall extend between rear and side parking areas and building entrances. All sidewalk lighting must project downward. C. Buildings with street frontage exceeding fifty (50) feet shall have at least one (1) bench. D. All sidewalk surfaces must match the exposed aggregate/brick accent sidewalks on Lake Street.	The proposed site plan includes a 12-foot Sidewalk along Lake Street that would meet the City's Lake Street sidewalk specifications of exposed aggregate surface with concrete accents. Two benches would be provided along Lake Street. The Ferndale Road street frontage includes adding a 6-foot wide concrete sidewalk with a landscaped boulevard with street trees between the road and the sidewalk.	Deviation Required. The streetscaping along Lake Street meets the requirements, but the sidewalk on Ferndale does not.

	Comments	Compliance
Landscaping		
801.09.14.1 – All Districts		
A. Seasonal landscaping shall be used in all Design Districts, including use of window boxes, hanging flowers baskets, vines and/or other similar seasonal landscaping. If feasible, garden areas and ornamental trees shall be used at the street level. B. Window boxes, hanging baskets and planters with seasonally appropriate plantings shall be used around entries to buildings. C. Vines shall be used to cover walls with more than one hundred (100) square feet of uninterrupted surface area. D. Streetscaping shall include all of the following: 1. Boulevard species trees, with at least three (3) caliper inches. 2. Exposed aggregate sidewalks with brick accents 3. Street lights 4. Benches (if building length is 50 feet or greater), which utilize existing city bench designs. 5. Flowers	The proposed landscape plan includes landscaped planers with seasonal plantings at the building entrance and along Lake Street and Ferndale Road. The proposed streetscaping along Lake Street includes six hackberry trees that would be located in tree grates within the sidewalk. The streetscaping along Ferndale Road includes six hackberry trees that would be located in the landscaped boulevard between the sidewalk and the street. All of the street trees would be 3 caliper inches in size. Two benches would be provided along Lake Street.	Yes

<u>801.09.14.2 – Lake Street District</u> A. Established Lake Street landscape treatments shall be followed in accordance with the specifications of the Wayzata Engineering Guidelines set forth in Wayzata City Code. Exposed aggregate with brick accent sidewalks shall be used. B. Approved boulevard trees, planted in sidewalk areas, shall be planted no more than twenty six (26) feet on center from each other.	The proposed sidewalk along Lake Street meets the City's guidelines and specifications for width and materials. The proposed landscaping plans includes boulevard trees along Ferndale Road and Lake Street.	Yes
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	Comments	Compliance
Parking Lot Landscaping		
<u>801.09.15.1 – All Districts</u> A landscaped buffer strip at least five (5) feet wide shall be provided between all parking areas and the sidewalk or street. The buffer strip shall consist of shade trees appropriately spaced for the particular Design District, and a decorative metal fence, masonry wall or hedge. A solid wall or dense hedge shall be no less than three (3) feet and no more than four (4) feet in height.	The proposed plans do not include any surface parking areas.	Not Applicable
Surface Parking		
<u>801.09.16.1 – All Districts</u> A. Off-street parking shall be located to the rear of buildings. When parking must be located in a side yard adjacent to the street, a landscaped buffer shall be provided in accordance with the Design Standards. The street frontage occupied by parking shall not exceed sixty (60) feet per property. B. Side-by-side parking lots creating a parking area frontage longer than sixty (60) feet are prohibited, except where a heavily landscaped buffer of at least twenty (20) feet wide completely separates both lots. C. Side yard parking shall not extend beyond the front yard setback of the primary building on the property. D. Front yard parking is prohibited. E. There shall be no corner parking.	The proposed plans do not include any surface parking areas.	Not Applicable

	Comments	Compliance
801.09.16.2 – All Districts – Bicycle Parking Commercial developments requiring more than twenty (20) parking spaces shall provide at least four (4) bicycle parking spaces in a convenient, visible, preferably sheltered location.	This section is not applicable to the residential building.	Not Applicable
Parking Structures		
801.09.17.1 – All Districts Parking structures shall meet the following standards, along with all other applicable building code standards: A. The ground floor façade abutting any public street or walkway shall be architecturally compatible with surrounding commercial or office buildings. B. The parking structure shall be designed in such a way that sloped floors do not dominate the appearance of the façade. C. Windows or openings shall be similar to those of surrounding buildings. D. Vines and other significant landscaping shall be used to minimize the visual impact of the parking structure.	This section is not applicable, as there is no parking ramp associated with the project.	Not Applicable

<u>801.09.17.2 – Lake Street District</u> A. If any part of a parking structure abuts Lake Street, that entire portion of the ground floor façade shall be occupied by at least eighty percent (80%) retail usage, extending to a depth of at least thirty (30) feet. B. The ground floor level of a parking structure shall not come within forty (40) feet of Lake Street. C. The top decks of parking structures visible from adjacent properties shall be designed with trellises and landscaping sufficient to screen at least fifty percent (50%) of the visible area.	This section is not applicable, as there is no parking ramp associated with the project.	Not Applicable
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	Comments	Compliance
Signs		
<u>801.09.18.1 – All Districts</u> A. Compatibility 1. Signs shall be architecturally compatible with the style, composition, materials, colors and details of the building, and with other signs on nearby buildings. Signs shall be an integral part of the building and site design. 2. A sign plan shall be developed for buildings which house more than one (1) business. Signs need not match, but shall be compatible with one another. Franchise or national chains must comply with these Sign Standards to create signs compatible with their context. 3. When illuminated signs are proposed, only the text and/or logo portion of the sign may be illuminated. Illuminated signs must be compatible with the location. Illumination of the sign to highlight architectural details is permitted. Fixtures shall be small, shielded, and directed towards the sign rather than toward the street, so as to minimize glare for pedestrians and adjacent properties. 4. Sign plans must be submitted for review as part of an Applicant for Design Approval. Proposed signs must also conform to the requirements of Section 801.27 of the Wayzata Zoning Ordinance.	The building includes two wall signs on the ground floor elevation of the building, which would be located at the main entrance to the building at Lake Street and Ferndale Road. The signs would be black metal lettering attached directly to the building face.	Yes

<u>801.09.18.2 – Permitted Signs – Lake Street District</u> A. Only the following types of signs are permitted in the Lake Street District: 1. Awning, canopy or marquee signs 2. Wall signs 3. Monument or ground signs 4. Projecting signs 5. Window signs (small accent signs) 6. Roof signs if located on pitched-roof buildings, below the peak of the roof	The proposed signs are both wall signs.	Yes
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	Comments	Compliance
Parking Lot and Building Lighting		
<u>801.09.19.1 – All Districts</u> A. Parking lot lighting shall be designed in such a way as to be in scale with its surroundings, and reduce glare. B. Cutoff fixtures shall be located below the mature height of trees located in parking lot islands so as to minimize ambient glow and light pollution. C. Pedestrian-scale lighting, not exceeding thirteen (13) feet in height, shall be located on walkways and adjacent to store entrances. All sidewalk lighting must be projected downwards. City light standard shall be followed for all public streets. D. Light posts shall be of a dark color. E. Lighting fixtures shall be compatible with the architecture of the building. F. Lights attached to buildings shall be screened by the building's architectural features to eliminate glare to adjacent properties. All façade lighting must be projected downwards. G. All lighting fixtures shall comply with City Code Section 801.16.6 as it relates to glare.	The building elevations include an exterior light example, which would be a down-cast wall sconce attached to the building.	Yes

Jeff Thomson

From: bruce.lea@wellsfargo.com [bruce.lea@wellsfargo.com]

Sent: Friday, October 14, 2016 1:50 PM

To: Ken Willcox; Bridget Anderson; Johanna McCarthy; Andrew Mullin; Steven Tyacke

Cc: cathyiverson@wayzata.or; Grahm Gnos; Graciela Gonzalez; lgruber@wayzata.org; Steven Young; Gregory Flannigan; Patrick Murray; bruce.lea@wellsfargo.com; colleen.wbcw@gmail.com

Subject: Meyers Dairy project/ Wayzata Bay Car Wash owner opinion

Dear Wayzata City Mayor, Council Members and Planning Commission Members,

I would like to state that as the 29 year owner of the Wayzata Bay Car Wash, that I am in full approval of the most current proposal before you.

I am looking forward to a much improved neighbor after almost ten years of vacancy.

If you have any questions of me, please feel free to either call or email me.

Best Regards,
Bruce

Jeff Thomson

From: Peggy Douglas <peggydouglas@mchsi.com>
Sent: Thursday, October 27, 2016 8:16 PM
To: Jeff Thomson
Subject: Meyer Project

I know the Meyer project is coming up again at the PC. Tim and Tom met with our neighborhood and the new proposal was favorably received by all. Today 3 of us met with Tim and Tom again, at their request, to talk about landscaping on the north side. We were all pleased with the meeting. They expressed an interest in keeping the conversation going. We all said that we are anxious to get the project going.

I have told Ken Willcox the above and I also spoke with Jeff Dahl.

I hope the PC approves the project. You may share my comments with the PC members. Thanks Jeff.

Peggy Douglass

Sent from my iPhone

Jeff Thomson

From: Judy Zitzloff <judy@zitzlofftrainingresources.com>
Sent: Saturday, October 29, 2016 7:54 PM
To: Jeff Thomson; Jeffrey Dahl
Subject: Meyer Place Proposal

Hi Jeff and Jeffrey,

We live in the Ferndale Ridge Townhomes which are directly behind the proposed Meyer Place Development.

We would like to throw our support to this proposed development. Tom Bakritges of Homestead Partners and Tim Whitten of Whiten Associates have been very thorough in their follow up meetings with us on keeping us abreast of the project as well as listening to our concerns and more importantly made amendments based on our concerns and suggested recommendations. They have definitely gone the extra mile.

We feel this would be a great improvement to our "end of Wayzata" and endorse this proposed development 100%.

Thank you.

Ray and Judy Zitzloff

Judy Zitzloff

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612-845-9284 – cell

Jeff Thomson

From: yukonllc@gmail.com
Sent: Tuesday, November 01, 2016 5:43 PM
To: Jeff Thomson
Subject: Meyer Dairy building

Hello Jeff -

Thank you for the notification of next week's Planning Commission's meeting to discuss Homestead Partners application for rezoning and development of the Meyer Dairy property.

I've had a chance to review the revised design for the proposed condominium building and I think its a great use of the property and would be a beautiful addition to our neighborhood. As owner one of the single-family residences closest to the proposed project, I want to let the members of the Planning Commission know I have no objection.

David Saggau
215 Ferndale Rd S.

Sent from my iPhone

Jeff Thomson

From: Frederick <fcrichter46@gmail.com>
Sent: Wednesday, November 02, 2016 1:57 PM
To: Jeff Thomson
Subject: Meyer Place

Jeff

I want to be on record of supporting the latest Meyer Place 21 unit residential condominium building at 105 Lake Street East. The residential use, below grade parking, three level with the upper level set backs and the use as well as composition of materials will in my opinion be a positive addition to East Lake Street.

As a an immediate neighbor I welcome the project.

Frederick Richter
103 Edgewood Ct
Wayzata Mn 55391
fcrichter@mchsi.com
612 964 3916