



Wayzata Planning Commission

Meeting Agenda

Monday, December 5, 2016

Community Room,
600 Rice Street East,
Wayzata, Minnesota

- 7:00 p.m.
1. **Call to Order & Roll Call**
 2. **Approval of Agenda**
 3. **Approval of Minutes**
 - a. November 21, 2016 Meeting
 4. **Old Business Items:**
 - a. Meyer Place on Ferndale – 105 Lake Street E
 - Rezoning, PUD Concept and General Plans, and Design Review
 5. **Public Hearing Items:**
 - a. None
 6. **Other Items:**
 - a. Review of Development Activities
 - b. Next Meeting is December 19, 2016
 7. **Adjournment**

NOTES:

¹ Members of the Planning Commission and some staff may gather at the Wayzata Bar and Grill immediately after the meeting for a purely social event. All members of the public are welcome.

**WAYZATA PLANNING COMMISSION
DRAFT MEETING MINUTES
NOVEMBER 21, 2016**

AGENDA ITEM 1. Call to Order and Roll Call

Chair Iverson called the meeting to order at 7:00 p.m.

Present at roll call were Commissioners: Young, Gruber, Iverson, Murray, and Gnos. Absent: Commissioners: Gonzalez and Flannigan. Director of Planning and Building Jeff Thomson and City Attorney David Schelzel were also present.

AGENDA ITEM 2. Approval of Agenda

Commissioner Gruber made a motion, Seconded by Commissioner Murray to approve the November 21, 2016 meeting agenda as presented. The motion carried unanimously.

AGENDA ITEM 3. Approval of Minutes

a.) Approval of October 17, 2016 Planning Commission Minutes

Commissioner Gruber made a motion, Seconded by Commissioner Murray to approve the October 17, 2016 Planning Commission Minutes as presented. The motion carried unanimously.

b.) Approval of November 7, 2016 Planning Commission Minutes

Commissioner Young made a motion, Seconded by Commissioner Gruber to approve the November 7, 2016 Planning Commission Minutes as presented. The motion carried unanimously.

AGENDA ITEM 4. Old Business Items:

a.) Meyer Place on Ferndale – 105 Lake Street E

i. Rezoning, PUD Concept and General Plans, and Design Review

Director of Planning and Building Thomson stated the applicant, Homestead Partners, and the property owner, Meyer Properties, have submitted a development application to redevelop the Meyer Brothers Dairy site at 105 Lake Street E. The development application includes requests to approve the Rezoning of the property from C-4A to PUD/Planned Unit Development, concurrent PUD Concept and General Plan of Development, and Design with deviations for building recession between first and second floor of the building, width of the sidewalk along Ferndale Rd, and a tan roof color. Mr. Thomson noted that the Planning Commission reviewed

1 the development application and held a public hearing at its meeting on November 7, 2016.
2 After discussing the application, the Planning Commission directed staff to prepare a draft
3 Planning Commission Report and Recommendation of approval of the development application
4 for consideration at its next meeting. Since that time, the applicant has submitted revised plans
5 for the project, which address the comments and questions raised by the Planning Commission at
6 the last meeting. Mr. Thomson reviewed the changes including additional glass added to the
7 first-floor elevation along Lake Street, the decrease in the amount of cement fiberboard on the
8 exterior elevations, the increase in the amount of wood on the exterior elevations, additional
9 information regarding the second-floor setback along Lake Street, and the addition of windows
10 to the rear elevation.

11
12 Applicant's representative Mr. Tim Whitten, Whitten Associates, 4159 Heatherton Place,
13 Minnetonka, stated the design revisions have eliminated three of the requested design deviations
14 previously reviewed by the Planning Commission, and added additional windows per Chair
15 Iverson's request. Commissioner Gonzalez had requested they look at the second level setback,
16 and Mr. Whitten stated they are within 2% of the standard and will continue to work on meeting
17 this standard before they meet with the City Council.

18
19 Commissioner Young stated he supported the application and appreciated that the number of
20 Design deviations had been reduced.

21
22 Commissioner Gruber stated she does not support this project because it is too massive for this
23 area, and the City does not need more \$1 million condo, particularly on Lake Street. She would
24 like the City to do a better job of balancing this kind of development with the need for lower cost
25 residences.

26
27 Commissioner Gnos stated he continues to support the application, and the site needs to be
28 developed.

29
30 Chair Iverson stated she appreciates the work that has gone into the project, but she is not in
31 support of this application. There is no retail in this location, and Ms. Iverson feels the City may
32 be short sighted by not having retail on this end of Lake Street. She stated she would like to see
33 single-family home entrances, so that the building appears less massive and more lake-like.

34
35 Commissioner Murray stated he does not believe this is the right thing for this location.

36
37 Commissioner Young made a motion, Seconded by Commissioner Gnos to approve the Planning
38 Commission Report and Recommendation, as presented, recommending approval of the PUD
39 Rezoning, Concurrent PUD Concept and General Plan of Development, and Project Design for a
40 new three story residential development at 105 Lake Street East. The motion failed 2-ayes, 3
41 Nays (Gruber, Iverson, Murray).

42
43 Commissioner Gruber made a motion to direct staff to prepare a Planning Commission Report
44 and Recommendation recommending denial of the application for the PUD Rezoning,
45 Concurrent PUD Concept and General Plan of Development, and Project Design for a new three
46 story residential development at 105 Lake Street East.

1
2 In response to discussion on Commissioner Gruber's motion, City Attorney Schelzel stated the
3 Commission needs to move a recommendation forward to the City Council as outlined in the
4 Zoning Ordinance.

5
6 Mr. Thomson stated the Commission could also table this item until all of the Commission is
7 present.

8
9 Chair Iverson clarified that the City Council would be made aware that the application was set to
10 be approved based on the previous action of a full Commission, and because there are two
11 members absent this evening, the application does not have the same support.

12
13 Commissioner Gruber withdrew the motion.

14
15 Commissioner Gruber made a motion to table action on the Planning Commission Report and
16 Recommendation, recommending approval of the PUD Rezoning, Concurrent PUD Concept and
17 General Plan of Development, and Project Design for new three story residential development at
18 105 Lake Street East, until the next meeting of the Commission.

19
20 Mr. Tom Bakritges, Homestead Partners, 525 15th Avenue South, Hopkins, asked if the
21 application would be on the City Council December 20 meeting.

22
23 Mr. Thomson stated the next Planning Commission meeting was December 5, and the
24 application could be on the December 20 City Council meeting agenda.

25
26 Mr. Bakritges stated this would meet their deadline.

27
28 Commissioner Gnos seconded the motion to table the vote for the Report and Recommendation
29 until December 5, 2016. The motion carried unanimously.

30
31
32 **AGENDA ITEM 5. New Business Items:**

33
34 **a.) Urness Residence – 1443 Westwood La S**

35 **i. Review of House Plans**

36
37 Director of Planning and Building Thomson stated the applicant, Hendel Homes, has submitted
38 building plans for construction of a new home at 1443 Westwood La S. The property is part of
39 the MacMillan Place subdivision that was approved by the City Council in April 2015 pursuant
40 to City Council Resolution No. 17-2015. The subdivision includes two (2) single-family
41 residential lots with a shared driveway from Westwood Lane. The applicant has submitted the
42 house plans for review and approval by the Planning Commission and City Council as required
43 by Resolution No. 17-2015. Staff had also received additional information from the applicant
44 regarding the lot coverage (3.8%) and impervious surface (13.8%), and these do meet the City's
45 requirements. He reviewed the house plans, driveway access, and tree preservation.

1 Mr. Rick Hendel, Hendel Homes, 15250 Wayzata Blvd, Wayzata, stated there are potential
2 issues with the lot to the south, and because of this they are requesting the change in the
3 driveway configuration in the plans. They do not want to bring the driveway all the way to that
4 lot then find out that it is not buildable. They are looking at upgrading the rooftop of the home to
5 slate.

6
7 Chair Iverson opened a public hearing at 7:32 p.m.

8
9 Mr. Thomson clarified that an official public hearing is not required, but the Commission could
10 take public comment.

11
12 There being no one wishing to speak, Chair Iverson closed the public hearing at 7:33 p.m.

13
14 Commissioner Young made a motion, Seconded by Commissioner Gruber to recommend
15 approval of the preliminary house plans for 143 Westwood La S, based on the finding that the
16 design meets the standards of City Code Section 805.14.E.8 and satisfies the condition of
17 Resolution No. 17-2015. The motion carried unanimously.

18
19
20 **AGENDA ITEM 6. Other Items:**

21
22 **a.) Review of Development Activities**

23
24 Director of Planning and Building Thomson stated the Planning Commission held a workshop
25 early this evening to discuss a 2017 work plan, and this will be brought to the Commission for
26 review at a future meeting. The next meeting would also include a vote to adopt a Report and
27 Recommendation for the Meyer Place on Ferndale project. The December 19 agenda will likely
28 include an application from the Blue Water Theatre Group to occupy the current location of the
29 Unitarian Church. Light up the Lake is on Friday. The City Council is conducting interviews
30 for openings in all Boards and Commissions. Mr. Thomson noted that at the last City Council
31 meeting, the Council had discussed the financing for the Parking Ramp. Financing will be done
32 through a combination of cash the City has identified in its budget, and issuing GO Tax
33 Increment Bonds, using excess TIF revenues from the Bay Center project to pay off the bonds
34 over time. The Council also discussed the parking mitigation plan during the construction
35 period, and they adopted the fee in lieu of parking for use of the parking ramp. The City Council
36 also reviewed the Holdridge project and they tabled it for further information on grading.

37
38 **b.) Next Meeting is December 5, 2016**

39
40 Commissioner Young stated he would be traveling on December 5, and expressed concerns that
41 he would not be at the meeting to continue to support and vote on the Meyer Place on Ferndale
42 Project. He would like to ensure that the City Council is aware of this.

43
44 City Attorney Schelzel stated that Commissioners had to be present at the meetings to participate
45 in discussions, and vote to adopt reports and recommendations. He suggested the Commission
46 could consider changing the procedure, so that Reports the Commission has directed staff to

1 prepare be part of a consent agenda, since the recommendation on project was already voted on
2 by the Commission.
3

4 Mr. Thomson stated another option would be for staff to prepare a draft Report and
5 Recommendation when the application is reviewed and first brought to the Commission. This
6 would give the Commission the opportunity to move items forward rather than having to bring
7 them back to take an action on an application that was already voted on by the Commission.
8

9 Commissioner Gruber stated she would not support the Meyer Place project even if it was on a
10 consent agenda. The City needs to think about what should occur in this area.
11

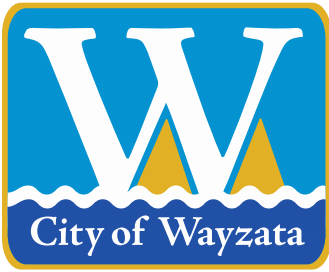
12
13 **AGENDA ITEM 7. Adjournment.**
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15 Commissioner Gruber made a motion, seconded by Commissioner Murray, to adjourn the
16 meeting of the Planning Commission. The motion carried unanimously.
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18 The Planning Commission meeting was adjourned at 8:00 p.m.
19

20 Respectfully submitted,
21

22 Tina Borg
23 *TimeSaver Off Site Secretarial, Inc.*



City of Wayzata

600 Rice Street
Wayzata, MN 55391-1734

Mayor:

Ken Willcox

City Council:

Bridget Anderson
Johanna McCarthy
Andrew Mullin
Steven Tyacke

City Manager:

Jeffrey Dahl

Date: December 1, 2016

To: Planning Commission

From: Jeff Thomson, Director of Planning and Building

Subject: Meyer Place on Ferndale

Application Information

The applicant, Homestead Partners, and the property owner, Meyer Properties, have submitted a development application to redevelop the Meyer Brothers Dairy site at 105 Lake Street E. The development application includes demolition of the existing vacant commercial building and construction of a three story building. The building would include up to 21 residential condominium units and 52 underground enclosed parking spaces. The development application includes the following actions:

- Rezoning from C-4A to PUD/Planned Unit Development
- Concurrent PUD Concept and General Plan of Development Review
- Design Review with the following deviations:
 - o Building recession between first and second floor of the building
 - o Width of the sidewalk along Ferndale Rd
 - o Tan roof color

Planning Commission Review

The Planning Commission reviewed the development application and held a public hearing at its meeting on November 7, 2016. After discussing the application, the Planning Commission directed staff to prepare a Planning Commission Report and Recommendation for approval of the development application.

On November 21, 2016, the Planning Commission considered the draft Report and Recommendation for approval. At the meeting, a motion to adopt the draft Report and Recommendation failed on a 2 to 3 vote. The Planning Commission subsequently tabled action on the development application until the December 5th meeting to have the full Commission in attendance.

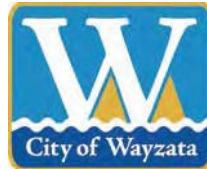
Planning Commission Options

The Planning Commission should consider the following options for adopting a Report and Recommendation for the development application:

- Adopt the draft Report and Recommendation on Attachment A, which recommends approval of the development application, as the Planning Commission directed staff to prepare at its meeting on November 7th.
- Adopt a Report and Recommendation which recommends denial of the project, with findings based on the previous comments from the Planning Commission:
 - o The development is not consistent with the Wayzata Comprehensive Plan. The proposed building does not include retail uses within the first floor along Lake Street, as encourage by the policies in the Comprehensive Plan for the Central Business District area. In addition, the development does not provide a variety of housing options for upper-story housing as it is the same as housing provided in other developments in the Central Business District.
 - o The proposed use does not conform to the present and future land uses of the area because the building does not include retail uses on the ground floor along Lake Street.
 - o The development would have adverse effects on the area in which it is proposed. The traffic in the area is dangerous and the development would create more traffic in the area.
 - o The development does not provide innovations in development and would not provide greater variety in type, design, and placement of structures. The mass, density, and lack of green space of the proposed building and site plan is out of character with the surrounding neighborhood.
 - o The development does not result in a more desirable and creative environment than would be possible through the application of the current C-4A zoning district standards. The proposed building is taller, larger, and more dense than would be allowed by the C-4A district.

Attachments

- Attachment A: Draft Planning Commission Report and Recommendation
- Attachment B: Design Critique
- Attachment C: Plans



WAYZATA PLANNING COMMISSION

December 5, 2016

REPORT AND RECOMMENDATION OF APPROVAL OF PUD REZONING, CONCURRENT PUD CONCEPT AND GENERAL PLAN OF DEVELOPMENT, AND PROJECT DESIGN FOR NEW THREE STORY RESIDENTIAL DEVELOPMENT AT 105 LAKE STREET EAST

DRAFT

SUMMARY OF RECOMMENDATION

1. **Approval** of Rezoning from C-4A to PUD/Planned Unit District for new residential condominium development
2. **Approval** of Concurrent PUD Concept and General Plan of Development for new residential condominium development
3. **Approval** of Project Design

REPORT AND RECOMMENDATION

Section 1. BACKGROUND

- 1.1 **Project.** Homestead Partners, and the property owner, Meyer Properties, (together, the "Applicant") have submitted a development application (the "Application") to redevelop the Meyer Brothers Dairy site at 105 Lake Street E into a new residential planned unit development, involving demolition of the existing vacant commercial building and construction of a new three story residential building with up to 21 residential condominium units and 52 underground enclosed parking spaces (the "Project").
- 1.2 **Application Requests.** As part of the Application, the Applicant is requesting approval of the following land use requests:
 - A. **Rezoning from C-4A to PUD/Planned Unit Development:** The property is currently zoned C-4A, and the Applicant is requesting a rezoning to PUD (the "Rezoning" or "Zoning Amendment").

- B. Concurrent PUD Concept and General Plan of Development: A rezoning to PUD requires both concept and general plan of development review. The applicant is requesting concurrent review of both the concept plan and general plan, as shown on Attachment B. (the "PUD Concept and General Plan").
- B. Design: Construction of a new building requires design review and approval of the design ("Project Design") under the standards of Section 801.09.1.5 of the Zoning Ordinance ("Design Standards). The Applicant is requesting approval of the design elements of the building, as well as certain deviations from the Design Standards, further detailed in the Design Critique and Staff Report, that pertain to (i) building recession; (ii) Ferndale sidewalk; and (iii) roof color (the "Deviations").

- 1.3 Property. The address, property identification number and owner of the parcel comprising the subject property (the "Property") are:

105 Lake Street E	06-117-22-23-0034	Meyer Properties
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- 1.4 Land Use Designations. The Property falls within the following land use districts:

Current zoning:	C-4A/Limited Central Business District
Comp plan designation:	Central Business District

- 1.5 Notice and Public Hearing. Notice of a public hearing on the Application was published in the *Wayzata Sun Sailor* on October 27, 2016. A copy of the notice was mailed to all property owners located with 350 feet of the Property on October 28, 2016. The required public hearing was held at the November 7, 2016 Planning Commission meeting.

Section 2. STANDARDS

- 2.1 Zoning Ordinance Amendments / Rezoning.

In considering a proposed amendment to the Zoning Ordinance, the Planning Commission shall consider the possible adverse effects of the proposed amendment. Its judgment shall be based upon the following factors:

- A. The proposed action in relation to the specific policies and provisions of the official City Comprehensive Plan.
- B. The proposed use's conformity with present and future land uses of the area.
- C. The proposed use's conformity with all performance standards contained in the Zoning Ordinance (i.e., parking, loading, noise, etc.).

- D. The proposed use's effect on the area in which it is proposed.
- E. The proposed use's impact upon property value in the area in which it is proposed.
- F. Traffic generation by the proposed use in relation to capabilities of streets serving the property.
- G. The proposed use's impact upon existing public services and facilities including parks, schools, streets, and utilities, and the City's service capacity.

2.2 Planned Unit Developments (PUDs).

- A. Intent and Purpose of PUDs. Section 801.33 of the Zoning Ordinance provides for the establishment of Planned Unit Developments to allow greater flexibility in the development of neighborhoods and/or non residential areas by incorporating design modifications as part of a PUD conditional use permit or a mixture of uses when applied to a PUD District. The PUD process, by allowing deviation from the strict provisions of the Zoning Ordinance related to setbacks, lot area, width and depth, yards, etc., is intended to encourage:
 - 1. Innovations in development to the end that the growing demands for all styles of economic expansion may be met by greater variety in type, design, and placement of structures and by the conservation and more efficient use of land in such developments.
 - 2. Higher standards of site and building design through the use of trained and experienced land planners, architects, landscape architects, and engineers.
 - 3. More convenience in location and design of development and service facilities.
 - 4. The preservation and enhancement of desirable site characteristics such as natural topography and geologic features and the prevention of soil erosion.
 - 5. A creative use of land and related physical development which allows a phased and orderly development and use pattern.
 - 6. An efficient use of land resulting in smaller networks of utilities and streets thereby lower development costs and public investments.
 - 7. A development pattern in harmony with the objectives of the Wayzata Comprehensive Plan. (PUD is not intended as a means to vary applicable planning and zoning principles.)

8. A more desirable and creative environment than might be possible through the strict application on zoning and subdivision regulations of the City.
- B. General Standards. Section 801.33.2.A of the Zoning Ordinance sets forth the general standards for review of a PUD application. These include:
1. Health Safety and Welfare; Council Discretion. In reviewing the PUD application, the Council shall consider comments on the application of those persons appearing before the Council, the report and recommendations of the Planning Commission, the recommendations on design and any staff report on the application. The Council also shall evaluate the effects of the proposed project upon the health, safety and welfare of residents of the community and the surrounding area and shall evaluate the project's conformance with the overall intent and purpose of Section 33 of the PUD Ordinance. If the Council determines that the proposed project will not be detrimental to the health, safety and welfare of residents of the community and the surrounding area and that the project does conform with the overall intent and purpose of Section 33 of the PUD Ordinance, it may approve the PUD, although it shall not be required to do so.
 2. Ownership. Applicant/s must own all of the property to be included in the PUD.
 3. Comprehensive Plan Consistency. The PUD project must be consistent with the City's Comprehensive Plan.
 4. Sanitary Sewer Plan Consistency. The PUD project must be consistent with the City's Sanitary Sewer Plan.
 5. Common Open Space. The PUD project must provide common private or public open space and facilities at least sufficient enough to meet the minimum requirements established in the Comprehensive Plan, and contain provisions to assure the continued operation and maintenance of such.
 6. Operating and Maintenance Requirements. Whenever common private or public open space or service facilities are provided within a PUD, the PUD plan must contain provisions to assure the continued operation and maintenance of such open space and service facilities to a predetermined reasonable standard. Common private or public open space and service facilities within a PUD must be placed under the ownership of one of the following, as approved by the City Council: (i) dedicated to the public, where a community-wide use is anticipated, (ii) Landlord control, where only tenant use is anticipated, or (iii) Property

Owners Association, provided the conditions of 801.33.2.A.6.c are meet.

7. Staging of Public and Common Open Space. When a PUD provides for common private or public open space, and is planned as a staged development over a period of time, the total area of common or public open space or land escrow security in any stage of development shall, at a minimum, bear the same relationship to the total open space to be provided in the entire PUD as the stages or units completed or under development bear to the entire PUD.
8. Density. The PUD project must meet the density standards agreed upon by the applicant and City, which must be consistent with the Comprehensive Plan.
9. Utilities. All utilities associated with the PUD must be installed underground and meet the utility connection requirements of Section 801.33.2.A.10.
10. Utility Connections. All utilities associated with proposed PUD must meet the utility connection requirements of Section 801.33.2.A.10.
11. Roadways. All roadways associated with the PUD must conform to the Design Standards and Wayzata Subdivision Regulations, unless otherwise approved by City Council.
12. Landscaping. All landscaping associated with the PUD must be according to a detailed plan approved by the City Council. In assessing the plan, the City Council shall consider the natural features of the particular site, the architectural characteristics of the proposed structure and the overall scheme of the PUD plan.
13. Setbacks. The front, rear and side yard restrictions on the periphery of the Planned Unit Development site at a minimum shall be the same as imposed in the underlying districts, if a PUD conditional use permit, or the previous zoning district, if a PUD District. No building shall be located less than fifteen (15) feet from the back of the curb line along those roadways which are part of the internal street pattern. No building within the PUD project shall be nearer to another building than one-half (1/2) the sum of the building heights of the two (2) buildings. In PUD Districts for parcels that were zoned commercial prior to PUD and which exceed 13 acres, the allowable setbacks shall be as negotiated and agreed upon between the applicant and the City._
14. Height. The maximum building height to be considered within a PUD District shall be thirty five (35) feet and three (3) stories, whichever is lesser. There shall be no deviation from the height standards applied

within the applicable zoning districts for PUD conditional use permits. In PUD Districts for parcels that were zoned commercial prior to PUD and which exceed 13 acres, the maximum allowable height and number of floors shall be as negotiated and agreed upon between the applicant and the City.

- 2.3 Design Standards. All new nonresidential building construction in the City must comply with the Design Standards found in Section 9 of the Zoning Ordinance. The Project falls within the Lake Street Design District, and the relevant design standards applicable to the Project are outlined in the attached “Design Critique” (Attachment A). Deviations from the Design Standards may be permitted under Sec. 801.09.21 (with the exception of Section 7 of the Design Standards) if City Council (after considering the Planning Commission’s recommendation) makes a finding that the negative impact of such deviation is outweighed by one or more of the following factors:

1. The extent to which the project advances specific policies and provisions of the City’s Comprehensive Plan.
2. The extent to which the deviation permits greater conformity with other Standards, policies behind the Standards, or with other Zoning Ordinance standards.
3. The positive effect of the project on the area in which the project is proposed.
4. The alleviation of an undue burden, taking into account current leasing, housing and commercial conditions.
5. The accommodation of future possible uses contemplated by the Design Standards, the Zoning Ordinance or the Comprehensive Plan.
6. A national, state or local historic designation.
7. The project is the remodeling of an existing building which largely otherwise conforms to the Design Standards.

Section 3. FINDINGS

Based on the Application materials, additional materials submitted by the Applicant, staff reports, public comment and information presented at the public hearing, and the standards of the Wayzata Zoning Ordinance, the Planning Commission of the City of Wayzata makes the following findings of fact:

- 3.2 Zoning Ordinance Amendments / Rezoning. The proposed use associated with the Project (the “Proposed Use”) would not have an adverse effect on surrounding

properties or the community, and meets the standards for a zoning ordinance amendment:

- A. The Proposed Use is consistent with the Comprehensive Plan land use designation of the Property, and meets the policies of the Comp Plan for the Central Business District (CBD), which call for a mix of commercial, office, and residential uses in the area; high quality development; design and architecture that compliments the area; ease of vehicular and pedestrian traffic; improvements to sidewalks, walkways and street furniture; enhanced street trees and landscaping elements; orderly transition between commercial/office areas of the CBD and adjacent residential neighborhoods; upper story housing with third floor setbacks; and redevelopment of property in need of redevelopment.
- B. The Proposed Use is consistent with current and future land uses in the area.
- C. The Proposed Use would meet the performance standards outlined in the Zoning Ordinance, except those for which approvals of Deviations have been requested.
- D. The Proposed Use would not adversely impact surrounding properties, as noted by multiple neighboring property owners that have expressed support of the Project.
- E. The Proposed Use would not negatively impact property values in the area.
- F. The existing transportation facilities can meet the traffic demand of the Proposed Use.
- G. The Proposed Use would not exceed service capacity of public services and facilities including parks, schools, streets, and utilities, and the City's service capacity.

3.2 PUD. The PUD Concept Plan meets the purpose and intent of the PUD Ordinance.

- A. The PUD reflects higher standards of site and building design through the use of trained and experienced land planners, architects, landscape architects, and engineers.
- B. The PUD meets the land use designation for the Property, and is consistent with the goals and objectives of the comprehensive plan.
- C. The PUD creates a more desirable and creative environment than would be possible under the existing C-4A/Limited Central Business District.
- D. In addition, the PUD meets all of the following PUD general standards listed in Section 801.33.2.A of the Zoning Ordinance for residential PUDs:

1. Health Safety and Welfare. The Project will not be detrimental to the health, safety and welfare of residents of the community and the surrounding area, and conforms with the overall intent and purpose of the PUD Ordinance as noted in this Report.
2. Ownership. The Applicant owns all of the property to be included in the PUD.
3. Comprehensive Plan Consistency. The Project is consistent with the City's Comprehensive Plan as noted in this Report.
4. Sanitary Sewer Plan Consistency. The Project is consistent with the City's Sanitary Sewer Plan.
5. Common Open Space. The Project will provide common private and public open space and facilities at least sufficient enough to meet the minimum requirements established in the Comprehensive Plan, and the Development Agreement with the Applicant for the Project should contain provisions to assure the continued operation and maintenance of such.
6. Operating and Maintenance Requirements. The Development Agreement for the Project and future Property Owners Association governing documents should contain provisions to assure the continued operation and maintenance of the common private and public open space and service facilities provided within the Project.
7. Staging of Public and Common Open Space. The Development Application is not planned as a staged development. The Project, including the common private and public open space, would all be constructed at one time.
8. Density. The Project density standards are acceptable to the City and consistent with the Comprehensive Plan.
9. Utilities. As a condition of approval, all utilities associated with the PUD must be installed underground and meet the utility connection requirements of Section 801.33.2.A.10.
10. Utility Connections. As a condition of approval, all utilities associated with proposed PUD must meet the utility connection requirements of Section 801.33.2.A.10.
11. Roadways. The Project will not have roadways.

12. Landscaping. The Applicant has submitted a detailed and acceptable landscaping plan that considers the natural features of the Property and surrounding area, the architectural characteristics of the proposed structure and the overall scheme of the Project.
13. Setbacks. The front, rear and side yard restrictions on the periphery of the Project meet the standards of the previous zoning district.
14. Height. The maximum building height in the Project will not exceed thirty five (35) feet and three (3) stories.

3.3 Project Design. The Project meets the applicable provisions of the Design Standards except for the Deviations as shown in the attached Design Critique. Any negative impacts of the Deviations are outweighed by the following factors:

1. The extent to which the Project advances specific policies and provisions of the City's Comprehensive Plan, as noted in this Report.
2. The extent to which the deviations permit greater conformity with other Standards, policies behind the Standards, or with other Zoning Ordinance standards, as noted in the record.
3. The positive effect of the Project on the area in which the Project is proposed.

Section 4. RECOMMENDATION

4.1 Planning Commission Recommendation. Based on the findings in section 3 of this Report, the Planning Commission recommends **APPROVAL** of the following land use requests in the Application:

1. Rezoning from C-4A to PUD/Planned Unit District for new residential condominium development
2. Concurrent PUD Concept and General Plan of Development for new residential condominium development
3. Project Design, including the Deviations

4.2 Recommended Conditions of Approval. The Planning Commission recommends the above approvals be conditioned upon the following:

1. The Applicant must enter into a stormwater maintenance agreement with the City that will cover design, installation, maintenance, and inspection of all stormwater management systems approved as part of this Application, which will be recorded against the Property.
2. The Applicant must revise the PUD Concept and General Plans to extend the

sidewalk along Ferndale Rd S further to the north to connect to Edgewood Court. The design of the sidewalk must be the same as the Ferndale Rd S sidewalk shown on the PUD Concept and General Plans, and must be located within the City's right of way. The final sidewalk design must be reviewed and approved by the City Engineer.

3. The Applicant and/or the Property Owners' Association must enter into an agreement with the City for maintenance of the common open area in the southwest corner of the Property, as depicted on the Site Plan.
4. The Applicant must secure all necessary building permits for construction, and all laws and regulations applicable to the Project.
5. All expenses of the City of Wayzata related to processing the Application, including consultant, expert, legal, and planning fees incurred, must be fully reimbursed by the Applicant.
6. The Applicant must enter into a Development Agreement with the City for the Project, that addresses the conditions of approval and the requirements of the Zoning Ordinance, in a form acceptable to the City Attorney.

Adopted by the Wayzata Planning Commission this 5th day of December 2016.

Voting In Favor:
Voting Against:
Abstaining:
Absent:

Attachment A

Design Critique

DRAFT

Attachment B

PUD Concept and General Plans

DRAFT

Meyer Place on Ferndale – 105 Lake St E

Design Critique (Based on Architectural Plans dated 11/3/2016 and revised 11/14/2016 and 11/15/2016, Civil Plans dated 10/4/2016, and Landscape Plan dated 11/4/2016)

November 17, 2016

	Comments	Compliance
Building Uses		
<u>801.09.2.1 – Lake Street District</u> All new buildings east of Barry Avenue on Lake Street shall have retail usage at least eighty percent (80%) of the ground floor facing Lake Street. The remaining twenty percent (20%) of the ground floor frontage may only be used for walkways, public access, or public facilities. Retail activities shall comprise a total of at least fifty percent (50%) of the usage of the total building footprint.	The site is located west of Barry Avenue.	Not Applicable
Building Recesses		
<u>801.09.3.1.A – All Districts</u> Building facades shall be articulated through the use of pilasters and/or recesses that create visible shadow lines and dimensions especially on the street level	The proposed building utilizes pilasters and recesses to provide articulation of the façades.	Yes
<u>801.09.3.1.B</u> Street level landscaped courtyards, outdoor seating areas and gathering areas shall be incorporated into building and site plan design.	The project includes planters along the Lake Street and Ferndale road frontages and a potential public feature at the intersection adjacent to the main entrance to the building. The plans also include two benches incorporated into the planter walls along Lake Street.	Yes

	Comments	Compliance
Building Width		
<u>801.09.4.1 All Districts – New Buildings</u> In order to reduce the scale of longer façades and to eliminate the long horizontal expressions of buildings, divisions or breaks in materials shall be included and at least three of the following design strategies shall be incorporated into the design: 1. Window bays 2. Special treatment at entrances 3. Variations in roof lines or parapet detailing 4. Awnings 5. Building setbacks or articulation of the facade 6. Rhythm of elements	The proposed building includes special treatment at the building entrance, variations in roof lines, articulation of the façade with varying building lines and recessions, and a rhythm of elements along each building elevation.	Yes

Upper Story Setbacks		
<u>801.09.5.1.A – All Districts – New Buildings</u> Building height shall conform to the height of the applicable zoning district. Where three (3) story buildings are permitted, the third (3 rd) story must be recessed from all façades fronting public right of ways at least a distance equal to the vertical distance of the 3 rd story height from the second (2 nd) floor footprint, or an average of ten (10) feet across the facade, but no portion of the 3 rd story structure shall be closer than six (6) feet to the 2 nd story façade. The 3 rd story façade shall be designed with railings, pillars, dimensional windows, building recesses or other similar design techniques to break up the 3 rd story façade.	The third level is fully recessed from the lower levels of the building. The third floor is stepped back between 10 and 18 feet along both Ferndale Rd and Lake Street.	Yes
<u>801.09.5.1.B – All Districts – New Buildings</u> The façades fronting public right-of-ways of every two and three story building, longer than sixty (60) feet, must have a recessed second story of approximately twenty-five percent (25%) of the façade's length, setting back a minimum of six (6) feet from the face of the first floor façade. The required third floor setback must follow the frontal plane of the second story setback.	The second story along Lake Street would be stepped back for 23% of the building length. The second story is stepped back 12 to 15 feet from the first floor in the balcony locations. The applicant has also indicated that the both the first and second floors are stepped back from the property line along Lake Street, which breaks up the mass of the building and meets the intent of the design standard.	Deviation Required
<u>801.09.5.1.C – All Districts – New Buildings</u> Wintertime sun orientation, solar access, and views of Lake Minnetonka are significant issues within the Design Districts. Building height should not negatively and significantly impact neighboring properties.	The proposed plans include a shadow study which shows the building would create minimal shading onto adjacent buildings. The plans also include a profile views of the proposed building as viewed from surrounding properties.	Yes

Roof Design		
<u>801.09.6.1 – All Districts</u> “Green” roofs, roof garden terraces, arbors and other similar structures are encouraged on roofs of building.	The proposed building does not include any green roofs.	Not Applicable
<u>801.09.6.2.A – All Districts – Roof Materials</u> The roof material for all sloped roofs in all districts shall be slate, untreated copper, pre-finished metal, cedar shake or asphalt shingle in dark colors. <u>801.09.6.2.B – All Districts – Roof Materials</u> The roof material for all flat roofs in all districts shall be treated synthetic membrane or other similar material in dark colors.	The proposed building has a flat roof which would consist of a tan membrane material.	Deviation Required
Screening of Rooftop Equipment		
<u>801.09.7.1 – Lake Street and Bluff Districts</u> No mechanical equipment for a building may be located on the roof deck. All such mechanical equipment must be located within the interior of the structure.	The proposed plans do not include any mechanical equipment on the roof of the building.	Yes

	Comments	Compliance
Facade Transparency		
801.09.8.2 – Lake Street District No less than fifty percent (50%) of the ground level façade of any building fronting Lake Street shall be transparent glass. No less than twenty-five percent (25%) of the ground level side and rear façade facing a public right of way, parking area or open space shall be transparent glass.	The proposed building is comprised of 50% glass on the ground level along Lake Street, and 36% glass along Ferndale Road.	Yes
Ground Level Expression		
801.09.9.1 – All Districts In multi-story buildings, the ground floor shall be distinguished from the floors above by the use of at least three of the following elements: 1. An intermediate cornice line 2. A difference in building materials or detailing 3. An offset in the façade 4. An awning, trellis, or loggia 5. Arcade 6. Special window lintels 7. Brick/stone corbels	The proposed building includes an intermediate cornice line, a difference in building materials between the first and second floor, and special window lintels on the first floor elevations.	Yes
Entries		
801.09.10.1 – All Districts The front facade of all buildings shall be landscaped with window boxes or planters with seasonally appropriate plantings. The main entries shall face the primary street at sidewalk grade.	The proposed plans include landscaped planters along both Lake Street and Ferndale Rd.	Yes

Building Materials and Quality		
<u>801.09.11.1.A – Primary Opaque Surfaces – All Districts</u> Other than the accent materials listed in 801.09.11.G, ninety percent (90%) of the non-glass surfaces of each elevation of the exterior building façade shall be composed of one or more of the following materials: 1. Brick 2. Stone 3. Cast stone 4. Factory finished and certified wood, including, but not limited to: a. Wood shingles (cedar shingles six (6) inch maximum exposure) b. Lap-siding (six (6) inch maximum width) 5. Stucco	The non-glass surfaces of the building are primarily comprised of brick, stone, wood, and cast stone. The south and north elevations would be comprised of more than 90% of these materials. The east and west elevations would be comprised of 98% and 90% of these materials, respectively.	Yes
<u>801.09.11.1.B – Façade Coverage – All Districts</u> The primary opaque surface materials of all free standing buildings must be the same on all facades of the building.	The proposed building includes the same materials, brick, stone, wood and cast stone, on all four sides of the building.	Yes
<u>801.09.11.1.C – Type of Brick – All Districts</u> On all facades of a free-standing building where brick is used, full course modular, Roman, Norman or other standard size brick must be used.	The plans indicated that a standard size brick would be used.	Yes

<u>801.09.11.1.D – Façade Detail – All Districts</u> 1. Brick and/or stone façades shall be well detailed and dimensionally designed in order to avoid fractional cuts and odd pieces. All outside brick corners must be full bricks (custom if necessary), with no mitering, forming continuous vertical joints. 2. The narrow face of an exposed stone butt joint, at corners, must be a minimum dimension of two (2) inches. Mitered and quirked stone corners are also acceptable.	The brick detail would be reviewed with the final building design.	Yes
<u>801.09.11.1.E – Brick Joints – All Districts</u> 1. The mortar for brick must be dark grey or in the color range of the brick. All joints must be concave or 'v' joint. No mortar may be used beyond the face of the brick. 2. All brick walls must be built to avoid efflorescence	The brick will include a charcoal concave mortar no larger than ¼ inch.	Yes
<u>801.09.11.1.F – Stone Joints – All Districts</u> Stone joints shall be no larger than one-fourth (1/4) inch.	The stone detail would be reviewed with the final building design.	Yes

<u>801.09.11.1.G – Accent Materials – All Districts</u> Only the following materials may be used for lintels, sills, cornices, bases, and decorative accent trims, and must be no more than 10 percent (10%) of the non-glass surfaces of each elevation of the exterior building façade: 1. Stone 2. Cast stone 3. Copper (untreated) 4. Rock faced stone 5. Aluminum or painted steel structural shapes 6. Fiber cement board 7. Premium grade wood trim with mitered outside corners. Examples of premium grade wood are cedar, redwood, and fir. 8. EIFS	The accent materials for the lintels, sills, cornices, bases and decorative accent trims would be cast stone, stone, wood, and fiber cement board. The amount of fiber cement board would be less than 10% on all building elevations.	Yes
<u>801.09.11.1.H - Parapets, Flashing, Coping – All Districts</u> 1. Only the following materials may be used for parapets, flashing and coping: a. copper (untreated) b. brick c. stone d. cast stone e. premium grade wood. 2. Pre-finished, painted .032 aluminum may only be used as a standard parapet coping with a maximum exposed edge of five (5) inches.	The proposed flashing would be painted aluminum that complies with these requirements.	Yes

<u>801.09.11.1.I – Awnings – All Districts</u> 1. Only the following types of awnings may be used: a. Fabric awnings of a heavy canvas in dark solid colors or other colors that are approved as part of the design review process b. Highly detailed, ornate metal in dark colors c. Glass awnings 2. Backlit awnings are prohibited. 3. Awnings with text or graphic material may be permitted but require approval via the sign permit process of the Zoning Ordinance.	The proposed building plans do not include any awnings.	Not Applicable
<u>801.09.11.1.J – Balconies – All Districts</u> Balconies shall be accessible and useable by persons. Fake or unusable balconies are prohibited. All balconies shall remain within the property line. Metal railings with members painted dark, or glass panels are permitted.	The proposed building includes balconies that would be accessible and usable by persons living in the building.	Yes
<u>801.09.11.1.K – Glass – All Districts</u> Glass shall not be mirrored, reflective or darkened. Slight green, bronze and grey tints are acceptable. Spandrel glass shall not be counted as transparent glass for the purposes of calculations under the transparency requirements of Section 801.09.8 of the Standards, but may be used for detailing purposes. Environmentally appropriate glass, such as Low-emissivity glass, shall be used in all projects	The proposed glass would not be mirrored, reflective, or darkened.	Yes
<u>801.09.11.1.L – Door Systems – All Districts</u> Unless there are building security concerns, main entry doors shall be primarily glass. If, for security reasons, a main entry door is not possible or practical, a main entry door must be well detailed. Appropriately designed wood doors may be utilized for retail and office buildings.	The proposed entry doors would be glass.	Yes

	Comments	Compliance
Franchise Architecture		
<u>801.09.12.1 – All Districts</u>		
A. Typical or standardized franchise architecture (including building design that is the trade dress of, or identified with a particular chain, franchise or business and is repetitive in nature) is prohibited. B. Large, bold or bright signage, trade dress or logos must be altered and scaled down to meet the purpose of these standards as articulated herein, and must not be repeated on the facades of the principal structure more than once. All new, altered and/or proposed signage for buildings must be submitted for review under Section 801.09.18 by the Planning Commission at the time of Design Standards Review application	The proposed building would not be franchise architecture.	Not Applicable.

	Comments	Compliance
Walkways		
<u>801.09.13.1 – Lake Street District</u> A. Continuous sidewalks at least twelve (12) feet in width shall be provided along all public street frontages. B. Lighted sidewalks shall extend between rear and side parking areas and building entrances. All sidewalk lighting must project downward. C. Buildings with street frontage exceeding fifty (50) feet shall have at least one (1) bench. D. All sidewalk surfaces must match the exposed aggregate/brick accent sidewalks on Lake Street.	The proposed site plan includes a 12-foot Sidewalk along Lake Street that would meet the City's Lake Street sidewalk specifications of exposed aggregate surface with concrete accents. Two benches would be provided along Lake Street. The Ferndale Road street frontage includes adding a 6-foot wide concrete sidewalk with a landscaped boulevard with street trees between the road and the sidewalk.	Deviation Required. The streetscaping along Lake Street meets the requirements, but the sidewalk on Ferndale does not.

	Comments	Compliance
Landscaping		
801.09.14.1 – All Districts		
A. Seasonal landscaping shall be used in all Design Districts, including use of window boxes, hanging flowers baskets, vines and/or other similar seasonal landscaping. If feasible, garden areas and ornamental trees shall be used at the street level. B. Window boxes, hanging baskets and planters with seasonally appropriate plantings shall be used around entries to buildings. C. Vines shall be used to cover walls with more than one hundred (100) square feet of uninterrupted surface area. D. Streetscaping shall include all of the following: 1. Boulevard species trees, with at least three (3) caliper inches. 2. Exposed aggregate sidewalks with brick accents 3. Street lights 4. Benches (if building length is 50 feet or greater), which utilize existing city bench designs. 5. Flowers	The proposed landscape plan includes landscaped planters with seasonal plantings at the building entrance and along Lake Street and Ferndale Road. The proposed streetscaping along Lake Street includes six hackberry trees that would be located in tree grates within the sidewalk. The streetscaping along Ferndale Road includes six hackberry trees that would be located in the landscaped boulevard between the sidewalk and the street. All of the street trees would be 3 caliper inches in size. Two benches would be provided along Lake Street.	Yes

<u>801.09.14.2 – Lake Street District</u> A. Established Lake Street landscape treatments shall be followed in accordance with the specifications of the Wayzata Engineering Guidelines set forth in Wayzata City Code. Exposed aggregate with brick accent sidewalks shall be used. B. Approved boulevard trees, planted in sidewalk areas, shall be planted no more than twenty six (26) feet on center from each other.	The proposed sidewalk along Lake Street meets the City's guidelines and specifications for width and materials. The proposed landscaping plans includes boulevard trees along Ferndale Road and Lake Street.	Yes
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	Comments	Compliance
Parking Lot Landscaping		
<u>801.09.15.1 – All Districts</u> A landscaped buffer strip at least five (5) feet wide shall be provided between all parking areas and the sidewalk or street. The buffer strip shall consist of shade trees appropriately spaced for the particular Design District, and a decorative metal fence, masonry wall or hedge. A solid wall or dense hedge shall be no less than three (3) feet and no more than four (4) feet in height.	The proposed plans do not include any surface parking areas.	Not Applicable
Surface Parking		
<u>801.09.16.1 – All Districts</u> A. Off-street parking shall be located to the rear of buildings. When parking must be located in a side yard adjacent to the street, a landscaped buffer shall be provided in accordance with the Design Standards. The street frontage occupied by parking shall not exceed sixty (60) feet per property. B. Side-by-side parking lots creating a parking area frontage longer than sixty (60) feet are prohibited, except where a heavily landscaped buffer of at least twenty (20) feet wide completely separates both lots. C. Side yard parking shall not extend beyond the front yard setback of the primary building on the property. D. Front yard parking is prohibited. E. There shall be no corner parking.	The proposed plans do not include any surface parking areas.	Not Applicable

	Comments	Compliance
801.09.16.2 – All Districts – Bicycle Parking Commercial developments requiring more than twenty (20) parking spaces shall provide at least four (4) bicycle parking spaces in a convenient, visible, preferably sheltered location.	This section is not applicable to the residential building.	Not Applicable
Parking Structures		
801.09.17.1 – All Districts Parking structures shall meet the following standards, along with all other applicable building code standards: A. The ground floor façade abutting any public street or walkway shall be architecturally compatible with surrounding commercial or office buildings. B. The parking structure shall be designed in such a way that sloped floors do not dominate the appearance of the façade. C. Windows or openings shall be similar to those of surrounding buildings. D. Vines and other significant landscaping shall be used to minimize the visual impact of the parking structure.	This section is not applicable, as there is no parking ramp associated with the project.	Not Applicable

<u>801.09.17.2 – Lake Street District</u> A. If any part of a parking structure abuts Lake Street, that entire portion of the ground floor façade shall be occupied by at least eighty percent (80%) retail usage, extending to a depth of at least thirty (30) feet. B. The ground floor level of a parking structure shall not come within forty (40) feet of Lake Street. C. The top decks of parking structures visible from adjacent properties shall be designed with trellises and landscaping sufficient to screen at least fifty percent (50%) of the visible area.	This section is not applicable, as there is no parking ramp associated with the project.	Not Applicable
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	Comments	Compliance
Signs		
<u>801.09.18.1 – All Districts</u>		
A. Compatibility 1. Signs shall be architecturally compatible with the style, composition, materials, colors and details of the building, and with other signs on nearby buildings. Signs shall be an integral part of the building and site design. 2. A sign plan shall be developed for buildings which house more than one (1) business. Signs need not match, but shall be compatible with one another. Franchise or national chains must comply with these Sign Standards to create signs compatible with their context. 3. When illuminated signs are proposed, only the text and/or logo portion of the sign may be illuminated. Illuminated signs must be compatible with the location. Illumination of the sign to highlight architectural details is permitted. Fixtures shall be small, shielded, and directed towards the sign rather than toward the street, so as to minimize glare for pedestrians and adjacent properties. 4. Sign plans must be submitted for review as part of an Applicant for Design Approval. Proposed signs must also conform to the requirements of Section 801.27 of the Wayzata Zoning Ordinance.	The building includes two wall signs on the ground floor elevation of the building, which would be located at the main entrance to the building at Lake Street and Ferndale Road. The signs would be black metal lettering attached directly to the building face.	Yes

<u>801.09.18.2 – Permitted Signs – Lake Street District</u> A. Only the following types of signs are permitted in the Lake Street District: 1. Awning, canopy or marquee signs 2. Wall signs 3. Monument or ground signs 4. Projecting signs 5. Window signs (small accent signs) 6. Roof signs if located on pitched-roof buildings, below the peak of the roof	The proposed signs are both wall signs.	Yes
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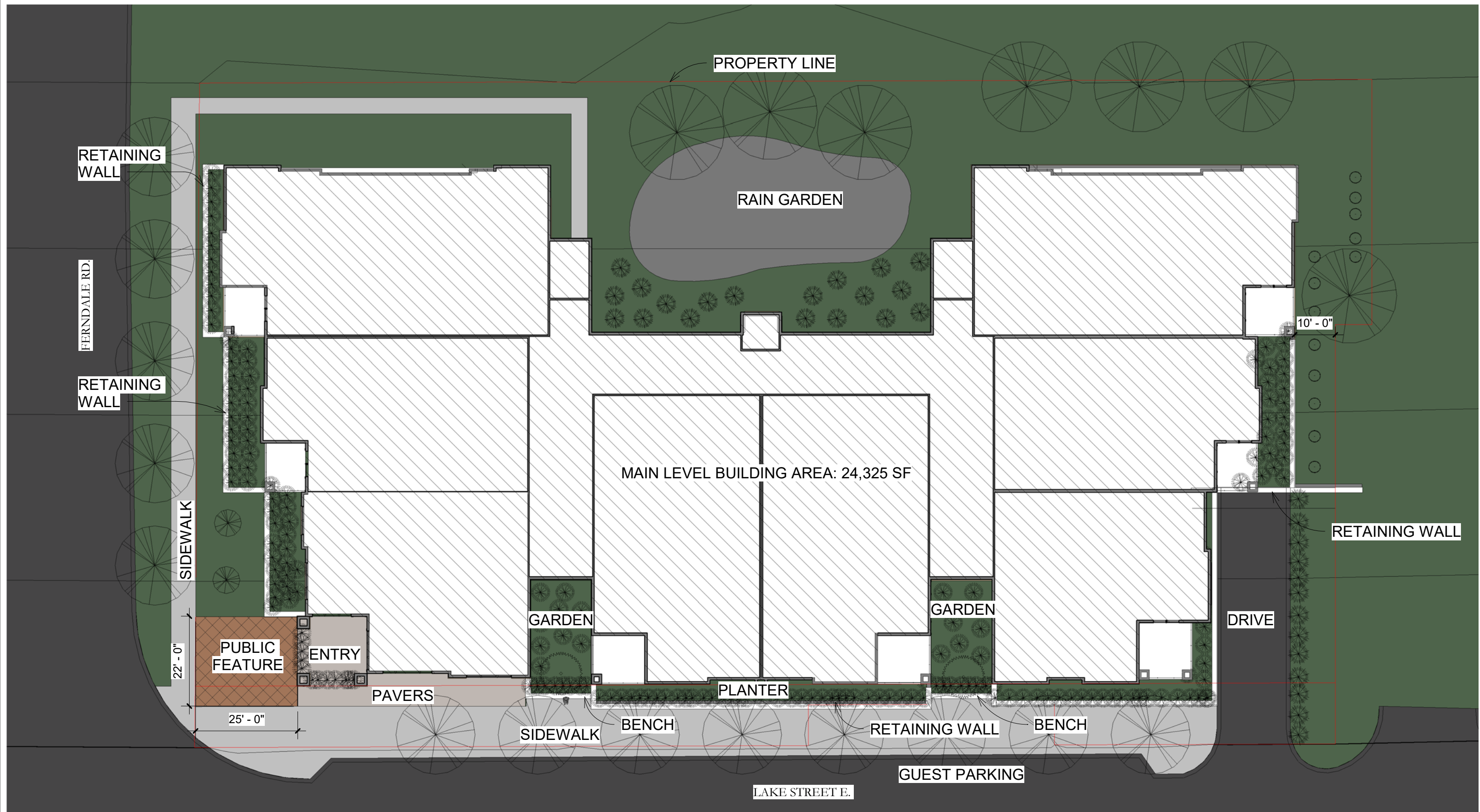
	Comments	Compliance
Parking Lot and Building Lighting		
<u>801.09.19.1 – All Districts</u> A. Parking lot lighting shall be designed in such a way as to be in scale with its surroundings, and reduce glare. B. Cutoff fixtures shall be located below the mature height of trees located in parking lot islands so as to minimize ambient glow and light pollution. C. Pedestrian-scale lighting, not exceeding thirteen (13) feet in height, shall be located on walkways and adjacent to store entrances. All sidewalk lighting must be projected downwards. City light standard shall be followed for all public streets. D. Light posts shall be of a dark color. E. Lighting fixtures shall be compatible with the architecture of the building. F. Lights attached to buildings shall be screened by the building's architectural features to eliminate glare to adjacent properties. All façade lighting must be projected downwards. G. All lighting fixtures shall comply with City Code Section 801.16.6 as it relates to glare.	The building elevations include an exterior light example, which would be a down-cast wall sconce attached to the building.	Yes

MEYER PLACE, WAYZATA, MN

A-00	Cover Sheet
A-01	Site Plan
A-02	Lower Level Floor Plan
A-03	First Level Floor Plan
A-04	Second Level Floor Plan
A-05	Third Level Floor Plan
A-06	Roof Level
A-10	A Unit Enlarged Plan
A-11	B Unit Enlarged Plan
A-12	C Unit Enlarged Plan
A-13	D Unit Enlarged Plan
A-14	E & F Unit Enlarged Plans
A-15	G Unit Enlarged Plan
A-16	H & I Unit Enlarged Plan
A-17	Common Area Enlarged Plan
A-20	Section
A-21	South & North Elevations
A-22	West & East Elevations
A-30	3D View from Lake St and Ferndale
A-31	3D View from the Northwest
A-32	3D View from the Northeast
A-33	3D View from the Southeast
A-34	3D View from the South
A-35	Garden View
A-36	Public Feature View
A-40	Neighborhood Study
A-41	Neighborhood Study
A-42	Shadow Study
A-43	Setback Exhibit



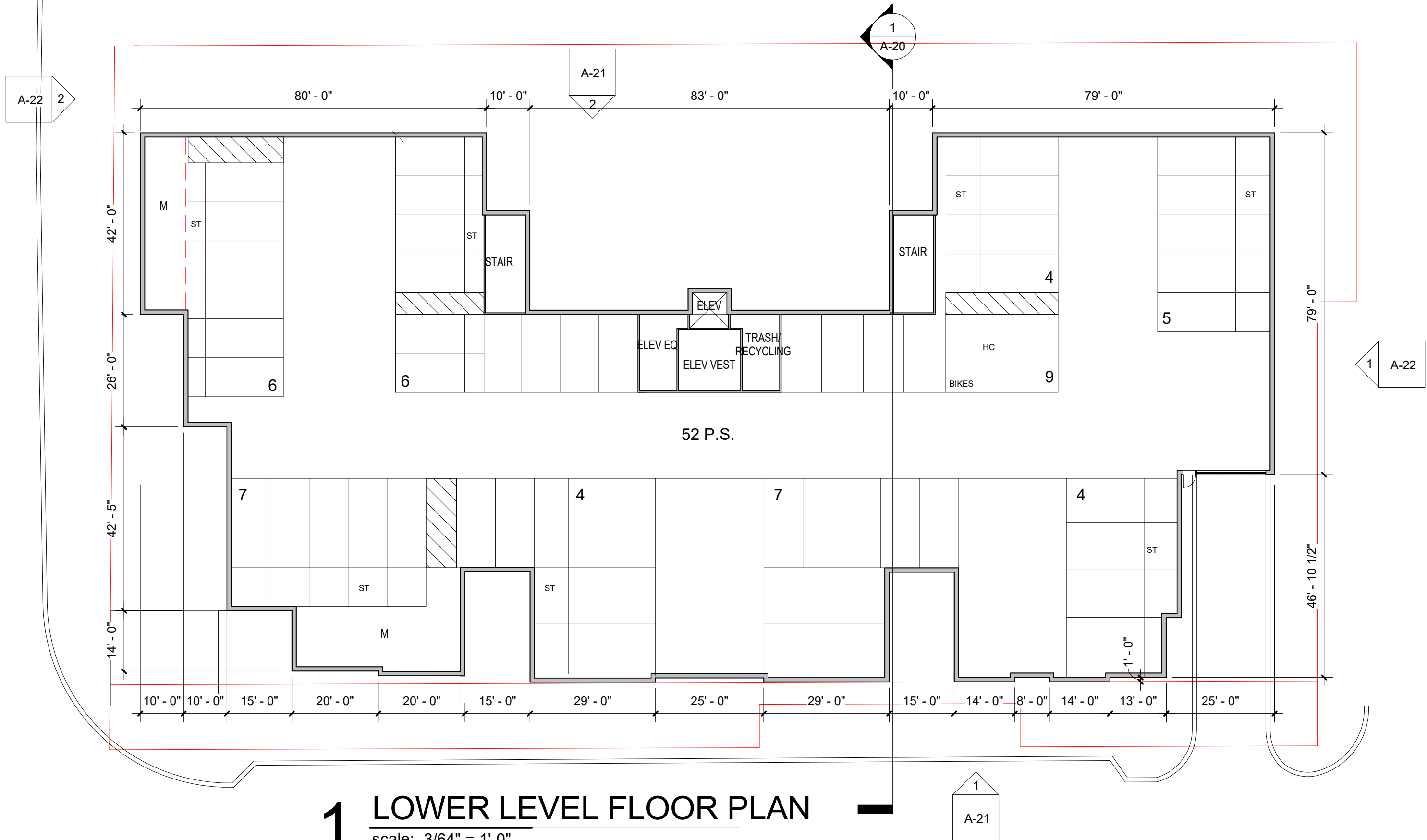
3 NOV 2016



1 Site Plan

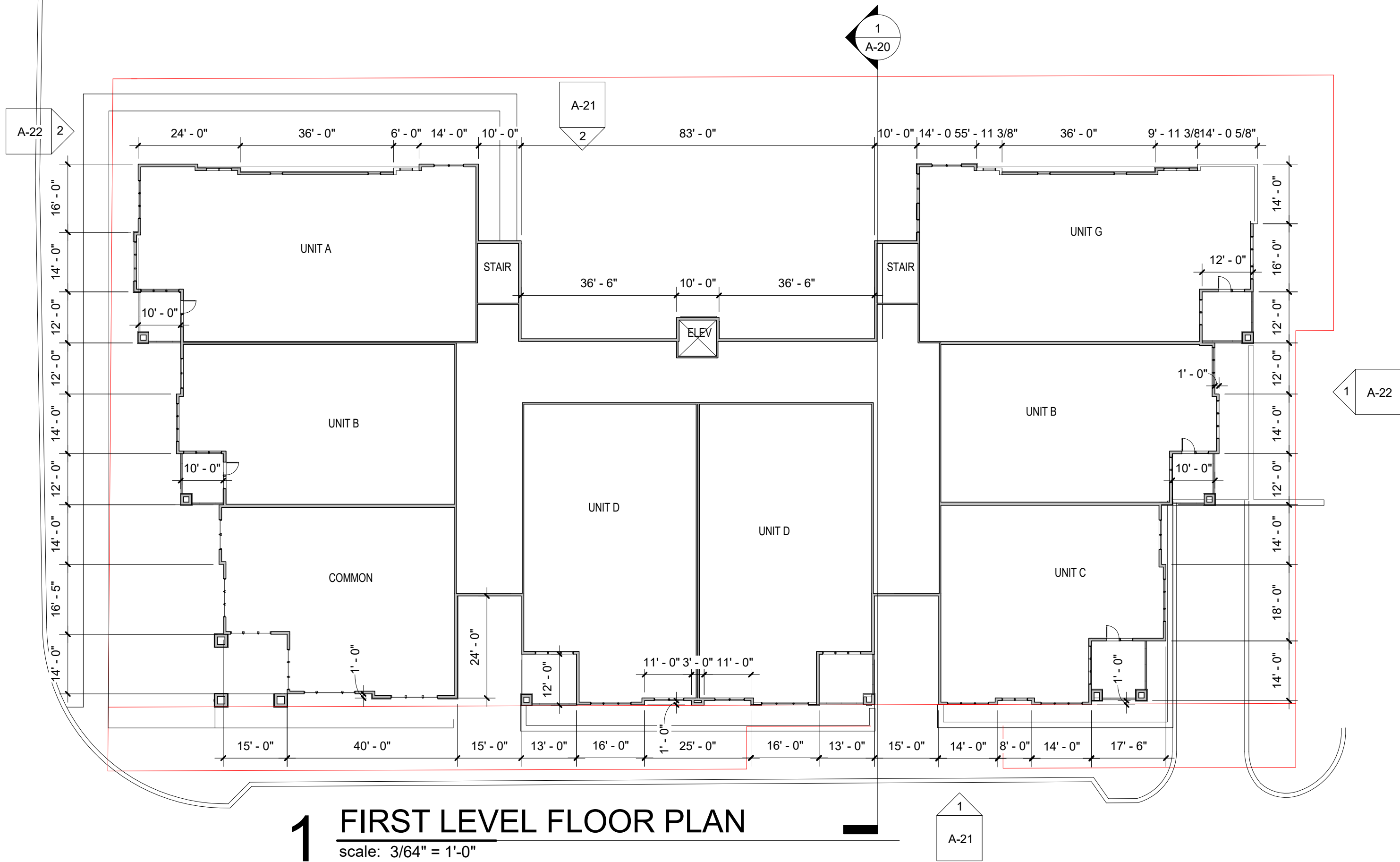
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3 NOV 2016



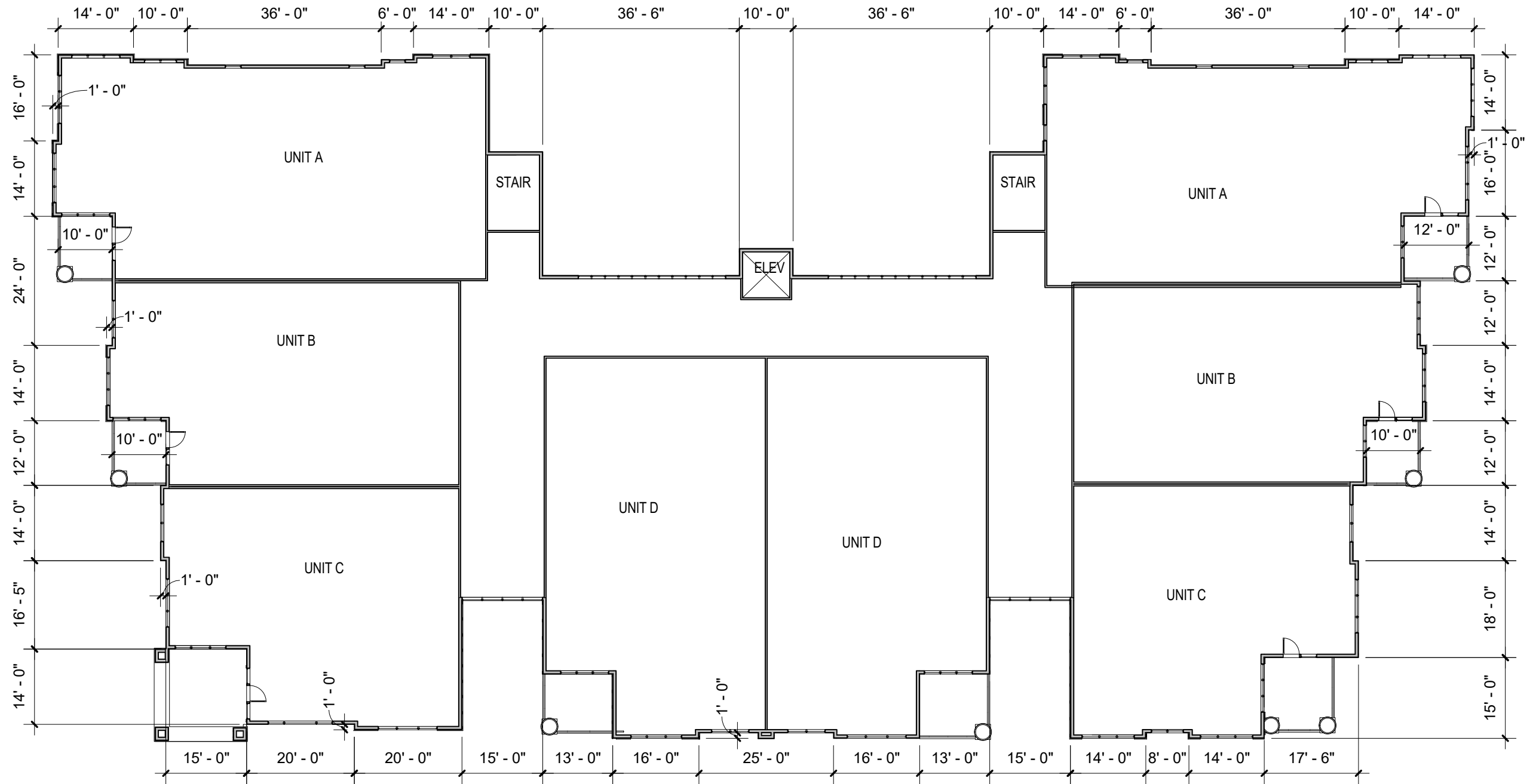
1 LOWER LEVEL FLOOR PLAN
scale: 3/64" = 1'-0"

3 NOV 2016



3 NOV 2016

A-22 2



1 A-22

1 SECOND LEVEL FLOOR PLAN

scale: 3/64" = 1'-0"

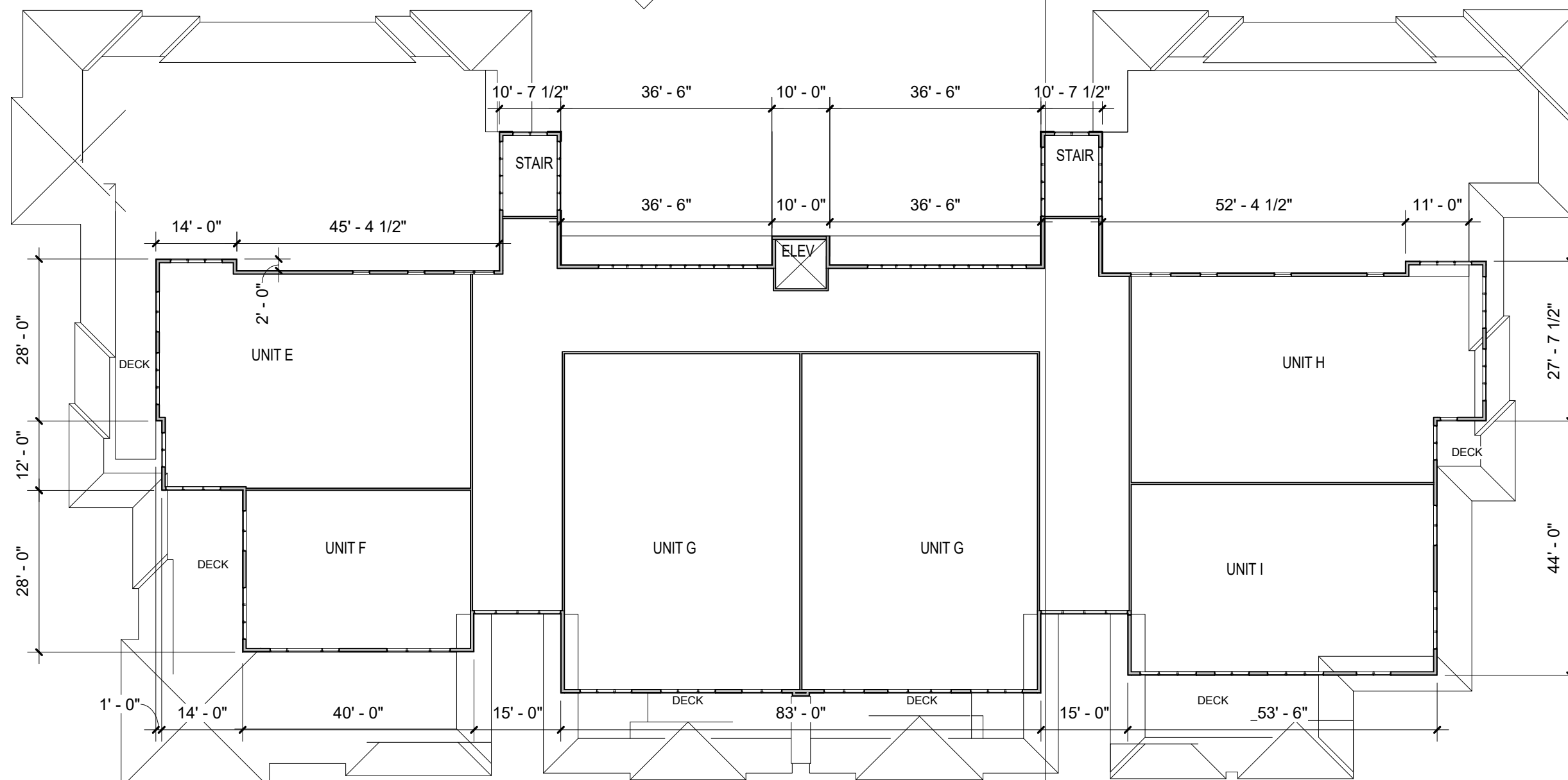
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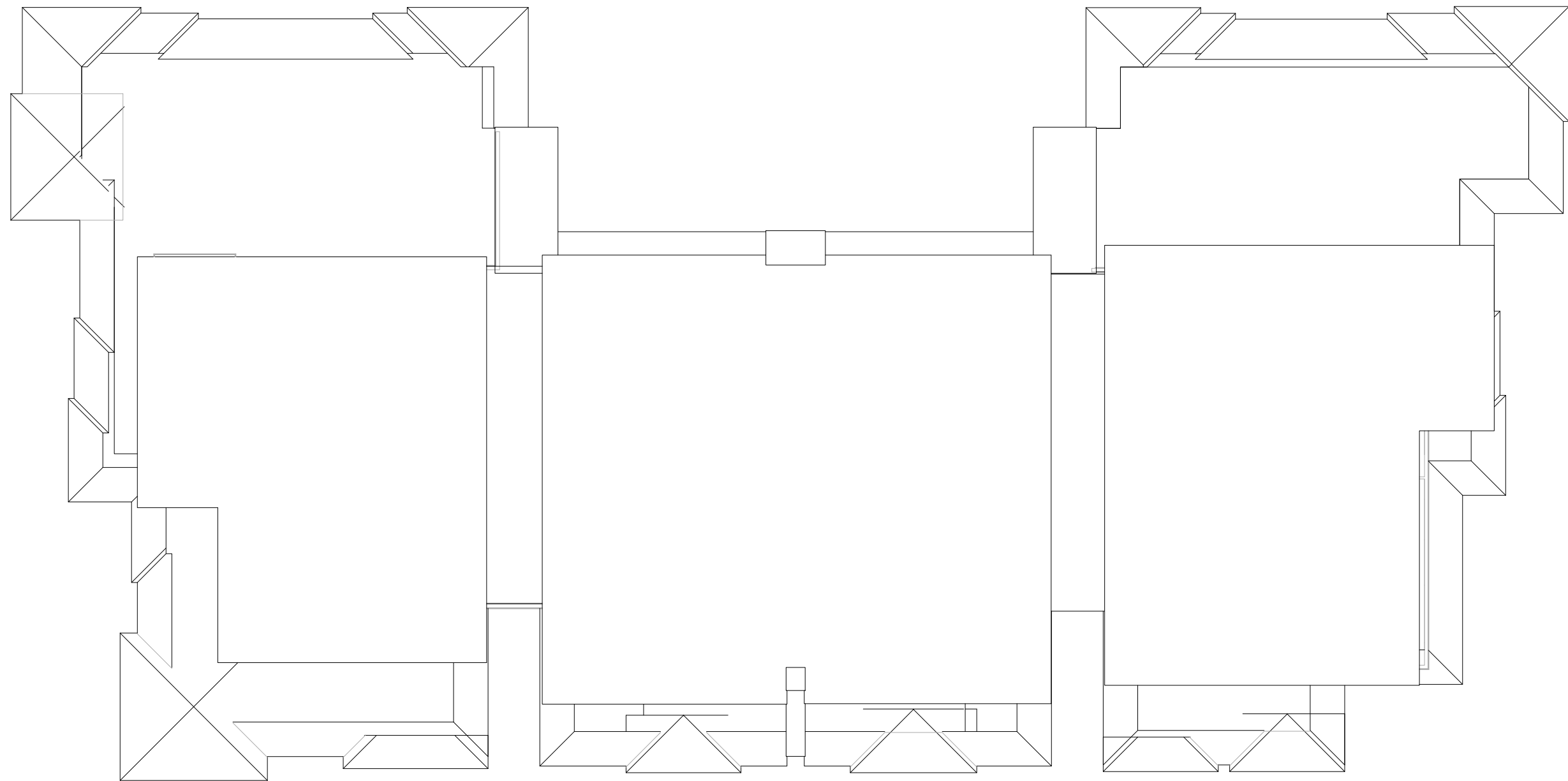
1 A-22

1 THIRD LEVEL FLOOR PLAN

scale: 3/64" = 1'-0"

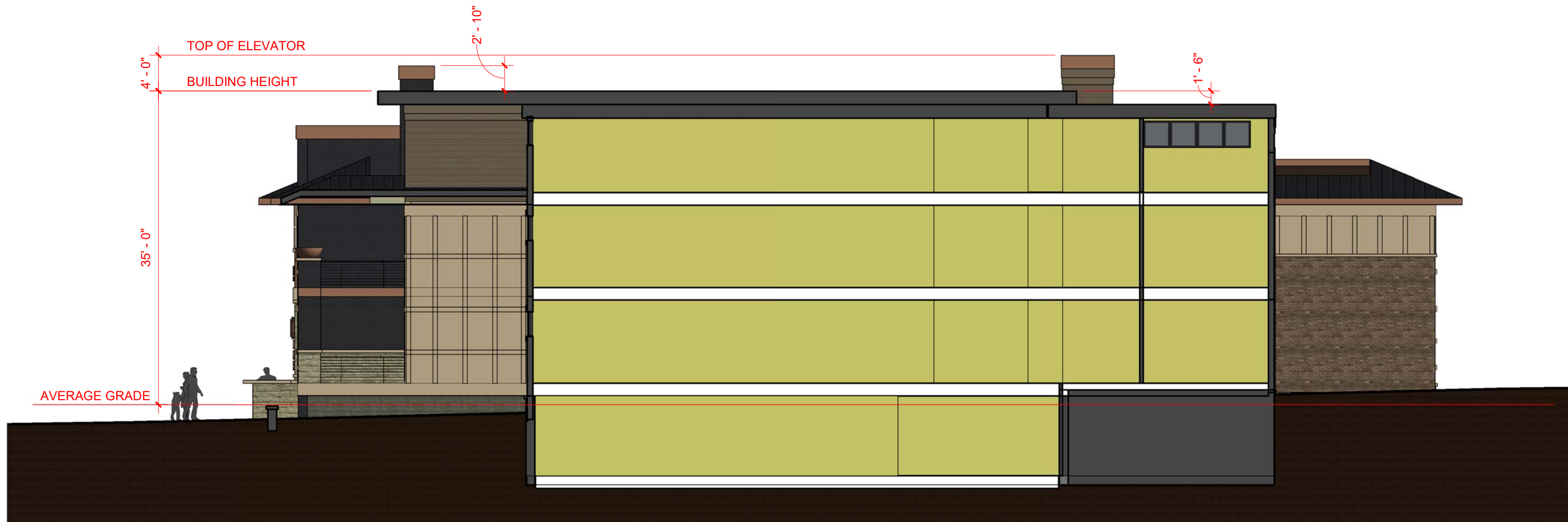
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3 NOV 2016



1 **ROOF LEVEL**
scale: 3/64" = 1'-0"

3 NOV 2016



1 Building Section
scale: 3/32" = 1'-0"

3 NOV 2016

MATERIAL CALCULATIONS	
STONE	18%
PRECAST	9%
BRICK	35%
CEMENT BD	9%
WOOD	30%

MAIN LEVEL	
WINDOWS/DOORS	50%



1 SOUTH ELEVATION

scale: 1" = 20'-0"

MATERIAL CALCULATIONS	
STONE	6%
PRECAST	6%
BRICK	55%
CEMENT BD	4%
WOOD LAP	29%



2 NORTH ELEVATION

scale: 1" = 20'-0"

15 NOV 2016

MAIN LEVEL INCLUDES A MINIMUM OF 35% GLASS. THE GLASS WILL NOT BE MIRRORED, REFLECTIVE OR DARKENED BUT WILL HAVE A SLIGHT GREY TINT.

A MINIMUM OF 80% OF ALL EXTERIOR ELEVATIONS WILL BE BRICK, STONE, WOOD.

THE BRICK IS TO BE DARK CHARCOAL OR TAN WITH CONCAVE MORTAR NO LARGER THAN 1/4".

CORNICES AND DECK COLUMNS ARE TO BE FIBER CEMENT BOARD BUT NO GREATER THAN 20% OF THE NON-GLASS SURFACES.

LINTELS AND SILLS ARE TO BE PRECAST STONE.

FLASHING AT PARAPETS AND ROOF EDGES ARE TO BE .032" PAINTED ALUMINUM WITH A MAXIMUM EXPOSED EDGE OF 5".

TRELLISES ARE TO BE BLACK METAL.

DECK RAILINGS ARE TO BE BLACK METAL WITH CABLE RAILING.

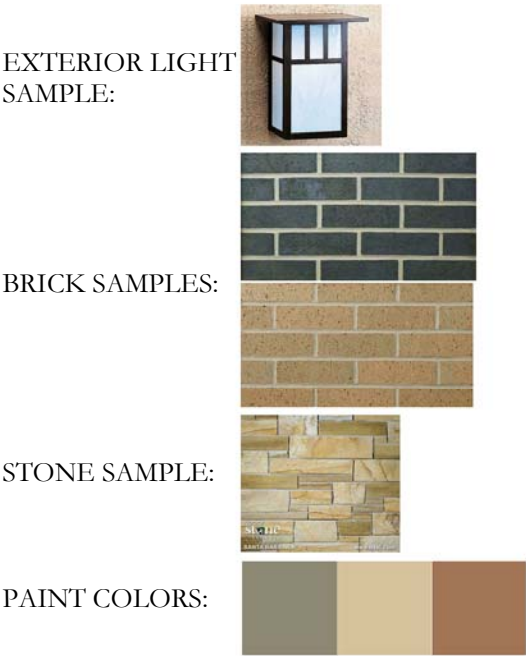
ROOF MEMBRANE COLOR TO BE TAN.



1 EAST ELEVATION
scale: 1/16" = 1'-0"

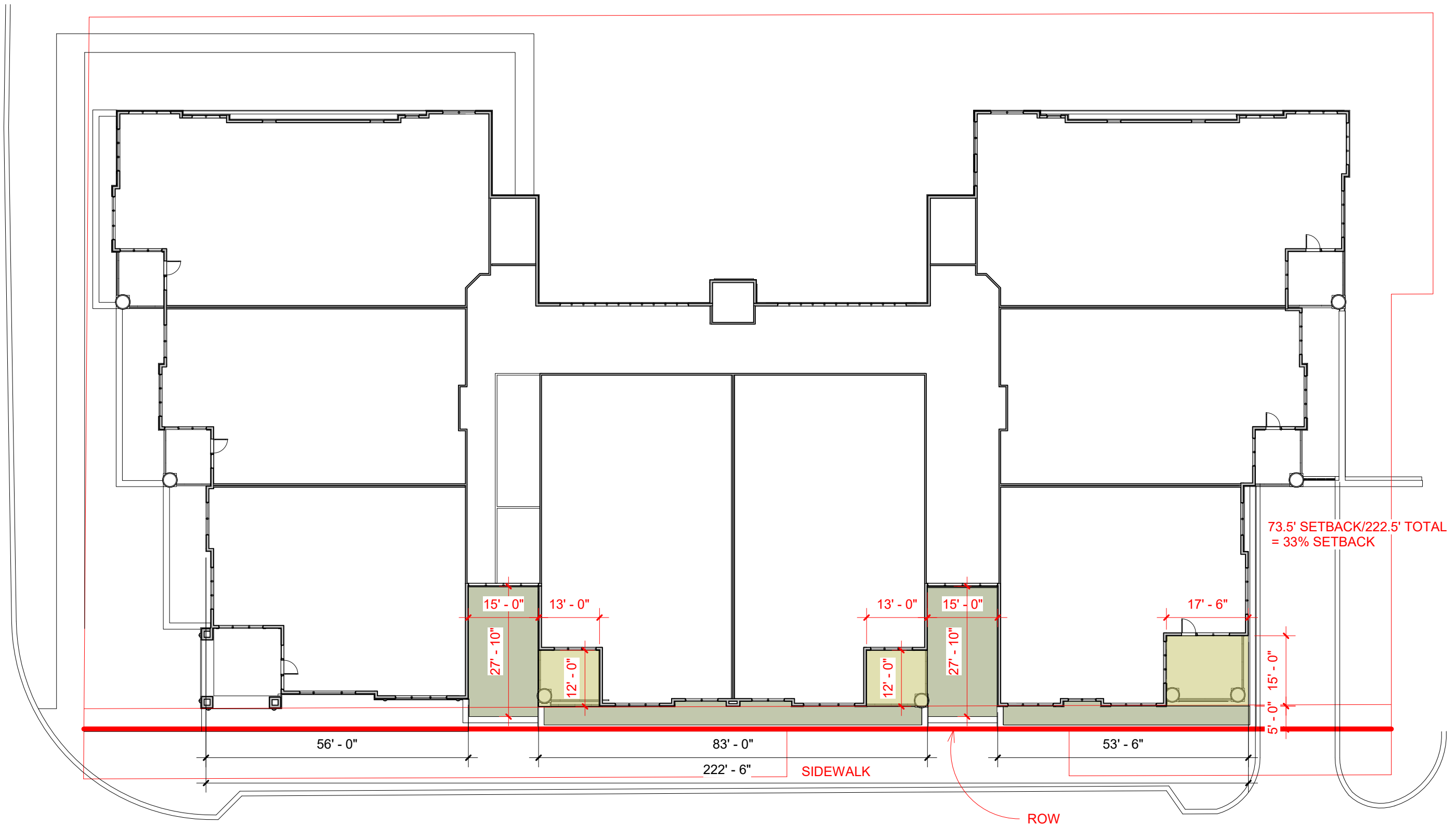


3 SIGNAGE DETAIL
scale: 1/4" = 1'-0"



2 WEST ELEVATION
scale: 1/16" = 1'-0"

14 NOV 2016



1 SECOND LEVEL FLOOR PLAN SETBACK EXHIBIT

scale: 3/64" = 1'-0"

14 NOV 2016



1 Second Floor Setback Exhibit

scale:

14 NOV 2016



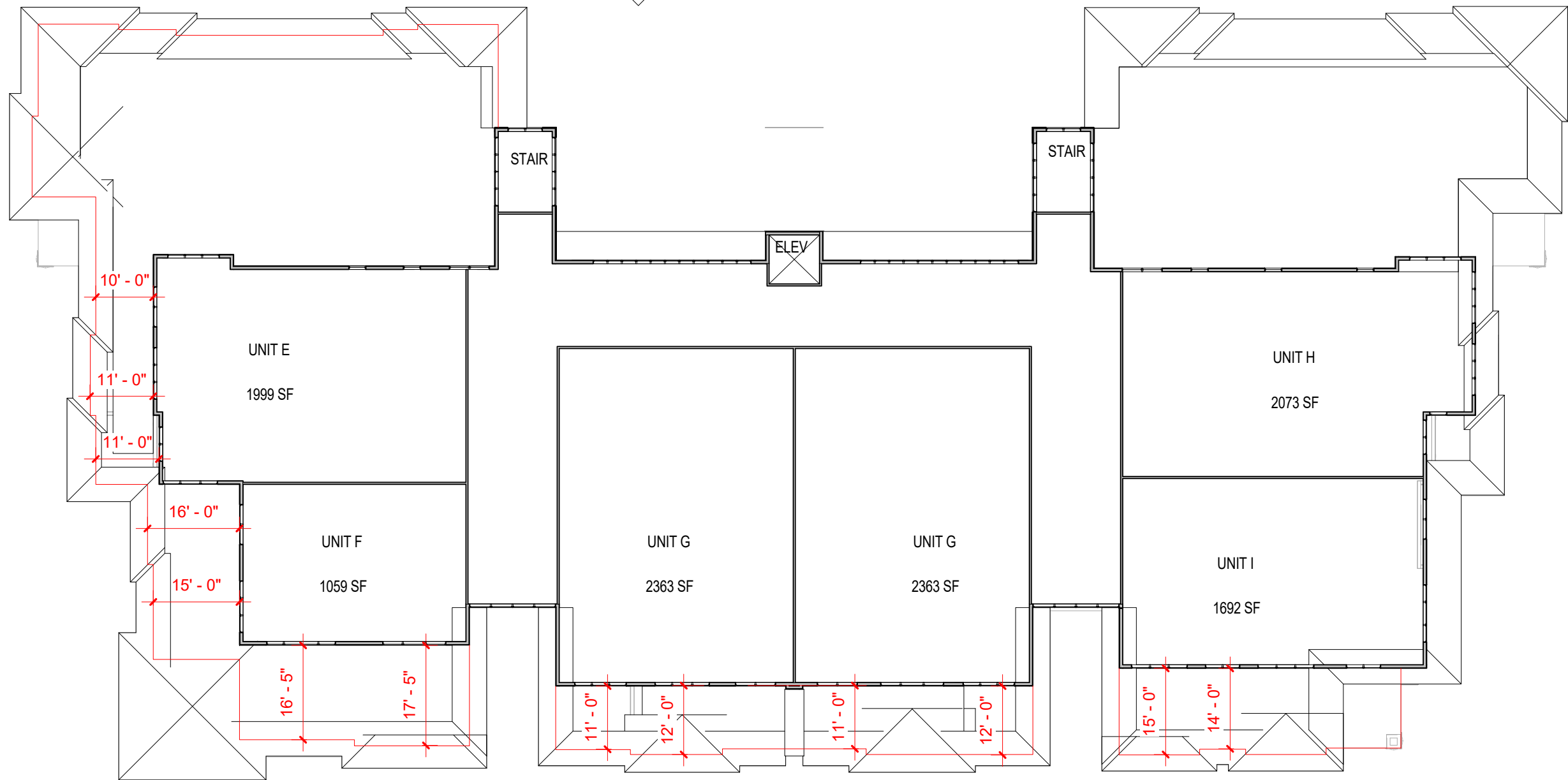
1 Second Floor Setback Exhibit

scale:

14 NOV 2016

A-22 2

A-21
2



1 A-22

1 THIRD LEVEL FLOOR PLAN SETBACKS

scale: 3/64" = 1'-0"

1
A-21

3 NOV 2016

MEYER PLACE MATERIAL CALCULATIONS 11/14/16

SOUTH

stone	precast	brick	cement bd	wood	total
1030.17	505.35	2016.41	527.22	1709.2	5788.35
18%	9%	35%	9%	30%	100%

first level at face

glass	total
960.61	1914.3
	50%

EAST

stone	precast	brick	cement bd	wood	total
473.42	268.26	860.98	47.41	1246.85	2896.92
16%	9%	30%	2%	43%	100%

NORTH

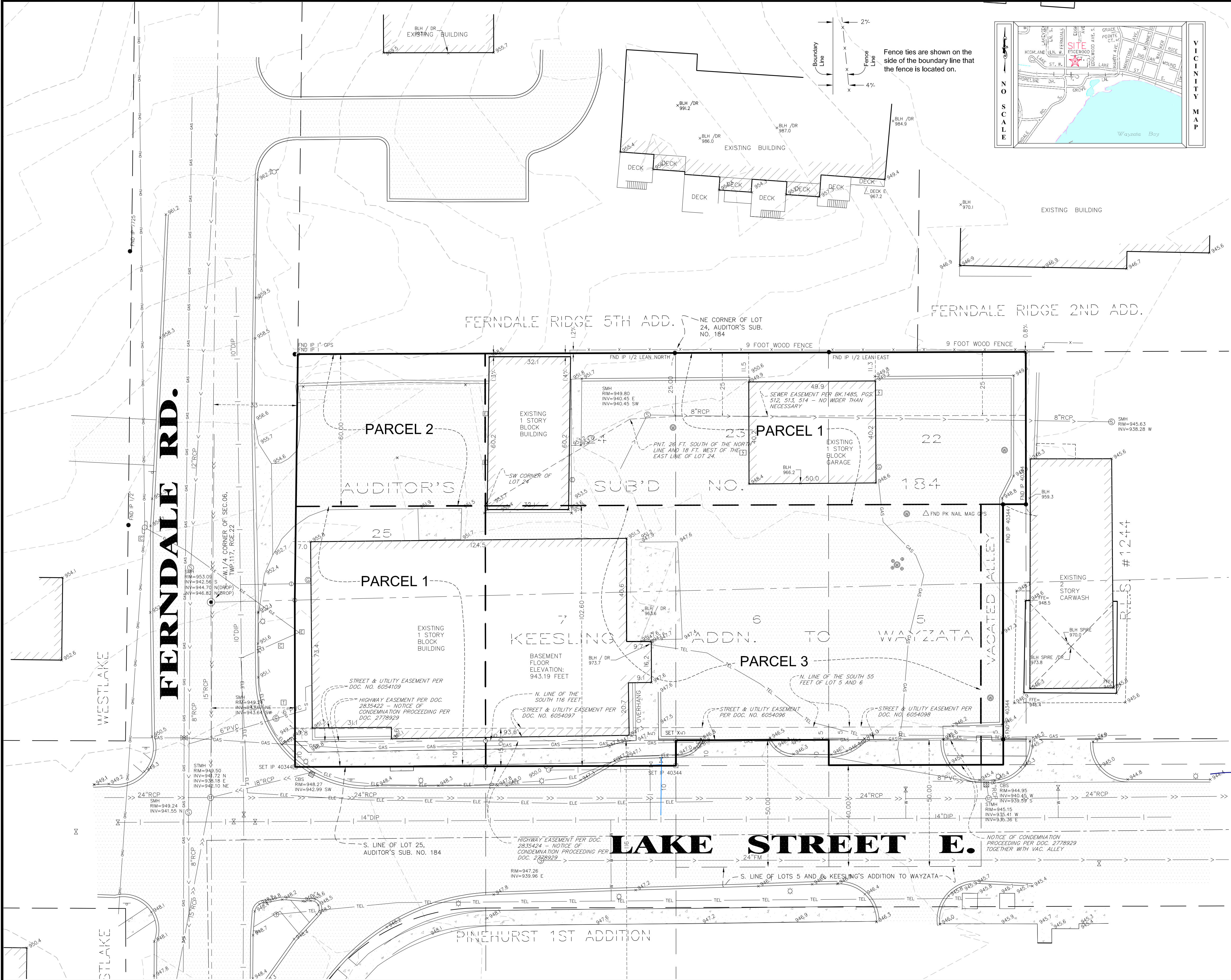
stone	precast	brick	cement bd	wood	total
389.2	382.35	3574.97	257.78	1893.31	6497.61
6%	6%	55%	4%	29%	100%

WEST

stone	precast	brick	cement bd	wood	total
309.03	203.19	776.88	263.47	1009.8	2562.37
12%	8%	30%	10%	39%	100%

first level

glass	total
534.32	1485
	36%



DESCRIPTION OF PROPERTY SURVEYED
(Per Schedule A of the herein referenced Title Commitment)

Parcel 1:

Lots 22, 23 and 24, and that part of Lot 25 lying south of the northerly 60 feet thereof, all in Auditor's Subdivision Number 184, Hennepin County, Minnesota.

Parcel 2:

The North 60 feet of Lot 25, Auditor's Subdivision No. 184, Hennepin County, Minnesota. (Torren Property)

Parcel 3:

The North 102.6 feet of Lots 5 and 7, and Lot 6, except the South 50 feet thereof, all in Block 2, Kessling's Addition to Wayzata, Minnesota. (Abstract Property)

(The west half of vacated alley is not included in the property description provided but appears to be included per other evidence and the Hennepin County parcel map.)

ALTA/ACSM OPTIONAL TABLE A NOTES
(The following items reference Table A optional survey responsibilities and specifications)

2) Site Address: 105 Lake Street East, Wayzata, Minnesota, 55391

3) Flood Zone Information: This property appears to lie within Zone X₁ (Areas outside the 1-percent annual chance floodplain, areas of 1% annual chance sheet flow flooding where average depths are less than 1 foot, areas of 1% annual chance stream flooding where the contributing drainage area is less than 1 square mile, or areas protected from the 1% annual chance flood by levees. No Base Flood Elevations or depths are shown within this zone. Insurance purchase is not required in these zones.) per the National Flood Insurance Program, Flood Insurance Rate Map Community Panel No. 27053C0307E, dated September 2, 2004, as acquired from the Federal Emergency Management Agency Web Site.

4) Parcel Area Information:

Parcel 1: 4,521 Sq. Ft. - 0.104 Acres

Parcel 2: 40,733 Sq. Ft. - 0.935 Acres

Total: 45,254 Sq. Ft. - 1.039 Acres

5) Site Elevation: Elevations are based on the top of top nut of the fire hydrant on south side of Meyer Dairy building which has an elevation of: 949.98 feet (NGVD29) per the City of Wayzata benchmark data base.

6) Zoning Information: The current Zoning for the subject property is C-4A (Limited Central Business District) per the City of Wayzata's zoning map. The setback, height, and floor space area restrictions for said zoning designation were obtained from City of Wayzata Ordinances found on their web site and are as follows:

Zoning: C-4A (Limited Central Business District)

Height: No building shall be erected or structurally altered to exceed two (2) stories and thirty (30) feet in height, whichever is lesser.

Setbacks: There shall be no front yard, exterior side yard or rear yard requirements, except that there shall be a required setback within C-4A District boundaries when such boundaries are adjacent to a residential district. In such cases, the setback shall be the same as the setback for the adjacent district. Development north of subject site is zoned P.U.D. - Contact City of Wayzata Planning Department for setback requirements.

Floor Area Ratio: The maximum floor area ratio (F.A.R.) shall be 2.0.

Area: The minimum total lot area shall be twelve thousand (12,000) square feet.

Please note that the general restrictions for the subject property may have been amended through a city process. We could be unaware of such amendments if they are not in a recorded document provided to us. We recommend that a zoning letter be obtained from the Zoning Administrator for the current restrictions for this site.

We have not received the current zoning classification and building setback requirements from the insurer.

11(b) Utilities: We have shown the location of utilities to the best of our ability based on observed evidence together with evidence from the following sources: plans obtained from utility companies, plans provided by client, markings by utility companies and other appropriate sources. We have used this information to develop a view of the underground utilities for this site. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Also, please note that seasonal conditions may inhibit our ability to visibly observe all the utilities located on the subject property. A Gopher State One Call was submitted for this survey. Please reference Ticket No. 150770112 for a list of utility operators in this area.

19) Wetland Delineation: There are no apparent wetland on site.

SURVEY REPORT

This map and report was prepared with the benefit of a Commitment for Title Insurance issued by Commercial Partners Title, LLC as agent for Old Republic National Title Insurance Company, File No. 38300 First Supplemental, dated March 30, 2015.

1) We note the following with regards to Schedule B of the herein referenced Title Commitment:

a) Item no.'s 1-9 are not survey related

b) Item no. 10 - Vacated Alley per county maps - No document recorded. *Shown hereon as part of the subject parcel.*

c) Item no. 11 - Lake Street as shown Hereon.

d) Item no. 12 - Consequences of the tax legal description including additional land. *Shown hereon.*

e) Item no.'s 13-15 - Easement for sewer main purposes in favor of the City of Wayzata created in documents dated July 31, August 1 and July 23, 1939 and filed August 14, 1940, in Book 1485, Pages 512 - 514 (Lots 22, 23 and 24). *Shown hereon.*

f) Item no.'s 16-18 - Easement for highway purposes, in favor of the City of Wayzata, created in documents dated June 3 and June 30, 1953, filed September 24, 1953, in Book 1973, Page 580, 581 and 583 (Lot 25, 7 and 6). *Shown hereon.*

g) Item no.'s 19-22 - Terms and conditions of Easement Agreement for street and utility purposes dated April 5, 1990, filed March 22, 1983 as Documents No's 6054096 (Lot 6), 6054097 (Lot 7), 6054098 (Lot 5) and 6054109 (Lot 25). *Shown hereon.*

2) Observations/Comments noted hereon per field survey such as (but not limited to): access, occupation, and easements and/or servitudes:

a) Vacated alley as shown on County Maps. Not documents available

b) Existing building lies within street and utility easement on south side of site.

CERTIFICATION

To Homestead Partners, Commercial Partners Title, LLC, and Old Republic National Title Insurance Company:

This is to certify that this map or plan and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS in 2011, and includes Items 1 - 5, 7a, 8, 9, 11(b) and 19 of Table A thereof. The field work was completed on May 19, 2015.

Date of Plot or Map: May 19, 2015

David B. Pemberton, PLS Minnesota License No. 40344

CAST IRON MONUMENT

CATCH BASIN

FLARED END SECTION

GATE VALVE

GUY WIRE

HYDRANT

SURVEY MONUMENT SET

SURVEY MONUMENT FOUND

SURVEY CONTROL POINT

LIGHT POLE

POWER POLE

SANITARY MANHOLE

SANITARY CLEANOUT

SIGN

GROUND ELEVATION

STORM DRAIN

STORM MANHOLE

YARD LIGHT

A/C UNIT

CABLE TV PEDESTAL

ELECTRIC TRANSFORMER

ELECTRIC MANHOLE

ELECTRIC METER

GAS METER

GAS VALVE

GUARD RAIL

HAND HOLE

SOIL BORING

TREE CONIFEROUS

TREE DECIDUOUS

TELEPHONE MANHOLE

TELEPHONE PEDESTAL

TRAFFIC SIGNAL

UTILITY MANHOLE

UTILITY PEDESTAL

WELL

BITUMINOUS

CABLE TV

CONCRETE CURB

CONCRETE

CONTOUR EXISTING

CONTOUR PROPOSED

DRAIN TILE

ELECTRIC UNDERGROUND

FIBER OPTIC UNDERGROUND

GAS UNDERGROUND

OVERHEAD UTILITY

RAILROAD TRACKS

SANITARY SEWER

STORM SEWER

TELEPHONE UNDERGROUND

UTILITY UNDERGROUND

WATERMAIN

FIELD CREW

LAKE

DRAWN

DBP

CHECKED

GRG

DATE

04/16/2015

NO.

BY

DATE

REVISION

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I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 19th day of May, 2015.

David B. Pemberton, PLS Minnesota License No. 40344

pemberton@satthre.com

ENGINEERS

SURVEYORS

DESIGNERS

PLANNERS

SATHRE-BERGQUIST, INC.

150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

TWP. 117 - RGE. 22 - SEC. 06

HENNEPIN COUNTY

REF: 57235-001

Wayzata

Minnesota

ALTA/ACSM Land Title Survey

PREPARED FOR:

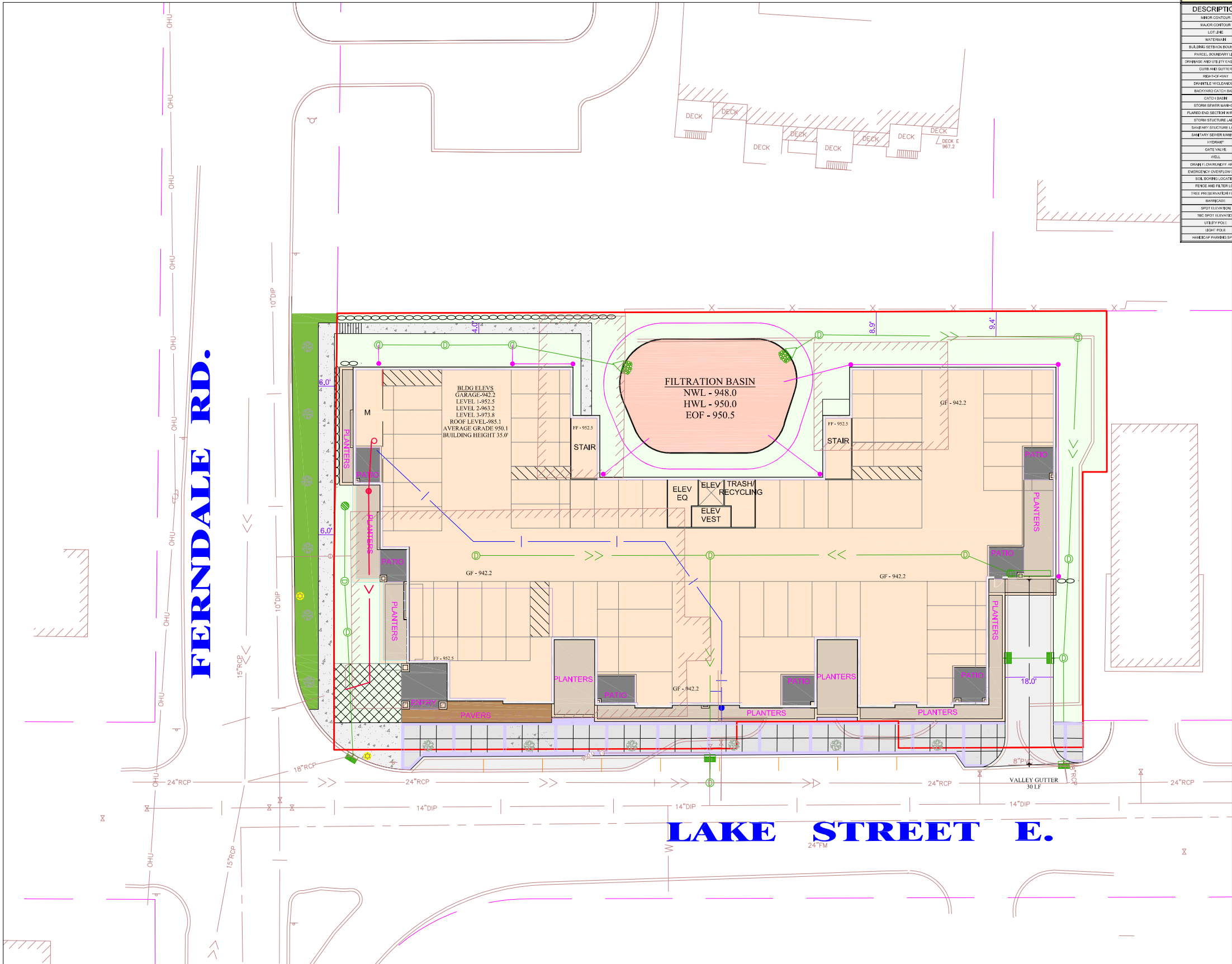
Homestead Partners

FILE NO.

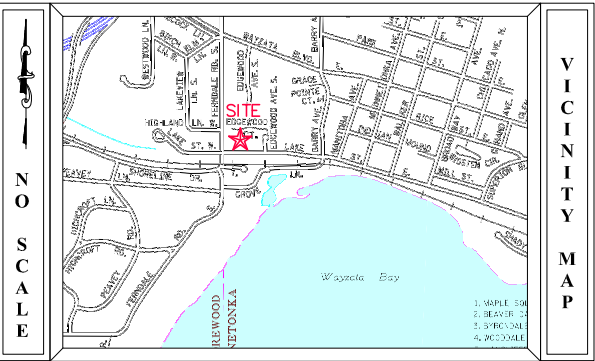
37865-003

1

1



SYMBOL LEGEND		
DESCRIPTION	PROPOSED	EXISTING
MINOR CONTOUR		
MAJOR CONTOUR		
LOT LINE		
WATERMAIN		
BUILDING SETBACK BOUNDARY		
PAVEMENT BOUNDARY LINE		
DRIVEWAY AND UTILITY LOCATIONS		
CURB AND GUTTER		
RIGHT-OF-WAY		
DRIVABLE WHEELHOPS		
BACKWARD GATEWAY		
CATCH BASIN		
STORM SEWER MANHOLE		
PLANNED END SECTION WITHIN ROW		
STORM STRUCTURE LABEL		
STORM STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
HYDRANT		
GATE VALVE		
WELL		
DRINKING WATER MAIN		
EMERGENCY OVERFLOW MAIN		
SOIL BORING LOCATION		
FENCE AND FENCE LOG		
TREE PRESERVATION FENCE		
ROADWAY		
SPOT ELEVATION		
TRE SPOT ELEVATION		
UTILITY POLE		
UTILITY POLE		
HANDICAP PARKING SPACE		



PROFESSIONAL CONSULTANTS				
	Company	NAME	ADDRESS	
Developer	Homestead Partners	Tom Bakritges	525 15th Ave S, Hopkins, MN 55343	
Architect	Whitten Associates	Tim Whitten	4159 Heatherston Pl, Minnetonka, MN 55345	
Attorney	Fabyanske, Westra, Hart & Thomson, P.A.	Gary Eidson	333 S 7th St, Suite 2600, Minneapolis, MN 55402	
Land Planner	Whitten Associates	Whitten Associates	4159 Heatherston Pl, Minnetonka, MN 55345	
Engineer	Sathre-Bergquist, Inc	Robert Molstad	150 South Broadway, Wayzata, MN 55391	
Surveyor	Sathre-Bergquist, Inc	Dave Pemberton	150 South Broadway, Wayzata, MN 55391	

SHEET INDEX TABLE	
SHEET	Description
SP	Site Plan
AA	ALTA
FP	Final Plat
DP	Demolition Plan
GP / EC	Grading & Erosion Control Plan
UP	Utility Plan

LANDSCAPE LEGEND	
	PROPOSED ROW TREE
	PROPOSED BOULEVARD SOD
	PROPOSED SITE POST CONSTRUCTION SOD

PREPARED BY	PREPARED FOR
ENGINEER SATHRE-BERGQUIST, INC. 150 SOUTH BROADWAY WAYZATA, MINNESOTA 55391 PHONE: (952) 476-6000 FAX: (952) 476-0104 CONTACT: ROBERT MOLSTAD, P.E. EMAIL: MOLSTAD@SATHRE.COM CONTACT: THOMAS WELSHINGER EMAIL: TWELSHINGER@SATHRE.COM	DEVELOPER HOMESTEAD PARTNERS, LLC 525 15th AVENUE SOUTH HOPKINS, MN 55343 CONTACT: TOM BAKRITGES PHONE: (612) 272-9701 EMAIL: TOMB@HOMESTEAD-PARTNERS.COM

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DRAWN BY				
TOW				
CHECKED BY				
RSM				
DATE				
10/04/16				

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Robert S. Molstad
ROBERT S. MOLSTAD, P.E.
Date: 10/04/16 Lic. No. 26428

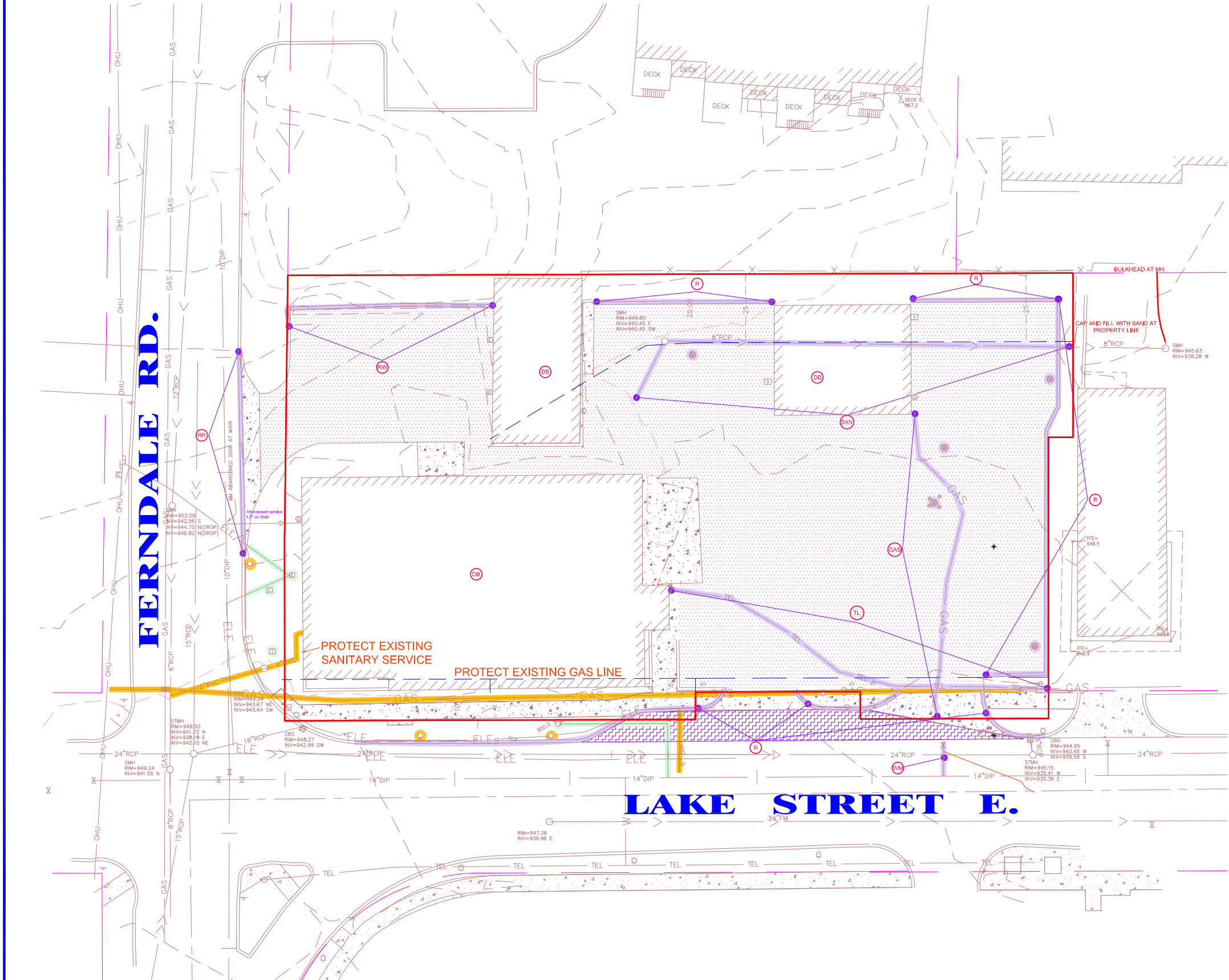


SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO.
--
WAYZATA, MINNESOTA

SITE AND LANDSCAPE PLAN
MEYER PLACE AT FERNDAL
HOMESTEAD PARTNERS, LLC.

FILE NO.
37865-003
SP
SP



- WM ABANDON EXISTING WM ON SITE (LENGTH TO BE DETERMINED IN FIELD)
- SAN REMOVE 170 LF SANITARY SEWER
- TL REMOVE 145 LF TELEPHONE LINE
- GAS REMOVE 120 LF GAS LINE
- RW DEMO RETAINING WALL APPROXIMATELY 350 SF
- SALVAGE EXISTING LIGHTPOLES (3)
- DB DEMO EXISTING BUILDINGS (3)
- W ABANDON WELLS (5)
- RR REMOVE AND REPLACE 75 LF OF PUBLIC GUTTER
- R REMOVE 500 LF OF PRIVATE AND PUBLIC CURB AND GUTTER
- RELOCATE MINOR UTILITIES (UTILITY COMPANIES)
- RELOCATE EXISTING HYDRANT (SEE UTILITY PLAN)
- REMOVE 2580 SY ON-SITE BITUMINOUS
- PROTECT 150 SY PUBLIC BITUMINOUS
- REMOVE 490 SY CONCRETE
- PROTECT EXISTING SANITARY SERVICE 60 LF AND GAS LINE 350 LF

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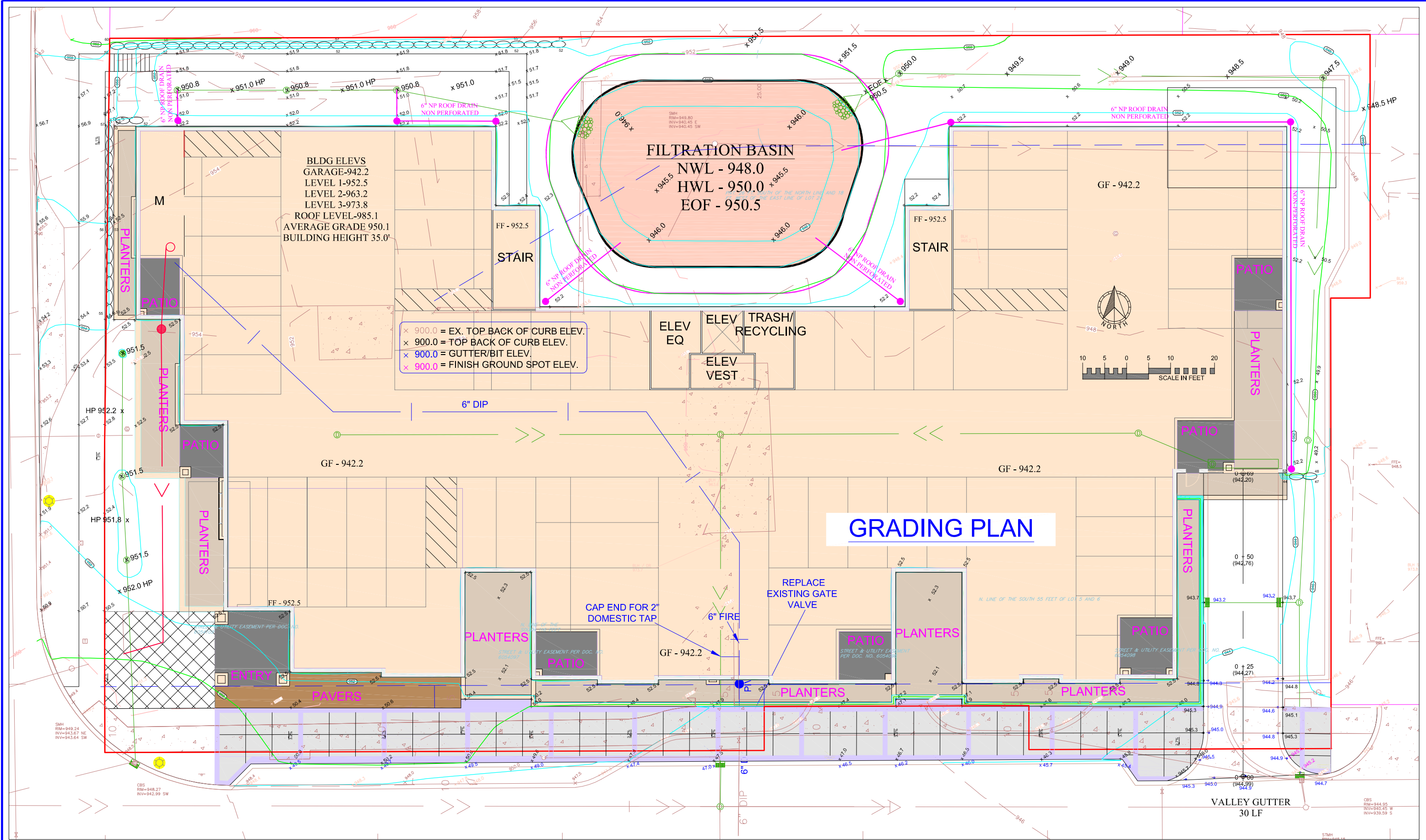
Robert S. Molstad

ROBERT S. MOLSTAD, P.E.
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ENGINEERS
DESIGNERS
SURVEYORS
PLANNERS

SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO.	DEMOLITION PLAN	FILE NO.
---	MEYER PLACE AT FERNDALE	37865-003
WAYZATA, MINNESOTA	HOMESTEAD PARTNERS, LLC.	DP DP



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ENGINEERS
SURVEYORS
DESIGNERS
PLANNERS

SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO.
--
**WAYZATA,
MINNESOTA**

GRADING PLAN
MEYER PLACE AT FERNDALE
HOMESTEAD PARTNERS, LLC.

FILE NO.
37865-003
GP
GP

CONSTRUCTION NOTES

1. INSTALL SILT FENCE AS SHOWN ON PLAN, AS REQUIRED BY THE CITY OR DIRECTED BY THE ENGINEER.

2. THE INLET PROTECTION SHALL BE INSTALLED INTO EXISTING CATCH BASINS AT THE BEGINNING OF GRADING OPERATIONS TO PROVIDE TEMPORARY STORM WATER TREATMENT DURING CONSTRUCTION. SAND AND SILT MUST BE REMOVED FROM THE INLET PROTECTION AS NECESSARY DURING CONSTRUCTION AND AT THE COMPLETION OF THE PROJECT.

3. BEGIN GRADING. INSTALL INLET PROTECTION. TEMPORARY DRAINAGE PIPE SHALL BE USED FOR INTERMEDIATE DRAINAGE DURING THE CONSTRUCTION PERIOD AS NECESSARY AND DIRECTED BY THE ENGINEER. INSTALL SILT FENCE AROUND EXCAVATED BASINS.

4. NATIVE TOPSOIL MUST BE RETAINED ON-SITE TO THE GREATEST EXTENT POSSIBLE.

5. INSPECT BASINS, SILT FENCE, AND ROCK ENTRANCE BERM AFTER ALL RAINFALL EVENTS AS REQUIRED BY THE NPDES PERMIT.

6. ALL SLOPES 3:1 MAX (UNLESS NOTED)

7. RESTORATION - (1.04 ACRES)

A. RESTORE ALL DISTURBED AREAS WITH A MINIMUM 6" OF TOPSOIL, OR EXISTING ON-SITE ORGANIC MATERIAL.

B. SEED ALL PERSISTENTLY DISTURBED AREAS WITH MNDOT 250 AT A RATE OF 100 LBS/ACRE AND FERTILIZE WITH 20-0-10 AT 100 LBS/ACRE. (UNLESS OTHERWISE NOTED)

C. ONLY PHOSPHOROUS FREE FERTILIZER IS TO BE USED ON SITE.

D. MULCH WITH TYPE 1 AT A RATE OF 2 TONS/ACRE AND DISC ANCHOR IMMEDIATELY AFTER PLACEMENT. USE EROSION BLANKET ON ALL SLOPES 3:1 (FT) OR GREATER.

E. PLACE APPROVED STORM SEWER INLET PROTECTION IN OR AROUND ALL STORM SEWER INLETS AND MAINTAIN UNTIL STREET CONSTRUCTION IS COMPLETED. REFER TO CITY DETAILS FOR APPROVED DEVICES. INLET PROTECTION MUST BE INSTALLED IN THE RECEIVING CATCHBASINS WEST OF THE SITE.

F. MAINTAIN ALL SILT FENCE UNTIL TURF HAS BEEN ESTABLISHED.

G. RESTORATION WORK WILL BE COMPLETED WITHIN 72 HOURS OF GRADING COMPLETION.

8. CHAIN LINK FENCE AND FILTER LOG - 620 LF

9. ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMPs MUST BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION AND VEGETATION IS ESTABLISHED SUFFICIENTLY TO ENSURE STABILITY OF THE SITE, AS DETERMINED BY THE RILEY PURGATORY BLUFF CREEK WATERSHED DISTRICT.

10. ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMPs MUST BE REMOVED UPON FINAL STABILIZATION.

11. THE PERMITTEE MUST, AT A MINIMUM, INSPECT, MAINTAIN AND REPAIR ALL DISTURBED SURFACES AND ALL EROSION AND SEDIMENT CONTROL FACILITIES AND SOIL STABILIZATION MEASURES EVERY DAY WORK IS PERFORMED ON THE SITE AND AT LEAST WEEKLY UNTIL LAND-DISTURBING ACTIVITY HAS CEASED, THEREAFTER, THE PERMITTEE MUST PERFORM THESE RESPONSIBILITIES AT LEAST WEEKLY UNTIL VEGETATIVE COVER IS ESTABLISHED.

GENERAL NOTES:

1. THE GRADING CONTRACTOR IS RESPONSIBLE FOR ALL STORM WATER INSPECTIONS ACCORDING TO THE MPCA STORM WATER PERMIT. THIS INCLUDES BOTH WEEKLY INSPECTIONS AND INSPECTIONS DONE AFTER A 0.5" RAIN EVENT. A COPY OF THE INSPECTION REPORT MUST BE EMAILED TO THE ENGINEER AND DEVELOPER ON A WEEKLY BASIS.

2. THE CONTRACTOR SHALL PLACE INLET PROTECTION DEVICES IN ACCORDANCE WITH THE CITY FOR ALL STORM SEWER INLETS AND MAINTAIN THEM AS AN EFFECTIVE SILT CONTROL DEVICE. INLET PROTECTION SHALL BE REMOVED WHEN RESTORATION HAS BEEN ESTABLISHED.

3. ALL RETAINING WALLS OVER FOUR FEET HIGH MUST BE STRUCTURALLY DESIGNED BY A PROFESSIONAL ENGINEER AND A PERMIT MUST BE OBTAINED PRIOR TO CONSTRUCTION.

4. A 1'-2" CRUSHED ROCK ENTRANCE BERM SHALL BE PLACED AT THE SITE ENTRANCE, TO REPLACE SILT FENCE, AND MINIMIZE EROSION ON TO THE STREETS. THE ROCK BERMS SHALL BE THE WIDTH OF THE ENTRANCE AND 2 FEET HIGH WITH 4:1 SLOPES. (SEE DETAIL)

5. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM THE BUILDING PAD AND STREET AREAS THROUGHOUT CONSTRUCTION.

6. THE CONTRACTOR SHALL ATTEMPT TO PREVENT SOIL MATERIALS FROM LEAVING THE SITE BY EROSION AND VEHICLE WHEEL TRACKING. HE SHALL BE RESPONSIBLE FOR CLEANING OF STREET, BOULEVARD AND UTILITY FACILITIES THAT RECEIVE ANY ERODED OR TRACKED SOIL MATERIAL OR OTHER CONSTRUCTION DEBRIS OR MATERIAL.

7. EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

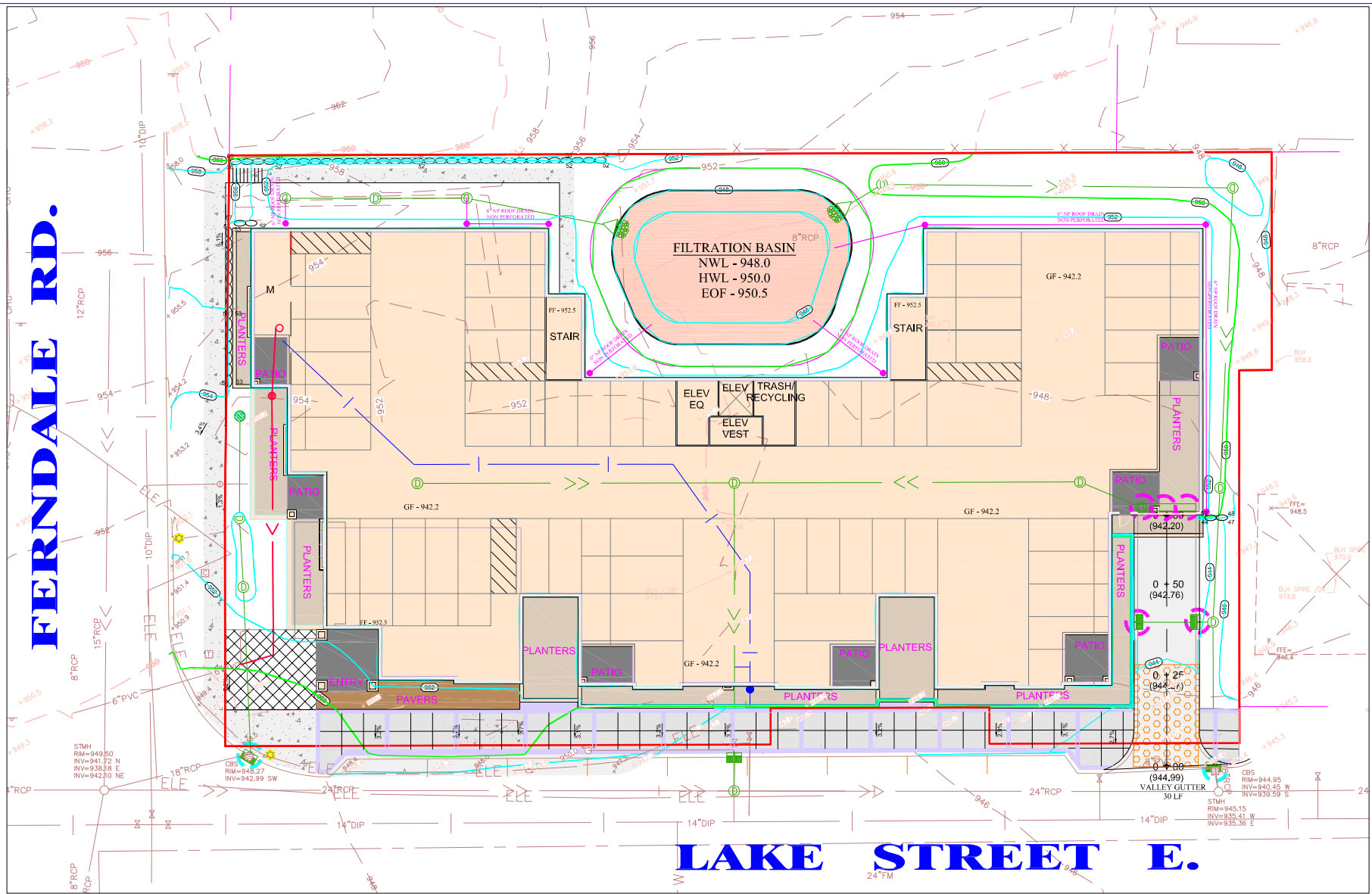
8. PROPER MANAGEMENT OF ALL SITE WASTE, INCLUDING TO BUT NOT LIMITED TO DISCARDED BUILDING MATERIALS, CONCRETE WASHOUT, CHEMICALS, LITTER AND SANITARY WASTE, MUST DISCARDED IN ACCORDANCE TO THE SWPPP.

EROSION CONTROL PLAN

	ROCK ENTRANCE BERM		CHAIN LINK FENCE AND FILTER LOG
	INLET PROTECTION		EXISTING INLET PROTECTION

SYMBOL LEGEND		
DESCRIPTION	PROPOSED	EXISTING
MINOR CONTOUR		
MAJOR CONTOUR		
LOT LINE		
WATERMAIN		
BUILDING SETBACK BOUNDARY		
PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
RIGHT-OF-WAY		
DRAIN TILE W/CLEANOUTS		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION WHIP-RAP		
STORM STRUCTURE LABEL		
SANITARY STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
HYDRANT		
GATE VALVE		
WELL		
DRAIN FLOW/RUNOFF ARROW		
EMERGENCY OVERFLOW SWALE		
SOIL BORING LOCATION		
FENCE AND FILTER LOG		
TREE PRESERVATION FENCE		
BARRICADE		
SPOT ELEVATION		
TBC SPOT ELEVATION		
UTILITY POLE		
LIGHT POLE		
HANDICAP PARKING SPACE		

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Robert S. Molstad
ROBERT S. MOLSTAD, P.E.
Date: 10/04/16 Lic. No. 26428



SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO.

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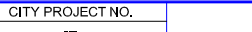
WAYZATA,
MINNESOTA

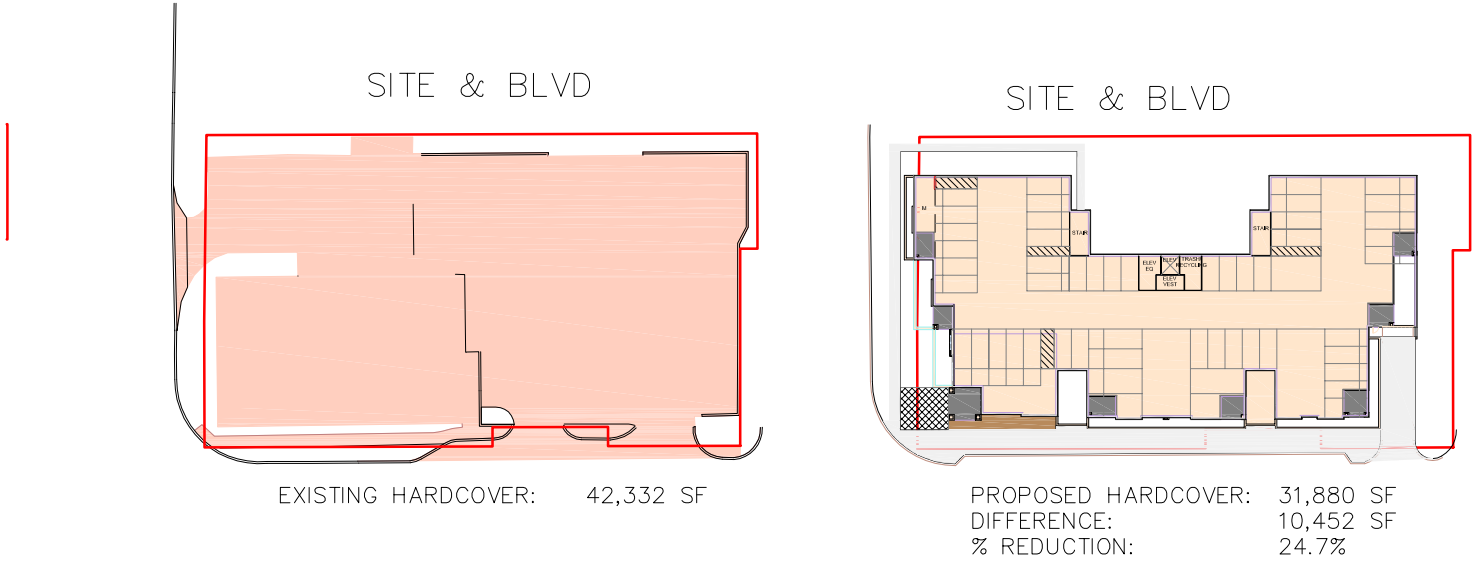
EROSION CONTROL PLAN
MEYER PLACE AT FERNDAL
HOMESTEAD PARTNERS, LLC.

FILE NO.

37865-003

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DRAWING NAME	NO.	BY	DATE	REVISIONS	USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'s EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITMATE USE.	I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  ROBERT S. MOLSTAD, P.E. Date: 10/04/16Lic. No. 26728		CITY PROJECT NO.	---	DRAINAGE AREA	FILE NO.
BASE-MEYERS DRAWN BY TCW CHECKED BY RSM DATE 10/04/16								WAYZATA, MINNESOTA		MEYER PLACE AT FERNDAL HOMESTEAD PARTNERS, LLC.	37865-003 DA DA



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BASE-MEYERS								37865-003			
DRAWN BY								HC HC			
TCW											
CHECKED BY											
RSM											
DATE											
10/04/16											
									WAYZATA, MINNESOTA		